



**AGENDA**  
CHARTER TOWNSHIP OF MERIDIAN  
PLANNING COMMISSION – REGULAR MEETING  
September 13, 2021 7PM

---

1. CALL MEETING TO ORDER
2. PUBLIC REMARKS
3. APPROVAL OF AGENDA
4. APPROVAL OF MINUTES
  - A. July 26, 2021 Regular Meeting
5. COMMUNICATIONS
6. PUBLIC HEARINGS
  - A. Special Use Permit #21-19-111 - Woodward Way, modification of plans to construct a multi-family housing development.
  - B. Special Use Permit #21-19-121 - Woodward Way, modification of plans to construct a group of buildings greater than 25,000 square feet in size.
7. UNFINISHED BUSINESS
8. OTHER BUSINESS
9. REPORTS AND ANNOUNCEMENTS
  - A. Township Board update.
  - B. Liaison reports.
10. PROJECT UPDATES
  - A. New Applications
    - 5114 Jo Don Drive – Rezoning from RCC to RB
    - Silverleaf Subdivision – Wetland Use Permit
    - 4837 Okemos Road – Schaefer Dental – Work in the Floodway Fringe
  - B. Site Plans Received
  - C. Site Plans Approved
    - 2446 Jolly Road – Sparrow Health Systems
11. PUBLIC REMARKS
12. ADJOURNMENT

**AGENDA page 2**  
CHARTER TOWNSHIP OF MERIDIAN  
PLANNING COMMISSION MEETING  
September 13, 2021 7PM

**TENTATIVE PLANNING COMMISSION AGENDA**  
**September 27, 2021**

1. PUBLIC HEARING
  - A. Special Use Permit #21-051 – 4360 & 4366 Hagadorn, construction of medical marihuana facility.
  - B. Special Use Permit #21-061 – 4360 & 4366 Hagadorn, construction of a parking lot in the floodway fringe.
  - C. Rezoning #21-070 – 5114 Jo Don Drive, Rezone north half of property from RCC, Multiple Family – Maximum 34 dwelling units per acre, to RB, Single-Family, High Density.
  
2. UNFINISHED BUSINESS
  - A. Special Use Permit #21-19-111 – Woodward Way, modification of plans to construct a multi-family housing development.
  - B. Special Use Permit #21-19-121 - Woodward Way, modification of plans to construct a group of buildings greater than 25,000 square feet in size.
  
3. OTHER BUSINESS - None

---

Individuals with disabilities requiring auxiliary aids or services should contact: Principal Planner Peter Menser, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4576 - Ten Day Notice is Required.  
Meeting Location: Zoom web conferencing application  
Meeting ID: 872 0006 8286 Password: 5151

Providing a safe and welcoming, sustainable, prime community.



**CHARTER TOWNSHIP OF MERIDIAN  
PLANNING COMMISSION  
REGULAR MEETING MINUTES**

**DRAFT**

**July 26, 2021**

**5151 Marsh Road, Okemos, MI 48864-1198**

**517-853-4560, Town Hall Room, 7:00 P.M.**

**PRESENT: Chairman Hendrickson, Commissioners McConnell, Premoe, Richards, Blumer, Snyder, Cordill, Trezise**

**ABSENT: Commissioner Shrewsbury**

**STAFF: Director of Community Planning & Development Timothy Schmitt**

**1. CALL MEETING TO ORDER**

Chair Hendrickson called the regular meeting to order at 7:01 P.M.

**2. PUBLIC REMARKS -NONE**

**3. APPROVAL OF AGENDA**

**Commissioner Cordill moved to approve the agenda.  
Seconded by Commissioner Premoe.**

Chair Hendrickson mentioned that two communications will be added to the agenda for this meeting instead of the packet for the next meeting. Commissioner Cordill accepted the friendly amendment.

The communications added are from Jodi Bond pertaining to SPU#21071, and Kari Rennie pertaining to SUP #21071.

VOICE VOTE: Motion approved unanimously.

**4. APPROVAL OF MINUTES**

A. July 12, 2021 Regular Meeting

**Commissioner Premoe moved to approve the minutes of July 12, 2021 Planning Commission minutes. Seconded by Commissioner McConnell.**

Commissioner Cordill mentioned that Commissioner Blumer was absent from the July 12, 2021 meeting, but marked present in the minutes. Commissioner McConnell mentioned a correction on Item 6, second to last sentence. Reads, "Staff at the next building". Should read, "Staff at the next meeting."

VOICE VOTE: Motion approved unanimously.

**5. COMMUNICATIONS**

- A. Candice Carrasco RE: SUP #21071
- B. Joell Ackerman RE: SUP #21071
- C. Cecilia Heller RE: SUP #21071
- D. Rama Gupta RE: SUP #21071
- E. Thomas Bres RE: SUP #21071
- F. Dr. John Faichney RE: SUP #21071
- G. Jodi Bond RE: SUP #21071
- H. Kari Rennie RE: SUP #21071

**6. PUBLIC HEARINGS**

NONE

**7. UNFINISHED BUSINESS**

- A. Special Use Permit #21071 (Sparrow), construct a building greater than 25,000 square feet in size on the north side of Jolly Road, east of Kansas Street.

Director Schmitt outlined the current status of SUP #21071.

The Planning Commission discussed a number of topics with Thomas Bres, Senior Vice President of Sparrow, Staci Bakkegard, Director of Facility Development for Sparrow, and Karen Kent Vangorder, Chief Medical and Quality Officer of Sparrow. The topics included:

- Ambulance siren protocol. Sirens are used in about 10-15% of all ambulance runs.
- If SPU#21071 is denied Sparrow has no back up plan at this time.
- Ambulances would typically not use Jolly Oak road, ambulances would come down Okemos road, turn onto Jolly road and then use Woodlake drive or the Jolly Rd. curb cut.
- The difference between this facility and a Redi-care and what types of patients would be cared for at this facility.
- The reason for the facility size is due to having both an emergency department and primary care family practice. 9-10 thousand square feet is for family practice.
- There would be no changes to Sparrow's other facilities after building this one.
- Access to the site through Kansas road is included so new patients could find an entrance easier.
- Sparrow plans to work with the adjacent property owner for directional signage.
- Sparrow calculated required parking per medical office parking ordinance and Staff's initial review was slightly more conservative with respect to the gross floor area.
- Photometric studies are showing that no light is being cast outside of the property.
- A certificate of need only applies to the CT scan, not to the emergency room facility as a whole.
- The screening wall is proposed to be 7'10" feet. Staff clarified that six feet is the maximum height for a screen wall in the Township. This wall would screen the parking and drive in the northwest corner of the site.
- Sparrow has reached out to CATA on getting a closer bus stop to the facility.
- Discussion of a potential sidewalk along Kansas Road occurred.

**Commissioner Premoe moved to deny SUP #21701. Seconded by Commissioner Richards.**

Commissioner Premoe accepted a friendly amendment to change the language in the 5<sup>th</sup> and 6<sup>th</sup> whereas lines making them more consistent with a motion to deny.

ROLL CALL VOTE: YEAS: Commissioners Premoe, Richards

NAYS: Commissioners Cordill, Trezise, McConnell, Snyder, Chairman Hendrickson, Commissioner Blumer

Motion failed: 2-6

**Commissioner Blumer moved to approve SUP #21701. Seconded by Commissioner Trezise.**

**Commissioner McConnell offered the following amendment:**

**Pedestrian access be provided up Kansas Road from Jolly Road and into the site, from Woodlake Drive into the site, and the vehicular access from Kansas Road shall be removed, all subject to the approval of the Ingham County Road Department.**

**Commissioner Blumer accepted the friendly amendment.**

The addition of a sound wall was discussed.

ROLL CALL VOTE: YEAS: Commissioners Cordill, Trezise, McConnell, Snyder, Chairman Hendrickson, Commissioner Blumer

NAYS: Commissioners Premoe, Richards

Motion carried: 6-2

**8. OTHER BUSINESS - None**

**9. REPORTS AND ANNOUNCEMENTS**

A. Township Board update.

Director Schmitt reported that Meridian Company rezoning to industrial is moving forward, the rezoning on Jo Don Dr. is moving forward. The board discussed the MUPUD amendment and recommended a joint meeting with planning commission.

B. Liaison reports.

Chairman Hendrickson:

- There will not be a planning commission on August 9th

Commissioner Cordill:

- Corridor Improvement Authority meets Wednesday

Commissioner Premoe:

- BRE has not met in two months, but will meet next month

Commissioner Snyder:

- Transportation Committee will likely meet in August with East Lansing

## 10. PROJECT UPDATES

- A. New Applications  
NONE
- B. Site Plans Received  
NONE
- C. Site Plans Approved  
NONE

## 11. PUBLIC REMARKS

Piotr Lupa 3575 Kansas Rd. spoke in support of SUP #21071.

## 12. ADJOURNMENT

**Commissioner McConnell Moved to Adjourn.  
Seconded by Commissioner Cordill.**

VOICE VOTE: Motion approved unanimously.

Commissioner Hendrickson adjourned the regular meeting at 8:16 p.m.

Submitted,  
Zachary Lemaster



**To:** Planning Commission

**From:** Timothy R. Schmitt, AICP  
Community Planning and Development Director

**Date:** September 9, 2021

**Re:** Special Use Permit #21-19111 - Woodward Limited Dividend Housing Association - Special Use Permit modification

---

In 2019, Woodward Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex, comprised of four buildings totaling approximately 53,353 square feet in size on the north 4.37 acres of Parcel Number 17-377-031. The applicant continued progressing towards construction, but was slowed by the Covid-19 Pandemic. In Summer of 2021, the project started moving towards construction again, but ran into a right-of-way issue with the Ingham County Road Department (ICRD).

After several months of discussion and redesign, the applicant determined that the best course of action to restart the project and provide the needed road frontage for the site was to redesign the project to have two buildings, instead of the previously approved four buildings, and include a cul-de-sac on Sirhal Drive. Previously, there was no cul-de-sac, which did not meet ICRD standards.

The proposed new design would include the same number of dwelling units, forty-nine, as previously approved. The number of buildings would be reduced to two from four, but would still be limited to two stories tall and the same height in feet that was previously approved. The total square footage of the buildings would be slightly reduced from 52,861 square feet to 49,288. The main change driving the redesign is the cul-de-sac for Sirhal Drive and the condition of Rezoning 19-010 that 100 feet of public road frontage be provided. That is now being done by building a cul-de-sac on the property, as extending the road through the site was not permitted by the ICRD. No connection to Greencliff Drive is permitted by the ICRD, so the applicant is simply showing their future parking expansion area where previously there was an emergency access connection.

The plans currently under review require modification to both Special Use Permits that were previously approved, one by the Planning Commission for the multi-family use of the site and one by the Township Board for the total size of the buildings being in excess of 25,000 square feet. The special use permits are being processed concurrently.

The following table summarizes the number and type of unit located within each building:

	<b>Building size</b>	<b>No. of units</b>	<b>1-bedroom units</b>	<b>2-bedroom units</b>	<b>3-bedroom units</b>
Building 1	13,172	26	4	16	6
Building 2	11,599	23	4	18	1

All of the units would be stacked flats at this time, eliminating the townhouse units shown in the originally approved plans. A Community Room is proposed in Building B for the residents of the complex, accounting for the odd number of units in that building.

In June 2019 the project site was rezoned (Rezoning #19010) to RC with conditions voluntarily offered by the applicant, which included the following:

- The property will only be developed as an affordable housing development using Michigan State Housing and Development Authority (MSHDA) programs and resources.
- The development will not exceed two stories in height.
- Sirhal Drive will be extended to create one hundred feet of public road frontage and be dedicated to the appropriate public utility.
- The remainder parcel created by the land division will be combined with an adjacent parcel to the west so the division of the property does not create an island parcel.
- The number of units will not exceed 49 allowing for one ingress and egress.

These conditions of the rezoning, which were voluntarily offered by the applicant, are being met with the proposed redesign.

### **Staff Analysis**

The applicant is requesting a modification to the previously approved special use permit to allow construction of a 49-unit apartment complex with two buildings. All multiple family housing projects with more than two units must receive special use permit approval from the Planning Commission. Special use permits for multiple family housing are evaluated using the nine general special use permit criteria listed in Section 86-126 of the zoning ordinance, along with the site plan standards that are listed throughout Section 86-376. The site plan will be reviewed separately by Staff.

#### Section 86-126 Review Criteria.

- 1) The project is consistent with the intent and purposes of this chapter.  
The Multiple Family Residential district is intended for multiple-family residential projects. The proposed development is well within the intent and purpose of this zoning district.
- 2) The project is consistent with applicable land use policies contained in the Township's comprehensive development plan of current adoption.  
The proposal meets Objective 1.A, Maintain a Community of Desirable, Attractive Residential Neighborhoods (specifically subsection 5), Objective 5, Maintain Essential Public Services (specifically 5.A.1 and 5.D.1), and Objective 7, Promote Efficient and Sustainable Growth Practices (specifically 7.D.1).
- 3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.  
The applicant has designed the project previously in such a way that was considered harmonious and appropriate to the general vicinity. The proposed changes would not substantially alter the height or design of the buildings.
- 4) The project will not adversely affect or be hazardous to existing neighboring uses.  
The building and use will not adversely affect the surrounding uses. The area is residential in the north, east, and west and the proposed development acts as an effective transition from the higher density commercial development in the south.

- 5) The project will not be detrimental to the economic welfare of surrounding properties or the community.  
The use is consistent with the surrounding uses, so no negative economic impact would be expected from the project.
- 6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.  
The project is adequately served by roads, utilities, and other such public services that will be needed by the project.
- 7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and stormwater are proposed, they shall be properly designed and capable of handling the long term needs of the proposed project.  
Public sanitation facilities are adequate for the project, as are public water facilities.
- 8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.  
Residential uses are generally not uses that cause negative externalities on a broad scale to the neighboring uses. Although there are individual code enforcement cases, overall with residential uses, this proposal should not cause issues with traffic, noise, smoke, fumes, glare, or odors.
- 9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.  
The site is one that has already been developed and therefore a prime candidate for redevelopment, while not impacting the important natural features of the Township.

In reviewing the proposed to the Special Use Permit, Staff has identified no major concerns that would negatively change the previous analysis of the site the Planning Commission went through and ultimately approved. The changes proposed changes would consolidate the development into two buildings that are very similar to the buildings that were previously approved. The density of the project has not increased and the proposed circulation is substantially improved by the construction of the cul-de-sac on the property. All in all, this is a positive change for the project that will hopefully allow it to move forward in the near future and Staff would **recommend approval** of the proposed modified Special Use Permit to allow a multiple-family dwelling project on the site.

### **Planning Commission Options**

The Planning Commission may approve, approve with conditions, or deny the special use permit. A draft resolution for approval has been provided for the Planning Commission's initial review.

### **Attachments**

1. Draft Resolution for approval
2. Revised application information and Revised plan sets
3. August 27, 2019 approval letter for original request



**RESOLUTION TO APPROVE**

**Special Use Permit #21-19111  
Woodward Limited Dividend Housing Association**

At a regular meeting of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 13th day of September, 2021, at 7:00 p.m., Local Time.

PRESENT: \_\_\_\_\_  
\_\_\_\_\_

ABSENT: \_\_\_\_\_

The following resolution was offered by \_\_\_\_\_ and supported by \_\_\_\_\_.

WHEREAS, In 2019, Woodward Way Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031; and

WHEREAS, In 2021, the applicant has brought forward plan revisions to address concerns raised by the Ingham County Road Department, which required a modification to the original approved Special Use Permit; and

WHEREAS, the revised plans have the same number of units, slightly less square footage, and two less buildings than the originally approved plans; and

WHEREAS, the Planning Commission held a public hearing at its regular meeting on September 13, 2021 and has reviewed staff material forwarded under a cover memorandum dated September 9, 2021; and

WHEREAS, the subject site is appropriately zoned RC (Multiple Family, maximum 14 units per acre), which allows multiple family housing projects with three or more units by special use permit; and

WHEREAS, the proposed project is consistent with the conditions established in Rezoning #19010; and

WHEREAS, the proposed project is consistent with the general standards for granting a special use permit found in Section 86-126 of the Code of Ordinances; and

WHEREAS, the proposed project provides adequate setbacks and screening from surrounding uses; and

WHEREAS, municipal water and sanitary sewer is available to serve the subject site; and

WHEREAS, the proposed housing project is consistent with Goal J of the 2019 Township Board Action Plan to explore housing options and alternatives to encourage diverse populations and targeted groups to live in the Township; and

NOW THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CHARTER TOWNSHIP OF MERIDIAN hereby approves Special Use Permit #21-19111 to construct a 49-unit townhouse and apartment complex on the north 4.37 acres of an undeveloped parcel identified by Parcel Number 17-377-031, subject to the following conditions:

1. Approval is granted in general accordance with the plan set by Callen Engineering, Inc., cover sheet dated August 17, 2021. This plan set includes site, engineering, landscape, floorplans, elevations, and photometric plans.
2. Approval of Special Use Permit #21-19111 is contingent on the approval of Special Use Permit #21-19121 by the Township Board.
3. Approval of the special use permit is subject to all voluntary conditions placed on Rezoning #19010 by the applicant.
4. The applicant shall apply for a land division to split the project site from the parent parcel prior to building permits being issued.
5. The applicant shall construct a five-foot wide concrete sidewalk to connect to the existing sidewalk along the north side of Sirhal Drive.
6. Site plan review approval is required to construct the housing project. No construction, including grading or land clearing, can begin on the property until the site plan has been approved by the Director of Community Planning and Development.
7. The applicant shall obtain all necessary permits, licenses, and approvals from the Ingham County Road Department, Ingham County Drain Commissioner, Michigan Department of Environment, Great Lakes, and Energy, and the Township, as applicable. Copies of all permits, licenses, and approval letters shall be submitted to the Department of Community Planning and Development.
8. All utility service distribution lines shall be installed underground.
9. Any future building additions or revisions to the site layout will require amendments to Special Use Permit #19111.

ADOPTED: YEAS: \_\_\_\_\_  
\_\_\_\_\_

NAYS: \_\_\_\_\_

STATE OF MICHIGAN )

) ss

COUNTY OF INGHAM )

I, the undersigned, the duly qualified and acting Chair of the Planning Commission of the Charter Township Meridian, Ingham County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and a complete copy of a resolution adopted at a regular meeting of the Planning Commission on the 13th day of September, 2021.

---

Scott Hendrickson, Chair  
Meridian Township Planning Commission

**CHARTER TOWNSHIP OF MERIDIAN  
DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT  
5151 MARSH ROAD, OKEMOS, MI 48864  
PLANNING DIVISION PHONE: (517) 853-4560, FAX: (517) 853-4095**

**SPECIAL USE PERMIT APPLICATION**

**Before submitting this application for review, an applicant may meet with the Director of Community Planning and Development to discuss the requirements for a special use permit and/or submit a conceptual plan for review to have preliminary technical deficiencies addressed prior to submittal of the application. If the property or land use is located in the following zoning districts RD, RC, RCC, RN then the applicant must meet with the Planning Director to discuss technical difficulties before filing a formal application.**

**Part I**

- A. Applicant Woodward Way Limited Dividend Housing Association  
 Address of Applicant 500 S. Front St. 10th Floor Columbus, OH 43215  
 Telephone - Work 6143963200 Home 6144062931 Fax \_\_\_\_\_ Email ffugate@wodagoup.com  
 Interest in property (circle one): **Owner** Tenant Option Other  
 (Please attach a list of all persons with an ownership interest in the property.)
- B. Site address / location / parcel number East of 2790 Sirhall Drive, East Lansing 48823  
 Legal description (please attach if necessary) Attached  
 Current zoning R.C. Multi family  
 Use for which permit is requested / project name Woodward Way Limited Dividend Housing Association Limited Partnership  
 Corresponding ordinance number \_\_\_\_\_
- C. Developer (if different than applicant) Woda Cooper Companies  
 Address 500 S. Front St. 10th Floor Columbus, OH 43215  
 Telephone – Work 6143963200 Home 6144962931 Fax \_\_\_\_\_
- D. **Architect**, Engineer Planner or Surveyor responsible for design of project if different from applicant:  
 Name Hooker DeJong Inc.  
 Address 316 Morris Ave Suite 410 Muskegon, MI 49440  
 Telephone – Work 2317223407 Home 2312202388 Fax \_\_\_\_\_
- E. Acreage of all parcels in the project: Gross 4.37 Net 3.85
- F. Explain the project and development phases: Two (2) 2-story buildings, constructed with 2x6 wood framing, lowslope wood trusses, slab on grade. one phase. Site, grading and paving completed in conjunction with building construction.
- G. Total number of:  
 Existing: structures N/A bedrooms 0 offices \_\_\_\_\_ parking spaces \_\_\_\_\_ carports \_\_\_\_\_ garages \_\_\_\_\_  
 Proposed: structures 2 bedrooms 97 offices 1 parking spaces 98/25 carports \_\_\_\_\_ garages \_\_\_\_\_
- H. Square footage: existing buildings 0 proposed buildings 49,288 sf  
 Usable Floor area: existing buildings 0 proposed buildings 45,056 sf
- I. If employees will work on the site, state the number of full time and part time employees working per shift and hours of operation:
- J. Existing Recreation: Type None Acreage \_\_\_\_\_  
 Proposed Recreation: Type Greenspace and tot lot Acreage \_\_\_\_\_  
 Existing Open Space: Type Vacant site Acreage \_\_\_\_\_  
 Proposed Open Space: Type Along perimeters of the property Acreage \_\_\_\_\_

K. If Multiple Housing:

Total acres of property	<u>4.37 Acres</u>		
Acres in floodplain	<u>0</u>	Percent of total	<u>0</u>
Acres in wetland (not in floodplain)	<u>0</u>	Percent of total	<u>0</u>
Total dwelling units	<u>49</u>		
Dwelling unit mix:			
Number of single family detached:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of duplexes:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of townhouses:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of garden style apartments:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of other dwellings:		for Rent	<u>49</u> Condo <u>n/a</u>

L. The following support materials must be submitted with the application:

1. Nonrefundable Fee.
2. Legal Description of the property.
3. Evidence of fee or other ownership of the property.
4. Site Plan containing the information listed in the attachment to this application.
5. Architectural sketches showing all sides and elevations of the proposed buildings or structures, including the project entrance, as they will appear upon completion. The sketches should be accompanied by material samples or a display board of the proposed exterior materials and colors.
6. A Traffic Study, prepared by a qualified traffic engineer, based on the most current edition of *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation.
  - a. A traffic assessment will be required for the following:
    - 1) New special uses which could, or expansion or change of an existing special use where increase in intensity would, generate between 50 to 99 directional trips during a peak hour of traffic.
    - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
  - b. A traffic impact study will be required for the following:
    - 1) New special uses which would, or expansion or change of an existing special use where increase in intensity would, generate over 100 directional trips or more during a peak hour of traffic, or over 750 trips on an average day.
    - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
7. Natural features assessment which includes a written description of the anticipated impacts on the natural features at each phase and at project completion that contains the following:
  - a. An inventory of natural features proposed to be retained, removed, or modified. Natural features shall include, but are not limited to, wetlands, significant stands of trees or individual trees greater than 12 inches dbh, floodways, floodplains, waterbodies, identified groundwater vulnerable areas, slopes greater than 20 percent, ravines, and vegetative cover types with potential to sustain significant or endangered wildlife.
  - b. Description of the impacts on natural features.
  - c. Description of any proposed efforts to mitigate any negative impacts.

The natural features assessment may be waived by the Director of Community Planning and Development in certain circumstances.

- M. Any other information specified by the Director of Community Planning and Development which is deemed necessary to evaluate the application.
- N. In addition to the above requirements, for zoning districts, **RD, RC, RCC, RN, and CV** and **Group Housing Residential Developments** the following is required:
1. Existing and proposed contours of the property at two foot intervals based on United States Geological Survey (USGS) data.
  2. Preliminary engineering reports in accordance with the adopted Township water and sewer standards, together with a letter of review from the Township Engineer.
  3. Ten copies of a report on the intent and scope of the project including, but not limited to: Number, size, volume, and dimensions of buildings; number and size of living units; basis of calculations of floor area and density and required parking; number, size, and type of parking spaces; architectural sketches of proposed buildings.
  4. Seven copies of the project plans which the Township shall submit to local agencies for review and comments.
- O. In addition to the above requirements, a special use application in zoning district **RP** requires the following material as part of the site plan:
1. A description of the operations proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, fire hazards or safety hazards or the emission of any potentially harmful or obnoxious matter or radiation.
  2. Engineering and architectural plans for the treatment and disposal of sewerage and industrial waste tailings, or unusable by-products.
  3. Engineering and architectural plans for the handling of any excessive traffic congestion, noise, glare, air pollution, or the emission of any potentially harmful or obnoxious matter or radiation.
- P. In addition to the above requirements, a special use application for a use in the Floodway Fringe of zoning district **CV** requires the following:
1. A letter of approval from the State Department of Environmental Quality.
  2. A location map including existing topographic data at two-foot interval contours at a scale of one inch representing 100 feet.
  3. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits, extent, and elevations of the proposed fill, excavation, and occupation.
  4. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- Q. In addition to the above requirements, a special use application for a use in the Groundwater Recharge area or zoning district **CV** requires the following:
1. A location map including existing topographic data at two-foot interval contours.
  2. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits and extent of the proposed fill, excavation, and occupation.
  3. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- R. In addition to the above requirements, the Township Code of Ordinances, Article VI, should be reviewed for the following special uses: group housing residential developments, mobile home parks, nonresidential structures and uses in residential districts, planned community and regional shopping center developments, sand or gravel pits and quarries, sod farms, junk yards, sewage treatment and disposal installations, camps and clubs for outdoor sports and buildings greater than 25,000 square feet in gross floor area.

Part II

SUP REQUEST STANDARDS  
Township Code of Ordinances, Section 86-126

Applications for Special Land Uses will be reviewed with the standards stated below. An application that complies with the standards stated in the Township Ordinance, conditions imposed pursuant to the Ordinance, other applicable Ordinances, and State and Federal statutes will be approved. Your responses to the questions below will assist the Planning Commission in its review of your application.

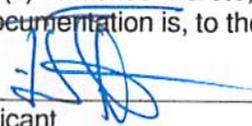
- (1) The project is consistent with the intent and purposes of this chapter.
- (2) The project is consistent with applicable land use policies contained in the Township's Master Plan of current adoption.
- (3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
- (4) The project will not adversely affect or be hazardous to existing neighboring uses.
- (5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
- (6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
- (7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and storm water are proposed, they shall be properly designed and capable of handling the longterm needs of the proposed project.
- (8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
- (9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.

Part III

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

Yes     No    (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate

Frank Fugate   
Signature of Applicant

August 16, 2021  
Date

Frank Fugate  
Type/Print Name

Fee: \_\_\_\_\_

Received by/Date: \_\_\_\_\_

**Special Use Permit Application Attachment  
Site Plan Requirements Per Section 86-124(c)(4)**

A site plan, drawn to a legible scale, containing the following information where applicable:

- a. Boundaries of the subject property.
- b. Total area of the subject property.
- c. Location of all existing and proposed structures.
- d. Approximate location and distance of all structures within 100 feet of the subject property.
- e. Uses of existing and proposed buildings, on the subject site.
- f. Proposed means of vehicular and pedestrian ingress and egress to the subject property.
- g. Public and private roads and streets, rights-of-way, and easements, indicating names and widths, which abut or cross the site.
- h. Existing and proposed parking spaces, and vehicular and pedestrian circulation patterns.
- i. The buildable area of the subject property indicating all required setbacks, yards and open space.
- j. Zoning classification of the subject and adjacent properties.
- k. Existing and proposed fencing, screening, landscaping, and buffers.
- l. Location and sizes of existing utilities including power lines and towers, both above and below the ground.
- m. Amount and location of all impervious surfaces.
- n. The verified boundaries of all natural water features and required setback lines.



# WODA COOPER COMPANIES

August 12, 2021

## Part II SUP Request Standards -Section 86-126

Applications for Special Land Uses will be reviewed with the standard stated below:

1. Project is consistent with the intent and purpose of this chapter:

The use of this development creates a special use in that it is over 25,000 sq. feet the development is 53,294 square feet. Because of zoning conditions set forth: height will be only two stories with a single entrance from Sirhal and conditioned to 49 units. The design will not have negative on adjacent land, affect the health, safety and general welfare of the community. The development is below the allowable 14 units per acre and the traffic will be minimally impacted.

2. Project is consistent with applicable land use policies contained in the Townships Master Plan.

The general architectural standards that are encouraged in the master plan we will incorporate many of these and others in our designs. Exterior finishes include brick, stone cementitious siding and other natural materials. Our architects will use primary natural colors with accent colors and roof slope and shingle color to meet the plan.

The master plan has seven goals as we outlined in the rezoning and this development will meet these criteria being a LEED Green Development

- a. **Preserve and Strengthen residential neighborhoods:** Creating a cluster development, removing blight, in a walkable area creating housing diversity with of moderate density.
- b. **Preserve Open Space:** The design is to cluster the units towards the front allowing a natural buffer/ greenspace and distance to the existing homes.
- c. **Enhance The viability of Township Business:** The resident make-up of work force housing to create employees for the local's businesses located in proximity to public transportation with high walkable score.
- d. **Maintain and Expand a Diverse Park System:** Our development will provide outdoor space gazebo, grilling areas tot lot and greenspace with proximity to parks and the farmers market.
- e. **Maintain Essential Public Services:** Attract families with school age students to benefit opening the closed school. Be walkable/ utilize the public transportation and design /build LEED green (LEED Silver) efficient designed to not tax public services.
- f. **Provide and support an Efficient safe Environmental Multi-modal Transportation:** Provide bike racks, management will promote public transportation, and encourage the high walkability score.
- g. **Promote Efficient Sustainable Growth Practices:** This will be a LEED Green Development, is an Ideal infill redevelopment recycling existing material located on the site. (Concrete and trees) Discuss tax incentives for LEED certified or equivalent developments.

- h. **Community Profile; Demographics:** Walkable Communities, suited for growing families, housing diversity and the need for Work force housing.

3. Project is designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will change the essential character of the same area.

As we have moved through the process in the past years, the two story walk up with low slope roof trusses with 2x6 walls-built slab on grade to create a harmonious transition from commercial use and the three-story senior development to the single family along the north and eastern property lines. Boundary healthy trees will be maintained.

4. Project will not adversely affect or be hazardous to existing neighboring uses.

The development will not adversely affect the area. In our meetings with the neighbors the main concern has been traffic in the neighborhood. Traffic memo showed minimal impact of 54 units and one entrance eliminating through traffic. The main objective it will clean up a blighted area.

5. Project will not be detrimental to the economic welfare of surrounding properties or the community.

The development will provide needed work force housing to be a benefit to local business. The property is within 1/10 of a mile to a bus stop and is walkable to many businesses along Grand River Blvd. The development is a proposed 12.5 million investment utilizing local trades that will be replacing an underutilized abandoned trailer park. Woodward Way will be an economic benefit to the area, providing work force housing with energy efficient units allowing residents to save on energy costs.

6. Project is adequately served by public facilities such as existing roads, schools, storm water drainage, public safety, public transportation and public recreation or that persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.

This project will be very adequately served by the community. The design will enhance Sirhal with a cul-de-sac, the storm water will be retained on site and released per drain commission standards. Woda management will always work with public safety and agencies and encourage public transportation and to visit and enjoy the community's public parks.

7. Project is adequately served by public sanitation facilities is so designed. There will be no on-site water or sewage system. Please refer to Site Utility Availability Special Use



The area is served by local water and sewer to the property. No on-site utilities

8. Project will not involve uses activities processes materials and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare\by reason of excessive production of traffic noise smoke or fumes, glare or odors.

9.

The development will not create any detrimental or adverse conditions. Construction will be less than 9 months. Traffic will not be in Warwick residential neighborhood. Once built the traffic memo shows low traffic at peak times and access to public transportation.

10. Project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including but not limited to prime agricultural soils water recharge areas lakes, rivers, streams, major forests wetlands and wildlife areas

The development is not impacting any of the above-mentioned features and isn't in a flood plain or have any wetlands. Development of the site will clean up the area and ensure underground utilities are terminated.

Part III

On application





To: Mr. Frank Fugate  
Woda Cooper Companies, Inc.

Re: The Woodward Multi-Family-Meridian Twp, MI  
Trip Generation Study

From: Timothy J. Likens, PE, PTOE  
Transportation Engineer

Date: April 1, 2019

---

In August, 2018 Bergmann provided a memorandum to outline the traffic generation potential for the proposed Woodward multi-family residential development in Meridian Township, Ingham County, Michigan. The project site is located on the north side of Grand River Avenue, directly north of Whole Foods and was previously occupied by the Mobile Home Manor trailer park. The proposed development plans currently include construction of a new two-story, 53-unit multi-family residential development with site access provided via connection to Sirhal Drive and emergency only connection to Greencliff Drive.

Bergmann received input from the Township Planning Department regarding the scope of the original traffic evaluation. Subsequently, the Township requested additional information as outlined in a March 7, 2019 email from the Planning Department to Woda Cooper. The current requirements principally include the following, which are addressed in this memorandum:

- Comparison of trip generation for the existing versus proposed zoning maximum densities; and
- Potential impacts on the adjacent residential streets, specifically considering cut-thru traffic to/from Park Lake Road.

The subject site is approximately 4.6 acres, and is currently zoned RX (Duplex). Under existing zoning, maximum density allowed is 2 units per lot, with a minimum lot size of 11,000 SF, resulting in a maximum density of 36 units for this site. The proposed zoning is RC, allowing for up to 14 units per acre, or a maximum density of 64 units for this site. The site was also formerly occupied by a mobile home park. Aerial imagery from 2005 shows that the density included approximately 50 lots and mobile home trailers on this site.

The potential number of peak hour and daily vehicle trips generated by this site were forecast based on the rates and equations published by the Institute of Transportation Engineers in *Trip Generation, 10<sup>th</sup> Edition*. The Planning Department has noted some discrepancy in their review of previous trip generation calculations. Although these discrepancies are presumed to be minor based on the size and potential density on the subject parcel, Bergmann cautions against reference to previous versions of *Trip Generation*. According to the current *10<sup>th</sup> Edition*, "In prior editions [of the manual] multifamily housing sites were further divided into rental and condominium categories. An investigation of vehicle trip data found no clear differences in trip making patterns within the ITE database." Accordingly, the data have been reorganized and should not be compared directly between editions.

ITE publishes average trip generation rates for a wide variety of land uses, as well as regression equations for some. For all of the residential land uses evaluated for this study, the regression equation was determined to be most appropriate based on ITE methodologies outlined in the ITE *Trip Generation Manual*. For Multi-Family Housing, "Low-Rise" (Land Use #220) and "Mid-Rise" (Land Use #221) are most appropriate to the proposed development and relative RC zoning. For the existing RX zoning, there is not an ITE land use that exactly fits two-unit duplexes; whereas the Single Family (Land Use #210) and



multi-family land use categories both have similarities and differences to duplexes. Therefore, both were referenced. The former site use is described by Mobile Home Park (Land Use #240).

The site trip generation forecast is summarized in **Table 1**. As shown in the upper section, the original study referenced 4-story development (mid-rise); whereas the current proposal is for 2-story development (low-rise). Examination of the trip generation data indicate that low-rise uses are actually forecast to generate slightly conservative forecasts; therefore, the low-rise use was referenced for the comparison of existing versus proposed zoning.

Typically, traffic studies are completed based on the peak hour of adjacent street traffic, when the potential interaction between development ingress / egress and existing adjacent street traffic is greatest. In some instances, the peak hour of the generator is of particular interest, where the use would generate more intense volumes during a time period when adjacent street traffic is below peak. Examples include schools and industrial facilities with shift changes. For residential uses, the peak hour of the generator is typically consistent with the peak hour of adjacent street traffic, associated with normal commuting patterns to/from home and work. For this study, the Township has indicated that the most conservative estimates should be referenced. In this case, the calculated forecasts show no significant difference between the peak hour of the generator and the peak hour of adjacent street traffic.

**Table 1: Site Trip Generation**

Condition	Land Use	ITE			Average Daily	AM Peak Hour			PM Peak Hour		
		Code	Amount	Units		In	Out	Total	In	Out	Total
Original Study (4-story)	Multi-Family Housing - Mid Rise	221	64	Dwellings	347	6	16	22	18	11	29
Compare (2-story)	Multi-Family Housing - Low Rise	220	64	Dwellings	443	7	24	31	25	15	40

Zoning	Land Use	ITE			Average Daily	AM Peak Hour			PM Peak Hour		
		Code	Amount	Units		In	Out	Total	In	Out	Total
Existing RX Zoning (Max Density)	Duplex	220	36	Dwellings	231	4	14	18	15	9	24
Existing RX Zoning (Max Density)	Single Family	210	36	Dwellings	406	8	22	30	24	14	38
Existing RX Zoning (Former Use)	Mobile Home Park	240	50	Dwellings	434	6	26	32	19	12	31
Proposed RC (Development)	Multi-Family Housing - Low Rise	220	53	Dwellings	360	6	20	26	21	13	34
Proposed RC (Max Density)	Multi-Family Housing - Low Rise	220	64	Dwellings	443	7	24	31	25	15	40
Peak Hour of Generator	Multi-Family Housing - Low Rise	220	64	Dwellings	443	10	27	37	26	18	44

According to Township Ordinance and *Evaluating Traffic Impact Studies, A Recommended Practice for Michigan Communities*, the forecast number of site-generated vehicle trips does not meet the thresholds to require traffic impact analysis or further study, under any of the above scenarios. Site trip generation potential of the site under the existing and proposed zoning classifications is similar. Furthermore, the former occupancy of this site exhibits a slightly higher trip daily generation potential than the maximum allowable density under the proposed zoning and respective development. These results indicate that the proposed project would not fundamentally increase the trip generation characteristics of this site.

Regarding potential increases in adjacent street and neighborhood traffic, the forecast volume of traffic for this site on a daily and peak hour basis is consistent with the trip generation characteristics of the surrounding neighborhoods and land uses. Peak hour directional traffic volumes with this development would be relative to approximately 1 vehicle every 3 minutes, and less during off-peak hours. There is no



compelling evidence from this study that would indicate discernable difference in the volume of traffic on the local road network would materialize as a result of this project.

Although the trip generation potential of this site is not significant, concern has been raised regarding the potential impacts of traffic cutting through the adjacent neighborhoods, particularly to the east. A direct connection of Sirhal Drive and Greencliff Drive would provide an alternate route between Grand River Avenue and Park Lake Road. This route is circuitous and professional experience indicates that vehicle delays and queues on the arterial system would have to be significant to cause cut-through overflow into the local road network. Notwithstanding, a direct connection is not proposed; whereas the connection will pass around a building and through a parking lot within the site. Furthermore, the fire department is amenable to emergency access only to Greencliff Drive. Therefore, traffic will not be able to pass through these neighborhoods between Grand River Avenue and Park Lake Road. There will be no changes to the connectivity with the adjacent road network as compared to existing conditions.

Please direct any questions regarding this memorandum to Bergmann.

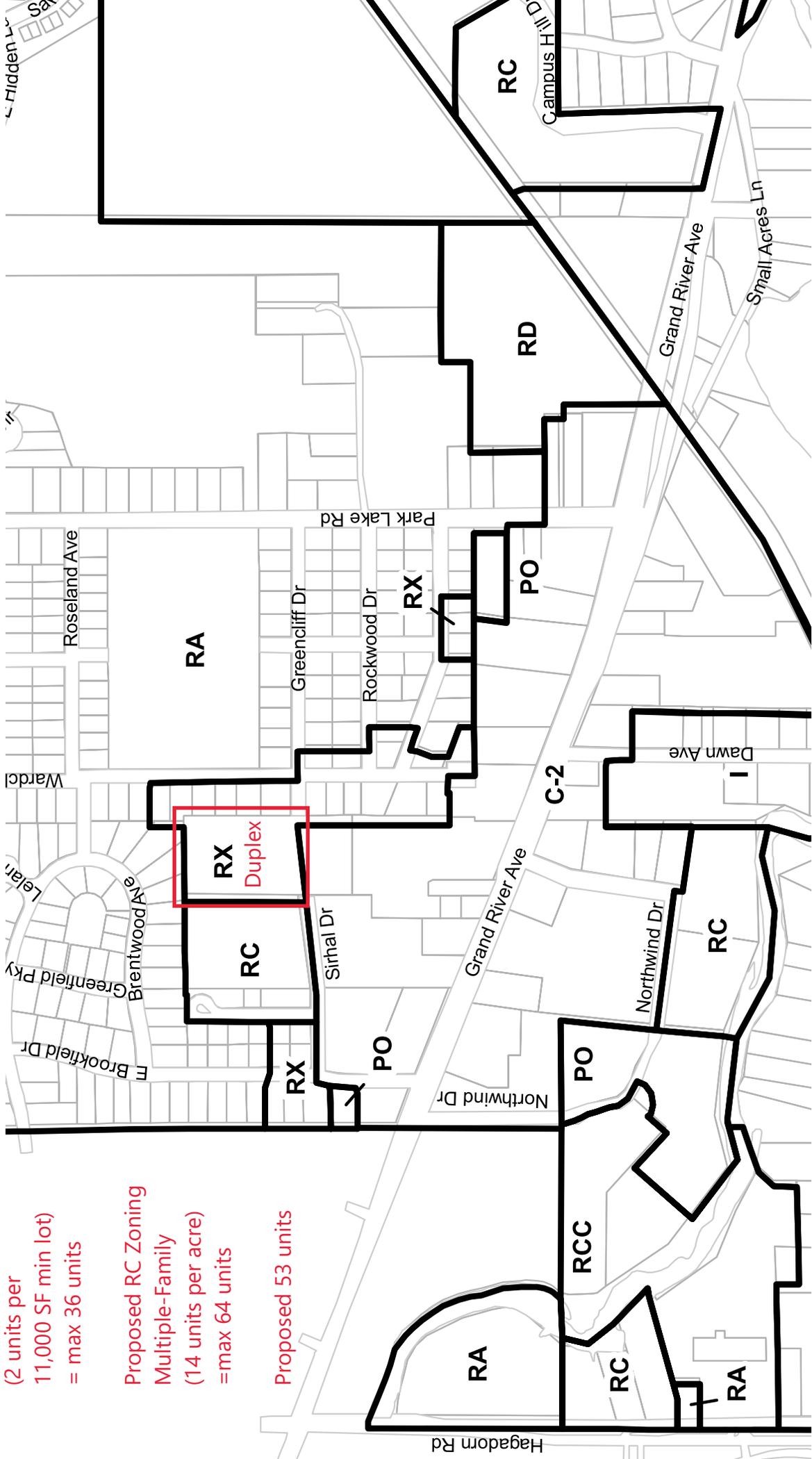
**Attached:**      Zoning Map / Density Calculations  
                     2005 Aerial Imagery

Site = 4.6 acres  
or 200,376 SF +/-

Existing RX Zoning  
(2 units per  
11,000 SF min lot)  
= max 36 units

Proposed RC Zoning  
Multiple-Family  
(14 units per acre)  
= max 64 units

Proposed 53 units



Legend

# Woodward Site

2005 Aerial Image  
Mobile Home Park



600 ft

# CERTIFIED SURVEY MAP

RECORDING INFORMATION

THIS IS ATTACHED TO AND MADE PART OF THE SKETCH TO FOLLOW.

Scope of Survey

Monument Engineering Group Associates, Inc. (MEGA) was contracted to perform a land division and parcel combination survey of the properties located in the SW 1/4 of Section 17, Township 4 North, Range 1 West, Meridian Township, Ingham County, Michigan. Tax IDs: 33-02-02-17-377-030 & 33-02-02-17-377-031

Bearing Reference

Bearings are based on Project Coordinate System:  
Michigan State Plane Coordinate System, NAD83 (Conus) (Mol) (GRS80), South Zone 2113, International Feet, Ground (Lat: N42°43'40.80", Lon: W84°27'14.40", Elev: 851, Scale Factor: 1.00012476).

Legal Description (As Provided)

(Per Tax Descriptions as recorded with Ingham County)

Tax Id: 33-02-02-17-377-030

(M 17-24) PART OF SW 1/4 OF SEC 17 T4N R1W DESC AS: COM AT S 1/4 COR OF SEC 17 - N00D 20'47"E ALNG NS 1/4 LN 174.22 FT TO C/L OF GRAND RIVER AVE - N67D 56'W ALNG SD C/L 635.01 FT TO POB - N67D 56'W ALNG SD C/L 154.58 FT - N00D 15'22"E 610.75 FT - N84D 22'18"E ALNG S LN OF SIRHAL DR 408.32 FT - S00D 20'47"W 258.63 FT - W 100 FT - S00D 20'47"W 218.11 FT - N89D 44'38"W 161.9 FT - S00D 15'22"W 231.79 FT TO POB 4.427 A.

Tax Id: 33-02-02-17-377-031

(M 17-20-1, 17-21, 17-23) PART OF S 1/2 OF SEC 17 T4NR1W & PART OF LOTS 64 THRU 67 EASTWOOD ACRES SUBD DESC AS: BEG ON NS 1/4 LN AT PT 990 FT S OF CENTER OF SEC 17 - E 20FT - S ALNG W LN OF PLAT OF IRWIN PARK TO N LN OF EASTWOOD ACRES - W 20 FT - S ALNG NS 1/4 LN TO PT 173.56 FT FROM SD CEN OF SEC - S89D 46'10"W 327.98 FT - N00D 28'09"E TO PT ON S LN OF PLAT OF EAST BROOKFIELD - E 324.15 FT TO POB. ALSO THAT PART W 22.3 FT OF LOTS 64 THRU 66 LYING N OF LN BEG ON NS 1/4 LN AT PT 1735.6 FT FROM SD CEN OF SEC - N89D 46'06"E 21.53 FT TO POB & ALSO W 20 FT OF LOT 67 EASTWOOD ACRES 5.9 A.

Sections corner Witnesses

**S 1/4 corner Section 17, T4N-R1W**

Found 1" iron pipe in monument box, as described and recorded in Book 14, Page 290, Ingham County Records.

**Center of Section 17, T4N-R1W**

Found 1" iron pipe, as described and recorded in Book 14, Page 290, Ingham County Records.

Certification

I, Allan W. Pruss, P.S., 44284 being a Licensed Professional Surveyor, hereby certify to the client named hereon that I have surveyed and mapped the parcel(s) hereon described and that the relative positional precision of each corner is within the limits accepted by the practice of professional surveying and that all the requirements of P.A. 132 of 1970, as amended, have been complied with.

This plat was prepared for the exclusive use of the person, persons, or entity named in the certification hereon. Said certificate does not extend to any unnamed person without an express recertification by the surveyor naming said person.

DRAFT

	<p><b>INNOVATIVE GEOSPATIAL &amp; ENGINEERING SOLUTIONS</b></p> <p>298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512 monumentengineering.com</p> <p><small>SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOSB)</small></p>	<p>CLIENT: <b>WODA</b></p>
	<p>LAST REVISION:</p>	<p>SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP.</p> <p>(M) – Measured Dist. (R) – Recorded Dist.                  ● MON – Found Concrete Monument                  ● FIR/P – Found Iron Rod/Pipe                  ○ SIR – Set Iron Rod                  ▲ MAG – Set Magnetic Nail                  P.O.B./E. – Point of Beginning/Ending                  ● – Soil Evaluation Dig                  *-*-* – Fence</p>
	<p>DATE: 3/15/2019</p>	<p>DR. BY: DC/MA      CHK BY: AP</p>
<p>SCALE: N/A</p>	<p>SHEET: 1 of 6</p>	<p>FILE : 19-022_Bndy</p>
		<p>JOB No. 19-022</p>

# CERTIFIED SURVEY MAP

(REFERENCES & TRANSFER PARCEL DESCRIPTION)

## References

### Surveys

- A & G Associates, LLC, Job No.: S140-2013, Dated: August 10, 2013
- KEBS, Inc., Job No.: 89624.ALT, Dated: 10/26/2015
- KEBS, Inc., Job No.: 03-B-72383, Dated: 12/17/2003

### Land Corner Recordation Certificate (LCRC)

- Property Controlling Corners as recorded in Book 14, Page 287  
Station 119 + 36.03  
Station 167 + 97.09

### Subdivision Plats

- East Brookfield, Liber 15, Pages 33-35 of Ingham County Register of Deeds
- Irwin Park, Liber 25, Page 45 of Ingham County Register of Deeds
- Eastwood Acres Subdivision, Liber 17, Page 37 of Ingham County Register of Deeds

## Legal Description Transfer Parcel

A part of the Southwest 1/4 of Section 17, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:

Commencing at the South 1/4 corner of said Section 17, thence along the North-South 1/4 line of said Section 17, N00°11'46"W, 173.52 feet to the centerline of Grand River Avenue (Variable - Width - Public - Right-of-Way);  
 thence along said centerline Grand River Avenue, N68°23'44"E, 636.81 feet;  
 thence N00°05'59"W, 230.77 feet;  
 thence N89°54'01"E, 161.90 feet;  
 thence N00°00'34"W, 218.05 feet;  
 thence N89°36'34"E, 100.00 feet;  
 thence N00°00'34"W, 88.37 feet to the POINT OF BEGINNING of the Transfer Parcel to be described;  
 thence continuing N00°00'34"W, 172.59 feet to the Southwest corner of Sirhal Drive (66 Foot - Wide - Public - Right-of-Way);  
 thence, N83°55'29"E, 328.27 feet;  
 thence, N89°47'43"E, 22.30 feet into Lot 66 of the Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of Ingham County Records;  
 thence S00°13'47"E thru Lot 66, 65 and part of 64 of said Eastwood Acres Subdivision, 205.91 feet;  
 thence, S89°45'14"W, 349.52 feet to the POINT OF BEGINNING containing 1.525 acers.

DRAFT

	<b>INNOVATIVE GEOSPATIAL &amp; ENGINEERING SOLUTIONS</b>  298 VETERANS DRIVE FOWLERVILLE, MICHIGAN 48836 (OFFICE) 517-223-3512 monumentengineering.com  <small>SERVICE DISABLED VETERAN OWNED                  SMALL BUSINESS (SDVOSB)</small>	CLIENT: <b>WODA</b>  SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP. (M) – Measured Dist. (R) – Recorded Dist. ● MON – Found Concrete Monument ● FIR/P – Found Iron Rod/Pipe ○ SIR – Set Iron Rod ▲ MAG – Set Magnetic Nail P.O.B./E. – Point of Beginning/Ending ● – Soil Evaluation Dig *-*-* – Fence
	LAST REVISION:	DATE: 3/15/2019 DR. BY: DC/MA      CHK BY: AP
SCALE: N/A	SHEET: 2 of 6	FILE : 19-022_Bndy
		JOB No. 19-022

# CERTIFIED SURVEY MAP

## (RESULTANT PARCEL DESCRIPTIONS)

### Legal Description Resultant Parcel A (As Surveyed)

A part of the South 1/2 of Section 7, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:

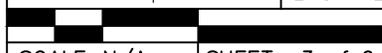
Commencing at the South 1/4 corner of said Section 17, thence along the North-South 1/4 line of said Section 17, N00°11'46"W, 1693.16 feet to the POINT OF BEGINNING of the Parcel to be described, said point also being S00°11'46"E, 991.94 feet from the Center of said Section 17;  
 proceeding thence from said POINT OF BEGINNING, N89°44'12"E, 18.59 feet to the West line of Lot 4 of Irwin Park Plat as recorded in Liber 25, Page 45 of the Ingham County Records;  
 thence along said West line of Irwin Park to the Southwest corner of Lot 1, S00°15'54"E, 332.69 feet;  
 thence S00°13'23"E, 141.00 feet over Lot 67 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records;  
 thence S89°47'43"W, 19.98 feet;  
 thence, S00°13'47"E, 66.00 feet;  
 thence, S83°55'29"W, 328.27 feet;  
 thence, N00°00'34"W, 571.87 feet;  
 thence N89°33'08"E, 325.56 feet to the POINT OF BEGINNING containing 4.368 acers, also subject to any other easements or restrictions of records.

### Legal Description Resultant Parcel B (As Surveyed)

A part of the Southwest 1/4 of Section 17, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:

Commencing at the South 1/4 corner of said Section 17, thence along the North-South 1/4 line of said Section 17, N00°11'46"W, 173.52 feet to the centerline of Grand River Avenue (Variable - Width - Public - Right-of-Way);  
 thence along said centerline Grand River Avenue, N68°23'44"E, 636.81 feet to the POINT OF BEGINNING of the Parcel to be described;  
 thence continuing along said centerline Grand River Avenue, N68°23'44"W, 149.73 feet;  
 thence, N00°25'10"W, 611.77 feet to the South Right-of-Way line for Sirhal Drive (66 Foot - Wide - Public - Right-of-Way);  
 thence along said South Right-of-Way line for Sirhal Drive, N83°49'18"E, 407.48 feet to the Southeast corner of said Sirhal Drive;  
 thence N83°55'29"E, 328.27 feet;  
 thence N89°47'43"E, 22.30 feet;  
 thence S00°13'47"E, 205.91 feet over Lots 66, 65 and part of 64 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records;  
 thence, S89°45'14"W, 349.52 feet;  
 thence, S00°00'34"E, 88.37 feet;  
 thence, S89°36'34"W, 100.00 feet;  
 thence, S00°00'34"E, 218.05 feet;  
 thence, S89°54'01"W, 161.90 feet;  
 thence S00°05'59"E, 230.77 feet to the POINT OF BEGINNING containing 5.918 acers, also subject to the rights of the public over Grand River Avenue (Variable - Width - Public - Right-of-Way), also subject to any other easements or restrictions of record.

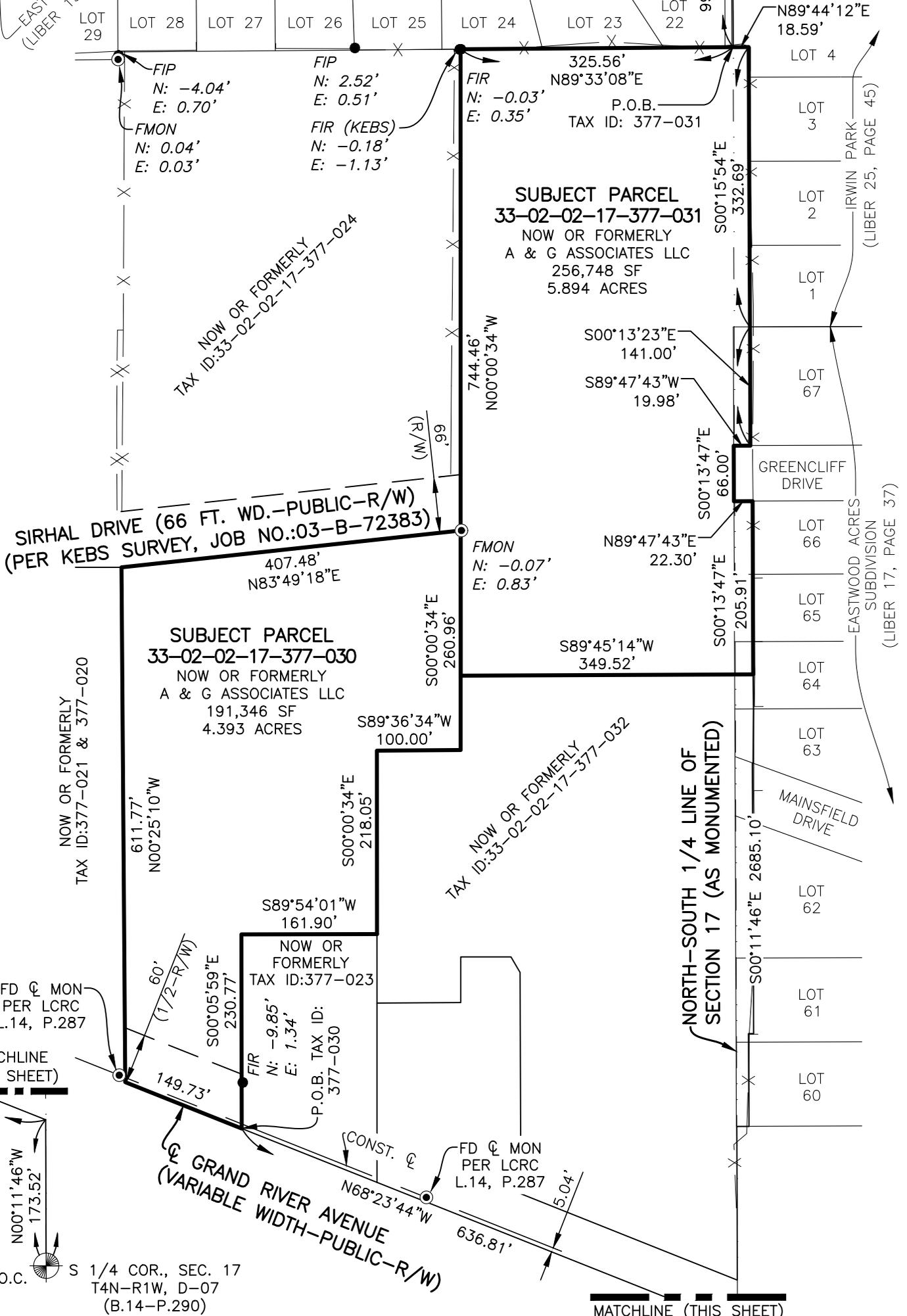
DRAFT

 <p><b>INNOVATIVE GEOSPATIAL &amp; ENGINEERING SOLUTIONS</b></p> <p>298 VETERANS DRIVE                  FOWLerville,                  MICHIGAN 48836                  (OFFICE) 517-223-3512                  monumentengineering.com</p> <p><small>SERVICE DISABLED VETERAN OWNED                  SMALL BUSINESS (SDVOSB)</small></p>	CLIENT: <b>WODA</b>  SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP. (M) – Measured Dist. (R) – Recorded Dist. ● MON – Found Concrete Monument ● FIR/P – Found Iron Rod/Pipe ○ SIR – Set Iron Rod ▲ MAG – Set Magnetic Nail P.O.B./E. – Point of Beginning/Ending ● – Soil Evaluation Dig *-*-* – Fence	LAST REVISION:  DATE: 3/15/2019 DR. BY: DC/MA      CHK BY: AP
	 SCALE: N/A      SHEET: 3 of 6      FILE : 19-022_Bndy	JOB No. 19-022

# CERTIFIED SURVEY MAP

C.O.S., SEC. 17  
T4N-R1W, D-06  
(B.14-P.290)

(EXISTING PARCELS)



DRAFT

**INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS**

298 VETERANS DRIVE  
FOWLerville,  
MICHIGAN 48836  
(OFFICE) 517-223-3512  
monumentengineering.com

SERVICE DISABLED VETERAN OWNED  
SMALL BUSINESS (SDVOSB)

CLIENT: **WODA**

SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP.

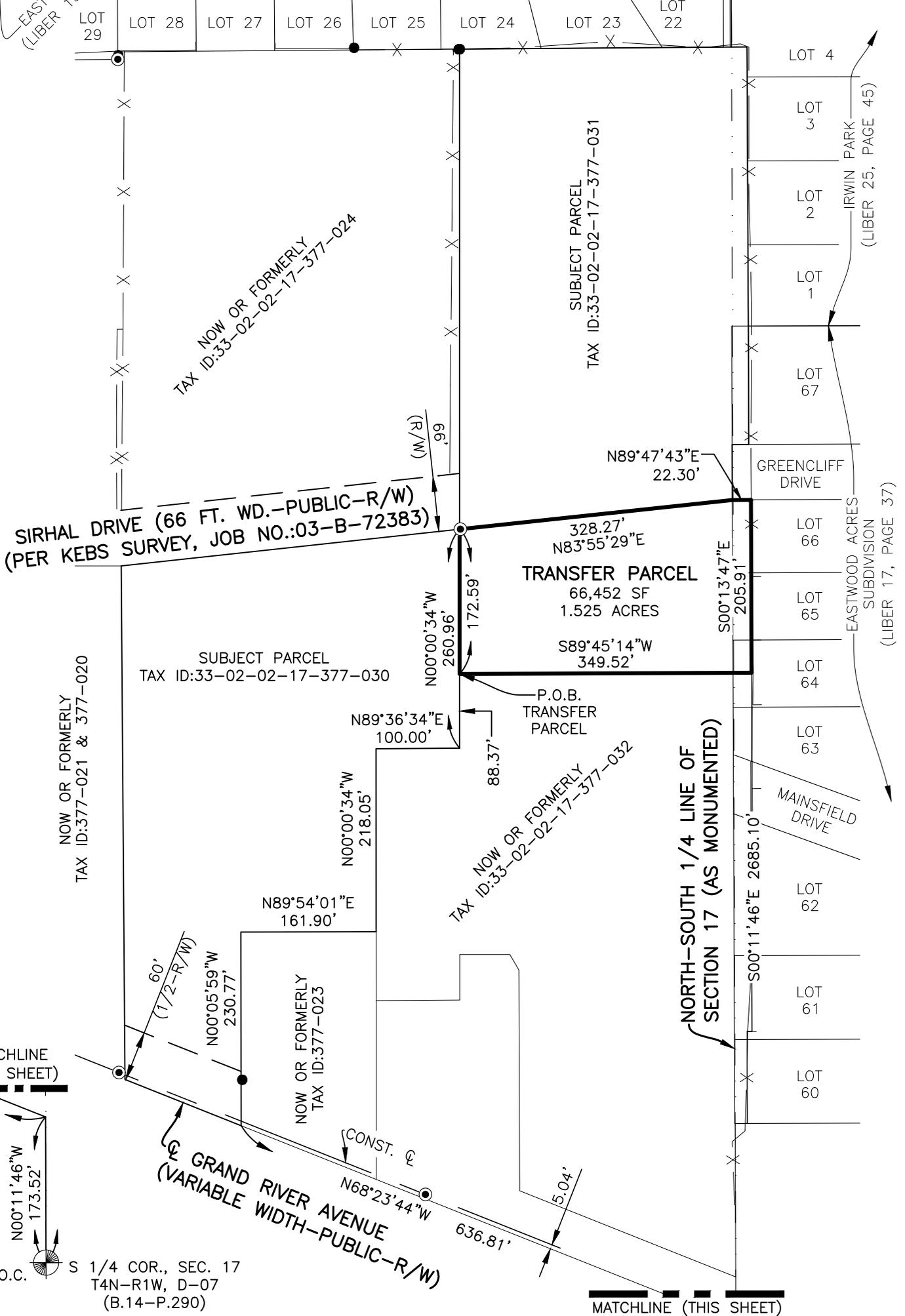
(M) - Measured Dist. (R) - Recorded Dist.  
 ● MON - Found Concrete Monument  
 ● FIR/P - Found Iron Rod/Pipe  
 ○ SIR - Set Iron Rod  
 ▲ MAG - Set Magnetic Nail  
 P.O.B./E. - Point of Beginning/Ending  
 ● - Soil Evaluation Dig  
 \* \* \* - Fence

SCALE: 1"=150'	SHEET: 4 of 6	FILE : 19-022_Bndy	DATE: 3/15/2019	DR. BY: DC/MA	CHK BY: AP
LAST REVISION:			JOB No. 19-022		

# CERTIFIED SURVEY MAP

C.O.S., SEC. 17  
T4N-R1W, D-06  
(B.14-P.290)

(TRANSFER PARCEL)



MATCHLINE (THIS SHEET)

MATCHLINE (THIS SHEET)

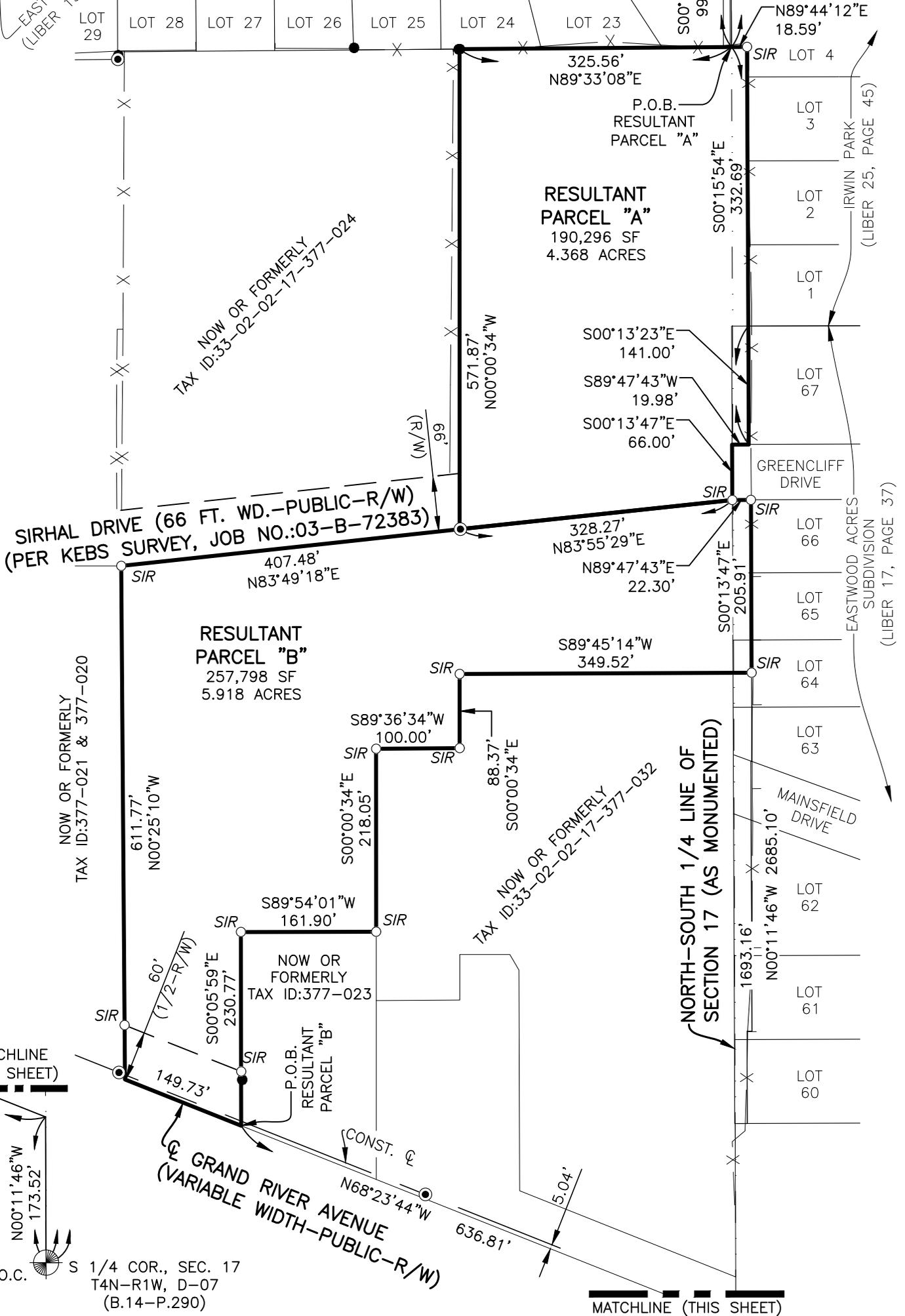
DRAFT

 <p><b>INNOVATIVE GEOSPATIAL &amp; ENGINEERING SOLUTIONS</b></p> <p>298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512 monumentengineering.com</p> <p><small>SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOB)</small></p>	CLIENT: <h2 style="margin: 0;">WODA</h2>
	SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP. (M) - Measured Dist. (R) - Recorded Dist. ● MON - Found Concrete Monument ● FIR/P - Found Iron Rod/Pipe ○ SIR - Set Iron Rod ▲ MAG - Set Magnetic Nail P.O.B./E. - Point of Beginning/Ending ● - Soil Evaluation Dig * * * - Fence
LAST REVISION:	DATE: 3/15/2019
SCALE: 1"=150' SHEET: 5 of 6	DR. BY: DC/MA    CHK BY: AP FILE : 19-022_Bndy    JOB No. 19-022

# CERTIFIED SURVEY MAP

C.O.S., SEC. 17  
T4N-R1W, D-06  
(B.14-P.290)

## (RESULTANT PARCELS)



DRAFT

**INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS**

298 VETERANS DRIVE  
FOWLerville,  
MICHIGAN 48836  
(OFFICE) 517-223-3512  
monumentengineering.com

*SERVICE DISABLED VETERAN OWNED  
SMALL BUSINESS (SDVO SB)*

CLIENT: **WODA**

SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP.

(M) - Measured Dist. (R) - Recorded Dist.

- MON - Found Concrete Monument
- FIR/P - Found Iron Rod/Pipe
- SIR - Set Iron Rod
- ▲ MAG - Set Magnetic Nail
- P.O.B./E. - Point of Beginning/Ending
- ⊙ - Soil Evaluation Dig
- \*-\*-\* - Fence

SCALE: 1"=150'	SHEET: 6 of 6	FILE : 19-022_Bndy	DATE: 3/15/2019	DR. BY:DC/MA	CHK BY: AP
LAST REVISION:			JOB No. 19-022		



# WOODWARD WAY LDHA, LP

## 2720 - 2780 SIRHAL DRIVE

### MERIDIAN TOWNSHIP

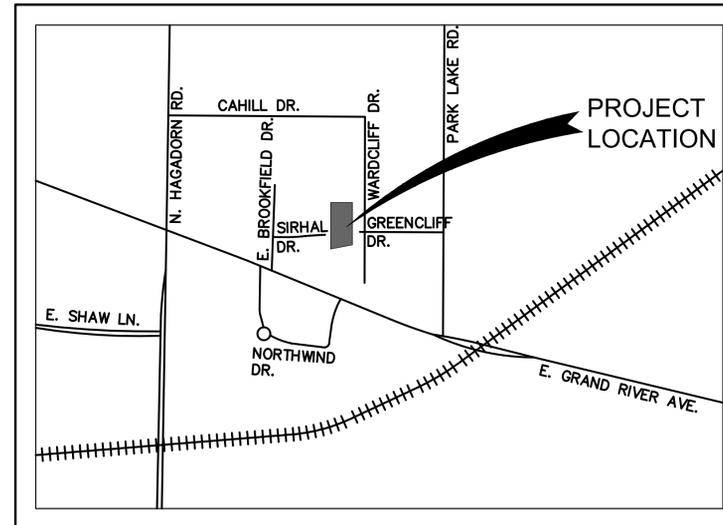
#### INGHAM COUNTY, MICHIGAN

#### INDEX OF SHEETS

CS	COVER SHEET
ATL 1	ALTA / NSPS LAND TITLE SURVEY
ALT 2	ALTA / NSPS LAND TITLE SURVEY
V-1.0	EXISTING TREE SURVEY
C0.1	EXISTING CONDITIONS & REMOVALS PLAN
C1.0	SITE PLAN
C1.1	SIRHAL DRIVE CUL-DE-SAC PLAN & PROFILE
C2.0	GRADING & DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	X-SECTIONS, NOTES, AND DETAILS
C4.1	X-SECTIONS, NOTES, AND DETAILS
C4.2	SIDEWALK & PATHWAY DETAIL SHEET
C4.3	WATER DISTRIBUTION SYSTEM DETAIL SHEET
C4.4	SANITARY SEWER DETAIL SHEET
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
A0-1	OVERALL PLANS - BUILDING 1
A0-2	OVERALL PLANS - BUILDING 2
A4-1	EXTERIOR ELEVATIONS - BUILDING 1
A4-2	EXTERIOR ELEVATIONS - BUILDING 2
E0.0	SITE PHOTOMETRIC PLAN

#### STANDARD CONSTRUCTION NOTES

- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering, ph# 517-853-4440, a minimum of 72 hours prior to the start of construction of public utilities or of construction within the public right-of-way.
- All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
- After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
- The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
- The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
- The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Meridian Charter Township, upon four hours notice, reserves the right to perform the work and deduct the cost therefore from the money due the contractor.
- A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments disturbed or destroyed by the contractor's operations.
- Contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
- Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
- Trees and shrubs are to be protected during construction and bored where necessary.
- Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
- Driveways, culverts, ditches, drain tile, tile fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
- All established lawn areas disturbed by the contractor's operations shall be resodded with matching sod. All other areas shall be seeded and mulched. Seeding and mulching shall be done in accordance with the General Specifications.
- All ditch slopes shall have established vegetation and be protected from erosion.
- All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
- Prior to acceptance of the public utility, one complete set of acceptable sealed as-built mylars, minimum 3 mills thick, and one diskette (AutoCAD format) of the site plans shall be submitted to the Office of Engineering.
- Onsite parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.



Know what's below.  
Call before you dig.

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

#### BENCH MARKS:

BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD.  
Elevation: 852.38 (NAVD 88)

BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS.  
Elevation: 853.46 (NAVD 88)

#### OWNER

WOODWARD WAY LDHA, LP  
500 S. FRONT STREET, 10TH FLOOR  
COLUMBUS, OHIO 43215  
PHONE: 614-396-3200

#### PROJECT LOCATION

SECTION 17, T4N, R1W,  
MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:

Bruce A. Callen, P.E.  
Callen Engineering, Inc.  
108 E. Savidge St.  
Spring Lake, Michigan 49456

Tel: 616-414-5260  
email: bcallen@callenengineering.com

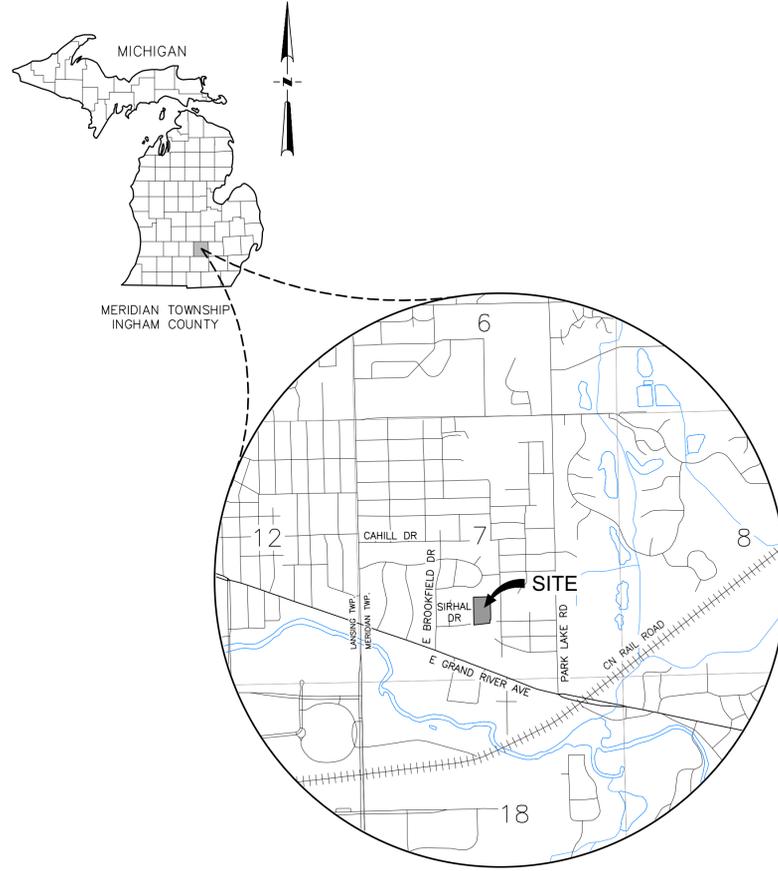
DATE OF PLAN: 08-17-21

ISSUANCES	
TOWNSHIP REVIEW	02-16-21
TOWNSHIP REVIEW / RFI #12	02-16-21
SIRHAL CUL-DE-SAC REVISIONS	06-29-21
SITE PLAN AND SLU REVIEW	08-17-21
REVISIONS	
DESIGNED BY:	
<b>Callen Engineering, Inc.</b> <i>municipal - commercial - residential</i> 108 E. Savidge Street Spring Lake, Michigan 49456 Tel: 616-414-5260 Web: callenengineering.com	
Drawn by	<b>J.W.C.</b>
Engineer	<b>A.J.B.</b> Check <b>B.A.C.</b>
Callen Engineering Project No.	Sheet No.
020 WODA COOPER - WOODWARD WAY	<b>CS</b>

**SCHEDULE B-SECTION II EXCEPTIONS**

TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY  
 TITLE COMMITMENT NO: 18-1165  
 EFFECTIVE DATE: NOVEMBER 04, 2020

- 10. RIGHT OF WAY FOR HIGHWAY PURPOSES GRANTED TO THE STATE HIGHWAY COMMISSION OF THE STATE OF MICHIGAN DATED MARCH 11, 1926, AND RECORDED MARCH 20, 1926, IN LIBER 11, PAGE 307, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 11. RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1956, AND RECORDED NOVEMBER 9, 1956, IN LIBER 68, PAGE 476, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 12. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 820, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 13. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 822, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN, DESCRIPTION IS SAME AS EXCEPTION 12)
- 14. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 824, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 15. TERMS AND CONDITIONS OF THE EASEMENT FOR RIGHT OF WAY DATED DECEMBER 22, 1964, AND RECORDED JANUARY 12, 1965, IN LIBER 886, PAGE 1213, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 16. RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY DATED MARCH 29, 1967, AND RECORDED FEBRUARY 27, 1968, IN LIBER 961, PAGE 1044, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 17. EASEMENT AGREEMENT FOR SURFACE DRAINAGE AS EVIDENCED BY THE AFFIDAVIT MADE BY THOMAS S. KATALENICH ON BEHALF OF MODERN MOTELS TRAILER COURT, INC., DATED APRIL 27, 1970, AND RECORDED MAY 14, 1970, IN LIBER 1013, PAGE 1097, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 18. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1969, AND RECORDED OCTOBER 8, 1970, IN LIBER 1025, PAGE 477, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 19. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1969, AND RECORDED OCTOBER 8, 1970, IN LIBER 1025, PAGE 481, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 20. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 1, 1971, AND RECORDED AUGUST 21, 1972, IN LIBER 1081, PAGE 960, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 21. EASEMENT GRANTED TO CONSUMERS POWER COMPANY, DATED JANUARY 26, 1980, AND RECORDED JULY 29, 1980, IN LIBER 1336, PAGE 936, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 22. FENCE MAINTENANCE AGREEMENT DATED JUNE 17, 1988, AND RECORDED JULY 1, 1991, IN LIBER 1888, PAGE 403, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 23. EASEMENT GRANTED TO COMCAST OF MICHIGAN, LLC DATED FEBRUARY 21, 2003, AND RECORDED MAY 21, 2003, IN LIBER 3031, PAGE 104, INGHAM COUNTY REGISTER OF DEEDS. (IT APPEARS TO BE A BLANKET EASEMENT OVER SUBJECT PARCEL)
- 24. RESTRICTIVE COVENANTS AND PROHIBITED USES DESCRIBED IN THE LEASE AGREEMENT BY AND BETWEEN G & A ASSOCIATES LLC, A MICHIGAN LIMITED LIABILITY COMPANY, LANDLORD, AND WHOLE FOODS MARKET GROUP, INC., A DELAWARE CORPORATION, TENANT, AS EVIDENCED BY THE MEMORANDUM OF LEASE DATED EFFECTIVE AS OF JULY 24, 2013, AND RECORDED NOVEMBER 20, 2014, IN DOCUMENT NO. 2014-044026, INGHAM COUNTY REGISTER OF DEEDS. (THE SUBJECT PARCEL IS A PORTION OF THE PARCEL DESCRIBED IN EXHIBIT "A")
- 25. EASEMENT FOR WATER MAIN PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED MARCH 24, 2016, AND RECORDED SEPTEMBER 2, 2016, IN DOCUMENT NO. 2016-031940, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 26. PROCTOR DRAIN AND 50' UTILITY EASEMENT APPEARING ON THE PLAT OF EASTWOOD ACRES SUBDIVISION, OF RECORD IN LIBER 17 OF PLATS, PAGE 37, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 27. EASEMENT FOR UNDERGROUND ELECTRIC FACILITIES GRANTED TO THE CITY OF LANSING, BOARD OF WATER AND LIGHT, DATED JANUARY 12, 2018, AND RECORDED JANUARY 26, 2018, IN DOCUMENT NO. 2018-002867, INGHAM COUNTY REGISTER OF DEEDS. (NOTE: THIS INSTRUMENT STATES THE NAME OF THE GRANTOR AS "A&G ASSOCIATES, THE RECORD TITLE HOLDER IS "G & A ASSOCIATES LLC.") (ITS LOCATION IS SHOWN)
- 28. FOR INFORMATION ONLY: AFFIDAVIT OF FACTS RELATING TO THE DEED RECORDED IN DOCUMENT NO. 2014-000973, DATED JUNE 19, 2014, AND RECORDED JUNE 23, 2014, IN DOCUMENT NO. 2014-024464, INGHAM COUNTY REGISTER OF DEEDS. (NOT SURVEY RELATED)
- 29. FOR INFORMATION ONLY: AFFIDAVIT OF SCRIVENER ERROR RELATING TO THE DEED RECORDED IN DOCUMENT NO. 2014-000973, DATED MAY 1, 2015 AND RECORDED MAY 11, 2015, IN DOCUMENT NO. 2015-018766, INGHAM COUNTY REGISTER OF DEEDS. (NOT SURVEY RELATED)



**LOCATION MAP**

**LEGAL DESCRIPTION (AS PROVIDED)**

(PER TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 18-1165, EFFECTIVE DATE: NOVEMBER 04, 2020)

SCHEDULE A, EXHIBIT "A" DESCRIPTION:

A PART OF THE SOUTH 1/2 OF SECTION 7, TOWN 4 NORTH - RANGE 1 WEST, MERIDIAN TOWNSHIP, INGHAM COUNTY, STATE OF MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 17, THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 17, N00°11'46"W, 1693.16 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED, SAID POINT BEING S00°11'46"E, 991.94 FEET FROM THE CENTER OF SAID SECTION 17; PROCEEDING THENCE FROM SAID POINT OF BEGINNING ALONG THE SOUTH LINE OF LOT 4 OF IRWIN PARK AS RECORDED IN LIBER 25, PAGE 45 OF INGHAM COUNTY RECORDS, N89°44'12"E, 18.59 FEET TO THE WEST LINE OF SAID LOT 4;  
 THENCE ALONG SAID WEST LINE OF IRWIN PARK TO THE SOUTHWEST CORNER OF LOT 1 OF SAID IRWIN PARK, S00°15'54"E, 332.69 FEET;  
 THENCE S00°13'23"E, 141.00 FEET THRU LOT 67 OF EASTWOOD ACRES SUBDIVISION AS RECORDED IN LIBER 17, PAGE 37 OF THE INGHAM COUNTY RECORDS TO THE NORTH LINE OF GREENCLIFF DRIVE;  
 THENCE ALONG SAID NORTH LINE OF GREENCLIFF DRIVE, S89°47'43"W, 19.98 FEET TO THE WEST LINE OF SAID GREENCLIFF DRIVE;  
 THENCE ALONG SAID WEST LINE OF GREENCLIFF DRIVE, S00°13'47"E, 66.00 FEET;  
 THENCE S83°55'29"W, 328.27 FEET TO THE SOUTHEAST CORNER OF SIRHAL DRIVE (66 FOOT WIDE - PUBLIC - RIGHT-OF-WAY);  
 THENCE N00°00'34"W, 571.87 FEET TO A POINT ON THE SOUTH LINE OF EAST BROOKFIELD;  
 THENCE ALONG SAID SOUTH LINE OF EAST BROOKFIELD, N89°33'08"E, 325.56 FEET TO THE POINT OF BEGINNING CONTAINING 4.368 ACRES, ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORDS.

**WOODWADR WAY  
 ALTA/NSPS LAND TITLE SURVEY**

**TABLE A ITEM NOTES**

- ITEM 1: 1, 4, 7(a), 7(b)(1), 8 & 13.  
 (SEE PLAN VIEW ON ALT-2 SHEET FOR MORE INFORMATION)
- ITEM 2: THERE IS NO POSTED ADDRESS ON SITE; NO BUILDINGS WERE OBSERVED, SUBJECT PROPERTY IS VACANT LAND.
- ITEM 3: FLOOD ZONE  
 FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF INGHAM, COMMUNITY PANEL NO. (26065C0152D), EFFECTIVE DATE AUGUST 16, 2011.
- ITEM 9: EXISTING PARKING  
 THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.
- ITEM 16: AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- ITEM 17: AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.

**SHEET INDEX**

- ALT-1 = ALTA COVER
- ALT-2 = ALTA SURVEY

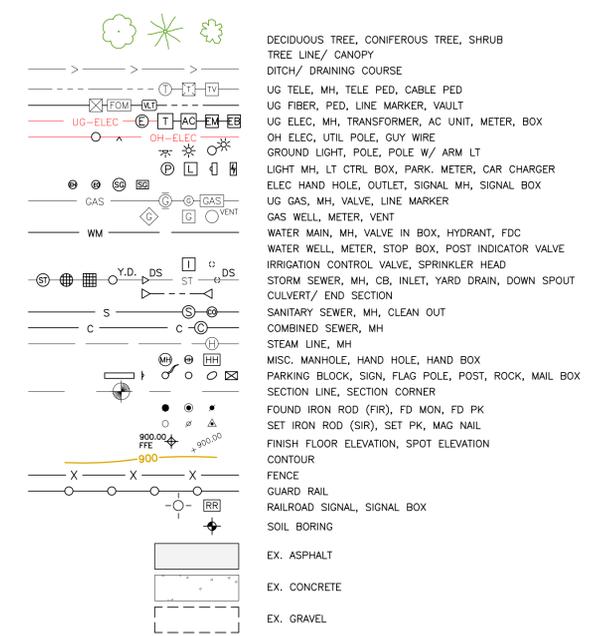
**SURVEY REFERENCE**

- 1. GEODETIC DESIGNS, INC., JOB NO.: S140-2013, DATED: AUGUST 10, 2013.

**BEARING REFERENCE**

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: N42°43'40.80", LON: W84°27'14.40", ELEV: 851, SCALE FACTOR: 1.00012476).

**EXISTING LEGEND**



**MISCELLANEOUS NOTES**

- 1. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA SIRHAL DRIVE, A PUBLIC RIGHT-OF-WAY. GREENCLIFF DRIVE IS NOT MAINTAINED AT THIS TIME, BUT PER CONVERSATION WITH THE INGHAM COUNTY ROAD COMMISSION, IT IS STILL A PUBLIC RIGHT OF WAY.
- 2. THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN SCHEDULE A OF TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 18-1165, EFFECTIVE DATE: NOVEMBER 04, 2020.

**UTILITY NOTES**

- 1. THE SITE WAS ONCE A TRAILER PARK AND MULTIPLE TYPES OF UTILITY LINES THAT SERVICED THE INDIVIDUAL SITES MAY STILL BE IN THE GROUND.
- 2. ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOW ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- 3. THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

**UTILITY REFERENCE**

WM:	MERIDIAN TOWNSHIP ~ LANSING BOARD WATER & LIGHT
RECEIVED:	12/3/20
SAN:	MERIDIAN TOWNSHIP
RECEIVED:	NO RESPONSE
STORM:	MERIDIAN TOWNSHIP ~ INGHAM CO. DRAIN COMMISSION
RECEIVED:	NO RESPONSE
GAS:	CONSUMERS ENERGY
RECEIVED:	12/3/20
ELEC:	CONSUMERS ENERGY
RECEIVED:	N/A
PHONE/CABLE:	AT&T ~ COMCAST ~ SPECTRUM BROAD BAND ~ METRO FIBERNET
RECEIVED:	12/8/20 ~ NO RESPONSE ~ NO RESPONSE ~ 12/4/20

**CERTIFICATION**

TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13, 16 & 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 12/9/2020.

MARC E. BUDZINSKI, PS  
 PROFESSIONAL SURVEYOR NO. 4001053492  
 12/10/2020  
 DATE OF PLAT OR MAP:

THIS SURVEY PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED THIRD PERSON WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID THIRD PERSON.



**DRAFT**

Call MISS DIG  
 3 full working days before you dig.  
 Utility Notification Organization  
 1-800-482-7171  
 www.missdig.org

CLIENT :  
**WODA COOPER COMPANIES, INC.**  
 500 S. FRONT ST.,  
 10TH FLOOR  
 COLUMBUS, OH 43215

**ALTA/NSPS LAND TITLE SURVEY**  
 WOODWARD WAY  
 SIRHAL DRIVE, EAST LANSING  
 PART OF SW 1/4, SEC. 17, T4N-R1W  
 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

DATE	
PLAN SUBMITTALS/REVISIONS	

ORIGINAL ISSUE DATE:  
 12/4/2020

PROJECT NO: 19-022

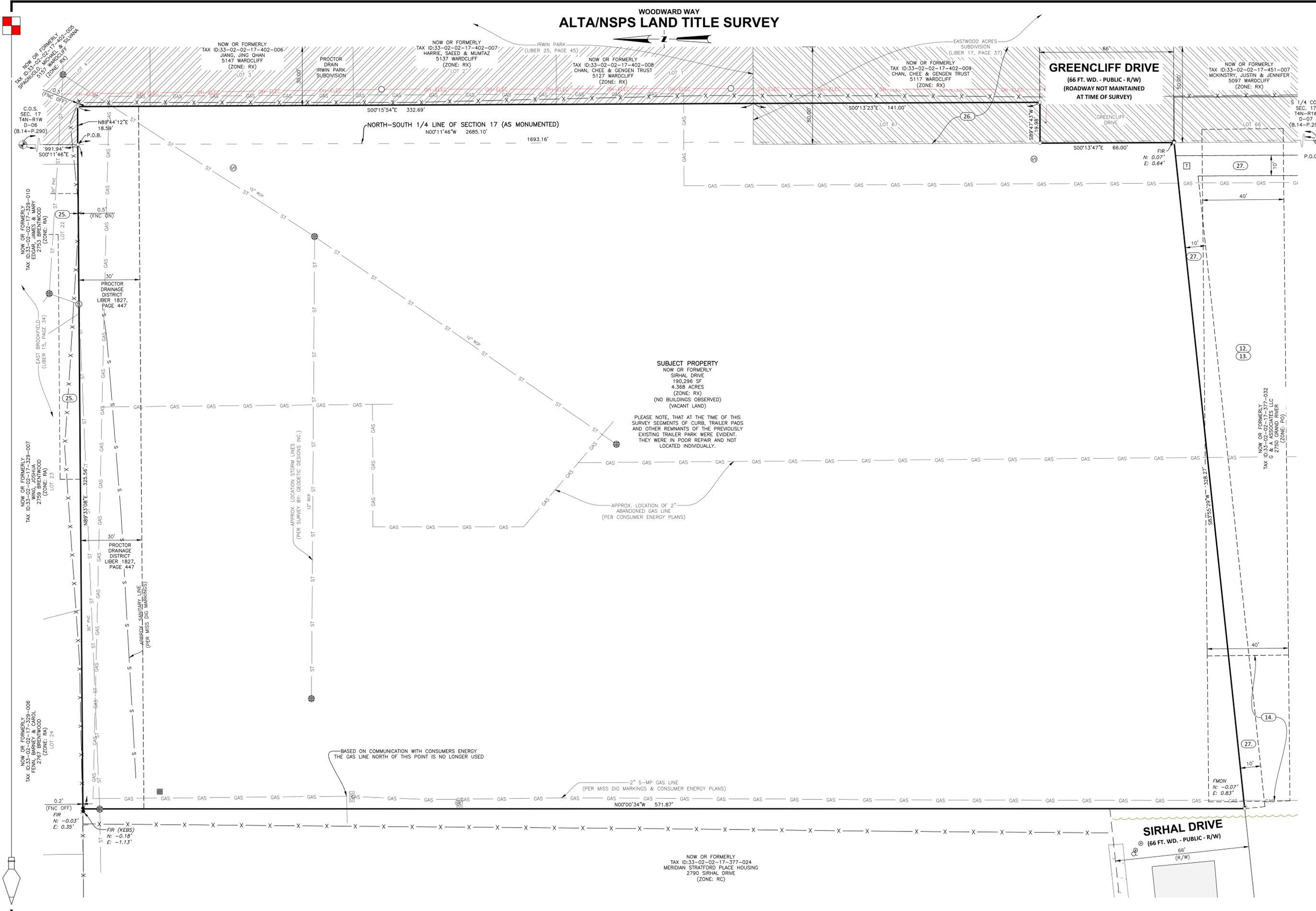
SCALE: N/A

FIELD:  
 DRAWN BY: DC  
 DESIGN BY: N/A  
 CHECK BY: MB

**ALT-1**

NOT FOR CONSTRUCTION

WOODWARD WAY  
ALTA/NSPS LAND TITLE SURVEY



**SUBJECT PROPERTY**  
NOW OR FORMERLY  
SIRHAL DRIVE  
190,296 SF  
4.368 ACRES  
(ZONE: RX)  
(NO BUILDINGS OBSERVED)  
(VACANT LAND)

PLEASE NOTE, THAT AT THE TIME OF THIS SURVEY SEGMENTS OF CURB, TRAILER PADS AND OTHER REMNANTS OF THE PREVIOUSLY EXISTING TRAILER PARK WERE EVIDENT. THEY WERE IN POOR REPAIR AND NOT LOCATED INDIVIDUALLY.

APPROX. LOCATION OF 2" ABANDONED GAS LINE (PER CONSUMER ENERGY PLANS)

BASED ON COMMUNICATION WITH CONSUMERS ENERGY THE GAS LINE NORTH OF THIS POINT IS NO LONGER USED

2" S-MP GAS LINE (PER MISS DIG MARKINGS & CONSUMER ENERGY PLANS)

NOW OR FORMERLY  
TAX ID:33-02-02-17-377-024  
MERIDIAN STRATFORD PLACE HOUSING  
2790 SIRHAL DRIVE  
(ZONE: RC)

ENGINEERS - SURVEYORS  
CONSULTANTS - LAND PLANNERS

298 VETERANS DRIVE  
FOWLERVILLE,  
MICHIGAN 48836  
(OFFICE) 517-223-3512  
MONUMENTENGINEERING.COM  
SERVICE DISABLED VETERAN OWNED  
SMALL BUSINESS (SDVOSB)

DRAFT

Call MISS DIG  
3 full working days before you dig:  
Michigan's Utility  
One-Call Notification  
Organization  
1-800-482-7171  
www.missdig.org

CLIENT :  
**WODA COOPER COMPANIES, INC.**  
500 S. FRONT ST.,  
10TH FLOOR  
COLUMBUS, OH 43215

**ALTA/NSPS LAND TITLE SURVEY**  
WOODWARD WAY  
SIRHAL DRIVE, EAST LANSING  
PART OF SW 1/4, SEC. 17, T4N-R1W  
MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE

ORIGINAL ISSUE DATE:  
12/4/2020

PROJECT NO: 19-022

SCALE: N/A  
0 1/2" 1"

FIELD:  
DRAWN BY: DC  
DESIGN BY: N/A  
CHECK BY: MB

**ALT-2**

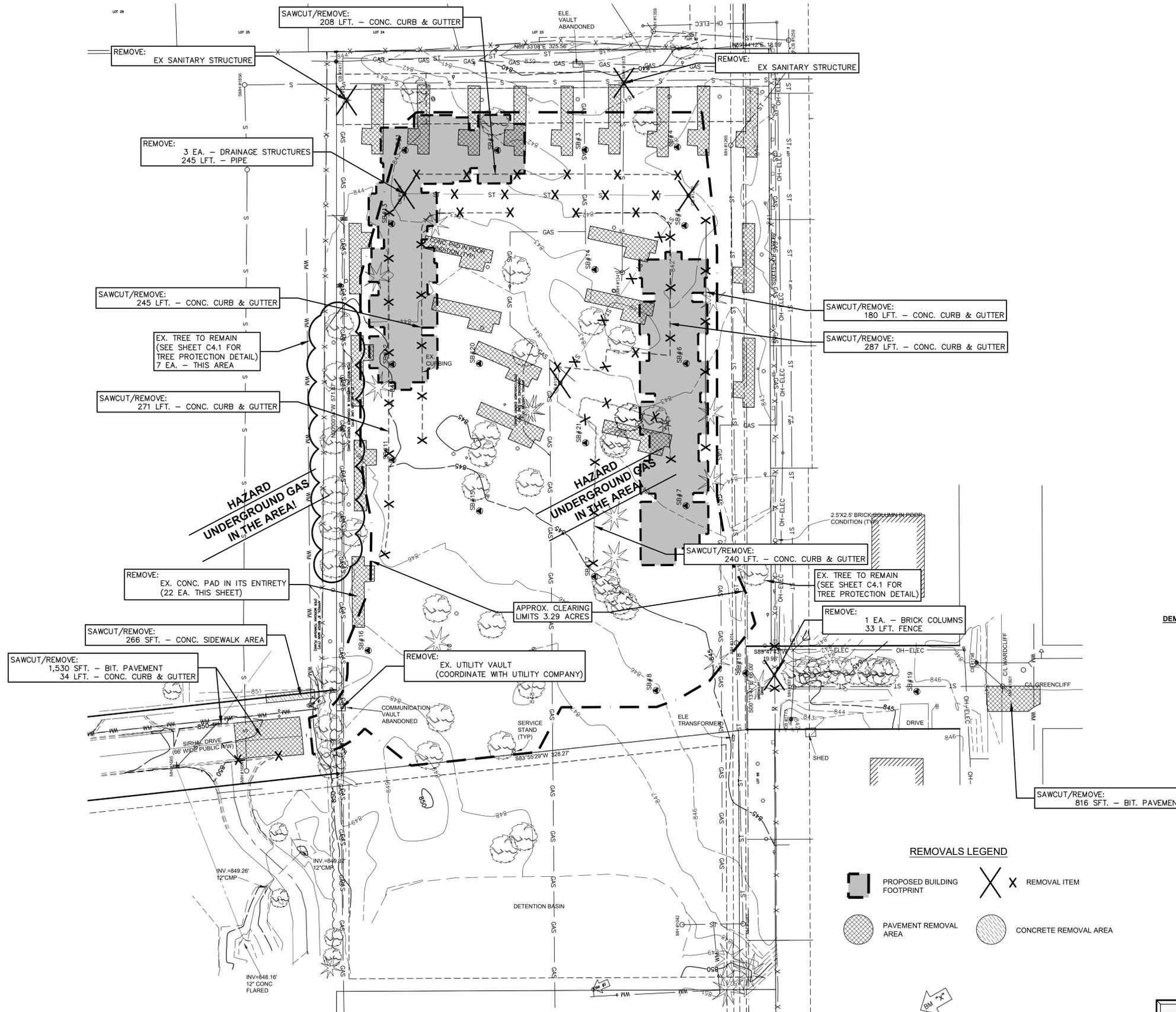
NOT FOR CONSTRUCTION



NO.	ISSUANCE / REVISION	DATE
1	TOWNSHIP REVIEW / RFI #12	09/22/21
2	SIRHAL DRIVE-SAFE REVISION	09/29/21
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/06/21
4	PRELIMINARY DRAIN COMMISSION REVIEW	08/17/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	

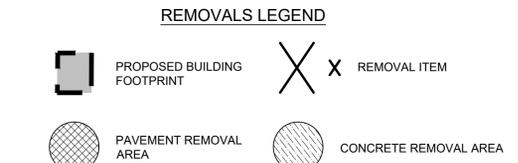
WOODWARD WAY APARTMENTS  
 2720 - 2780 SIRHAL DRIVE  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 EXISTING CONDITIONS & REMOVALS PLAN

PROJECT	DATE
020 WOODWARD WAY	DEC '20
AS NOTED	DEC '20
SCALE	AS NOTED
SCALE	1:1
SHEET NO.	C0.1

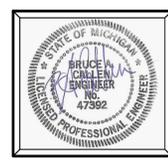


Property Address: 0 Sirhal Drive  
 Parcel Number: 33-02-02-17-377-031  
 Property Description:  
 A part of the South 1/2 of Section 7, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:  
 Commencing at the South 1/4 corner of said Section 17, then along the North-South 1/4 line of said Section 17, N00°11'46"W, 1693.16 feet to the POINT OF BEGINNING of the Parcel to be described, said point being S00°11'46"E, 991.94 feet from the Center of said Section 17;  
 proceeding thence from said POINT OF BEGINNING along the South line of Lot 4 of Irwin Park as recorded in Liber 25, Page 45 of Ingham County Records, N89°44'12"E, 18.59 feet to the West line of said Lot 4;  
 thence along said West line of Irwin Park to the Southwest corner of Lot 1 of said Irwin Park, S00°15'54"E, 332.69 feet;  
 thence S00°13'23"E, 141.00 feet thru Lot 67 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records to the North line of Greenciff Drive;  
 thence along said North line of Greenciff Drive, S89°47'43"W, 19.98 feet to the West line of said Greenciff Drive;  
 thence along said West line of Greenciff Drive, S00°13'47"E, 66.00 feet;  
 thence S83°55'29"W, 328.27 feet to the Southeast corner of Sirhal Drive (66 Foot Wide - Public - Right-of-Way);  
 thence N00°00'34"W, 571.87 feet to a point on the South line of East Brookfield;  
 thence along said South line of East Brookfield, N89°33'08"E, 325.56 feet to the POINT OF BEGINNING containing 4.368 acres, also subject to any other easements or restrictions of records.  
 Total Acreage: 4.37 Acres (190,268 sq. ft.)  
 Property Zoning: RC - MULTIPLE FAMILY (14 UNITS PER ACRE)  
 Setbacks:  
 Front: 50 ft.  
 Side: 50 ft. East Side, 25 ft. West side  
 Rear: 25 ft.  
 Maximum Allowable Building Height: 3 Stories or 40 ft.

**DEMOLITION NOTES**  
 CONCRETE SLABS SHOWN ARE THOSE THAT WERE VISIBLE AT THE TIME OF THE TOPOGRAPHICAL SURVEY. ADDITIONAL CONCRETE SLABS AND OTHER REMNANTS OF THE MOBILE HOME PARK MAY EXIST THAT WERE NOT VISIBLE/IDENTIFIED DURING THE TOPOGRAPHICAL SURVEY FIELD WORK. CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER TO REVIEW HISTORICAL RECORDS THAT MAY REVEAL ADDITIONAL FEATURES THAT MAY OR MAY NO LONGER EXIST.  
 REMOVE AND CAP ALL EXISTING WATER SERVICES, GAS AND ELECTRIC SERVICE LEADS AT R.O.W. COORDINATE REMOVAL WITH RESPECTIVE UTILITY COMPANIES.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY DEMOLITION PERMITS AND PAYING FOR ANY ASSOCIATED PERMIT FEES.  
 NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).  
 WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH. REMOVE TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.



**BENCH MARKS:**  
 BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD. Elevation: 852.38 (NAVD 88)  
 BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS. Elevation: 853.46 (NAVD 88)

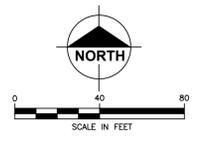


Plan Prepared By:  
 Bruce A. Callen, P.E.  
 Callen Engineering, Inc.  
 108 E. Savidge St.  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260  
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

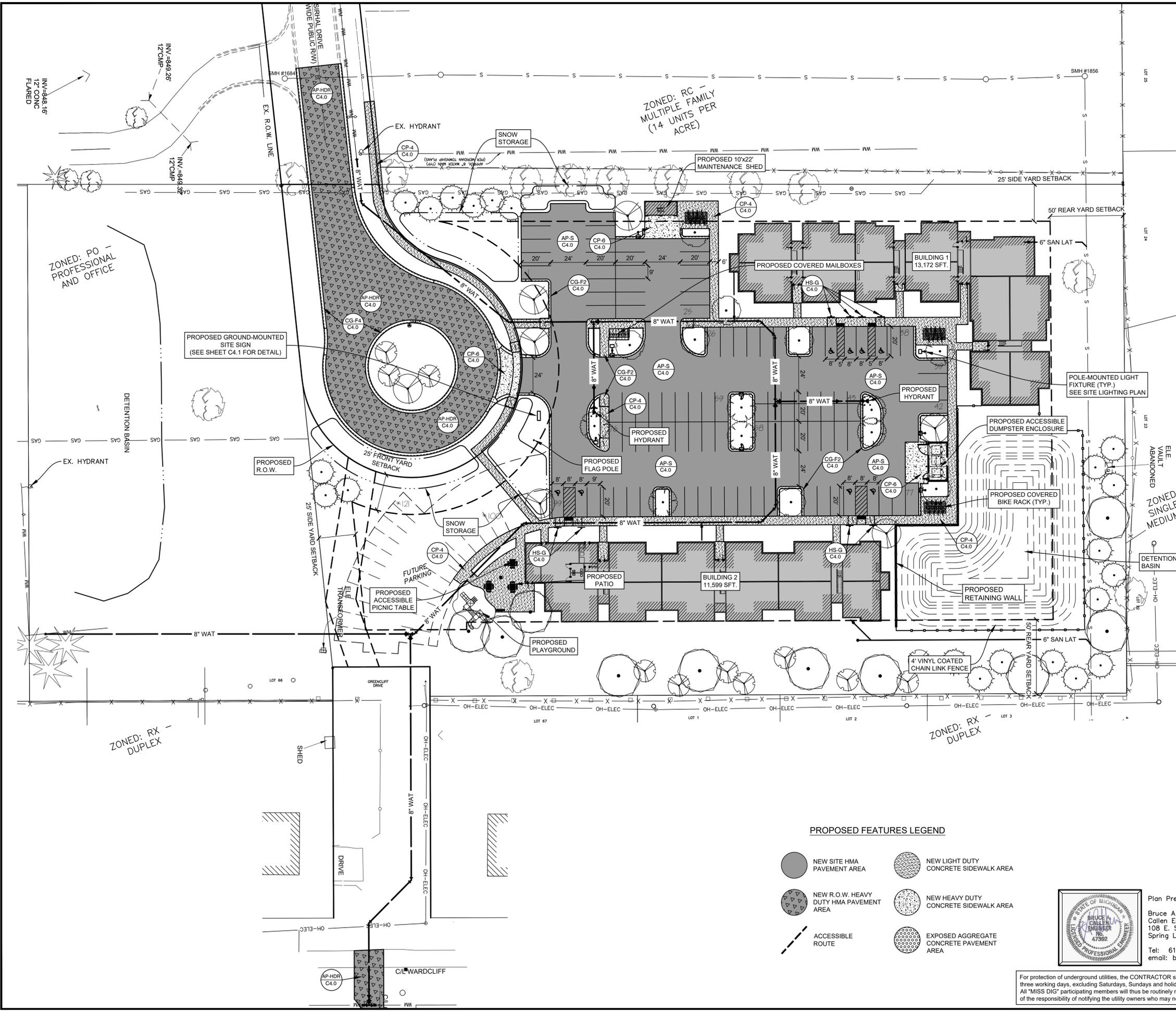


TOPOGRAPHIC SURVEY PERFORMED BY LAKE MICHIGAN SURVEYING, LLC.  
 BOUNDARY ALTA SURVEY PERFORMED BY MONUMENT ENGINEERING GROUP ASSOCIATES, INC. (MEGA)



PRELIMINARY - NOT FOR CONSTRUCTION

**811**  
 Know what's below.  
 Call before you dig.  
 DATE OF PLAN: 08-17-21



ZONED: RC -  
MULTIPLE FAMILY  
(14 UNITS PER ACRE)

ZONED: PO -  
PROFESSIONAL  
AND OFFICE

ZONED: RA -  
SINGLE FAMILY  
MEDIUM-DENSITY

ZONED: RX -  
DUPLEX

- GENERAL NOTES**
- PROJECT INCLUDES CONSTRUCTION OF A NEW DEVELOPMENT CONSISTING OF 49 RESIDENTIAL UNITS IN 2 - TWO STORY BUILDINGS AND RELATED PARKING, SIRHAL DRIVE CUL-DE-SAC, LANDSCAPING, SIGNAGE, LIGHTING, UTILITIES, AND STORM WATER DRAINAGE FACILITIES.
  - THE DEVELOPMENT SHALL BE SERVED BY PUBLIC WATER MAIN AND PUBLIC SANITARY SEWER.
  - ACCESS TO THE DEVELOPMENT SHALL BE VIA AN EXTENSION OF SIRHAL DRIVE.
  - STORM DRAINAGE SHALL BE DETAINED ON SITE, AND DISCHARGED TO THE PROCTOR DRAIN AT A CONTROLLED RATE, MEETING THE REQUIREMENTS OF INGHAM COUNTY GUIDELINES FOR STORM WATER MANAGEMENT.
  - PARKING AND DRIVE AREAS SHALL BE PAVED WITH BITUMINOUS AND CONCRETE PAVEMENTS.
  - PARKING: REQUIRED: 2 SPACES PER DWELLING UNIT, PLUS EXPANSION CAPACITY OF 25%.
    - DWELLING UNITS = 49 APARTMENT UNITS (49\*2) = 98 PARKING SPACES  
**TOTAL = 98 SPACES**
    - EXPANSION CAPACITY = 25% (98\*0.25) = 25 PARKING SPACES  
**TOTAL = 25 SPACES**
    - PROVIDED: 99 SPACES, INCLUDING EIGHT (8) BARRIER FREE SPACES.  
22 EXPANSION AREA SPACES  
24 BICYCLE SPACES  
**TOTAL = 145 SPACES, INCLUDING EIGHT (8) BARRIER FREE SPACES, AND 24 BICYCLE SPACES.**
  - NEW SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE MERIDIAN TOWNSHIP ZONING ORDINANCE.
  - PROPOSED SITE LIGHTING SHALL CONSIST OF POLE-MOUNTED FIXTURES, DIRECTED TO INHIBIT LIGHTING BEYOND PROPERTY LIMITS, MEETING THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE MERIDIAN TOWNSHIP ZONING ORDINANCE.
  - LANDSCAPING AND SCREENING SHALL MEET THE INTENT OF MERIDIAN TOWNSHIP ZONING ORDINANCE.
  - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

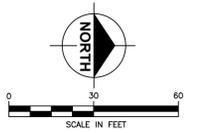
**PROPOSED FEATURES LEGEND**

- NEW SITE HMA PAVEMENT AREA
- NEW R.O.W. HEAVY DUTY HMA PAVEMENT AREA
- ACCESSIBLE ROUTE
- NEW LIGHT DUTY CONCRETE SIDEWALK AREA
- NEW HEAVY DUTY CONCRETE SIDEWALK AREA
- EXPOSED AGGREGATE CONCRETE PAVEMENT AREA



Plan Prepared By:  
Bruce A. Callen, P.E.  
Callen Engineering, Inc.  
108 E. Savidge St.  
Spring Lake, Michigan 49456  
Tel: 616-414-5260  
email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



PRELIMINARY - NOT FOR CONSTRUCTION



Know what's below.  
Call before you dig.  
DATE OF PLAN: 08-17-21

**Callen Engineering, Inc.**  
municipal - commercial - residential  
108 E. Savidge Street  
Spring Lake, Michigan 49456  
Tel: 616-414-5260 Web: callenengineering.com

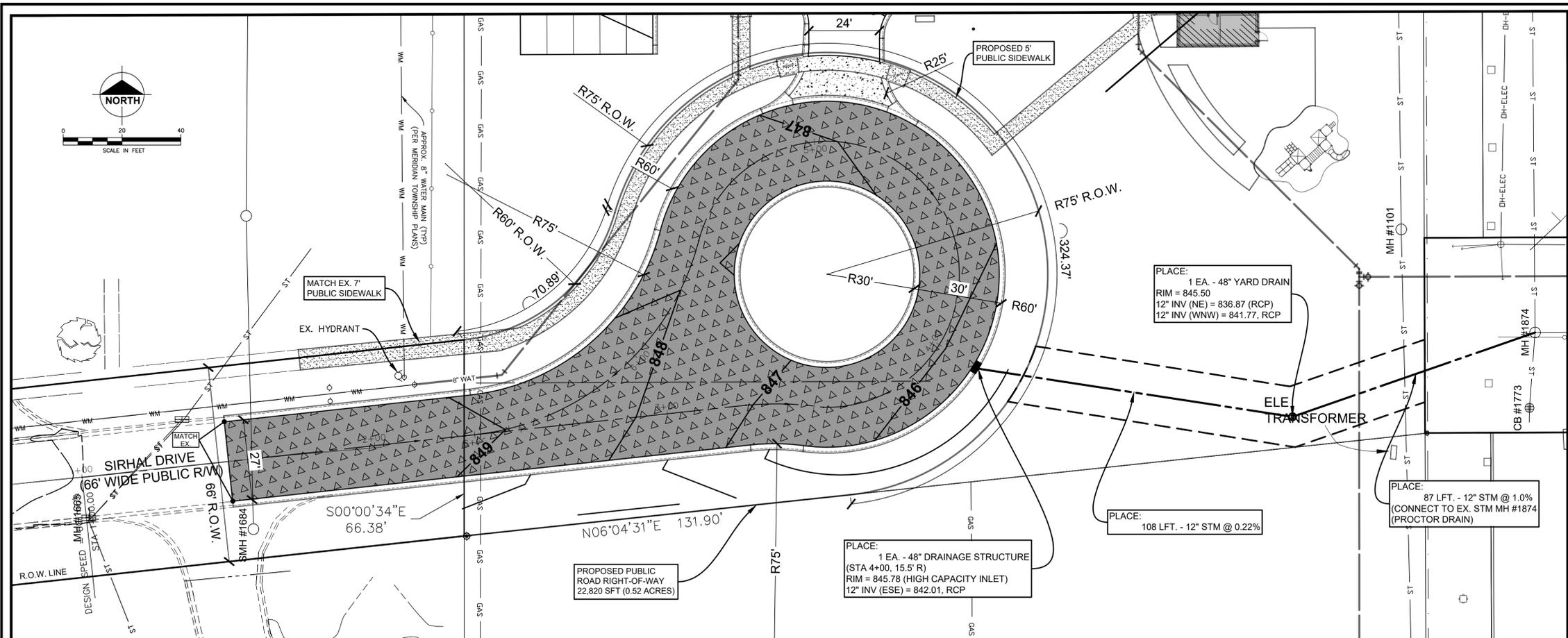
WOODWARD WAY APARTMENTS  
500 S. FRONT STREET, 10TH FLOOR  
COLUMBUS, OHIO 43215

WOODWARD WAY APARTMENTS  
2720 - 2780 SIRHAL DRIVE  
MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN  
SITE PLAN

NO.	ISSUANCE / REVISION	DATE
1.	SIRHAL DRIVE-SAC REVISIONS	06/29/21
2.	SITE PLAN REVIEW	08/03/21
3.	PRELIMINARY DRAIN COMMISSION REVIEW	08/06/21
4.	SITE PLAN AND SUJ REVIEW	08/17/21

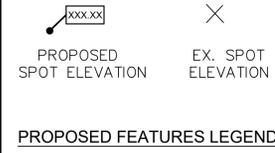
REVISED IN ACCORDANCE WITH CONSTRUCTION RECORDS

PROJECT	020 WOODWARD WAY
SHEET NO.	C1.0



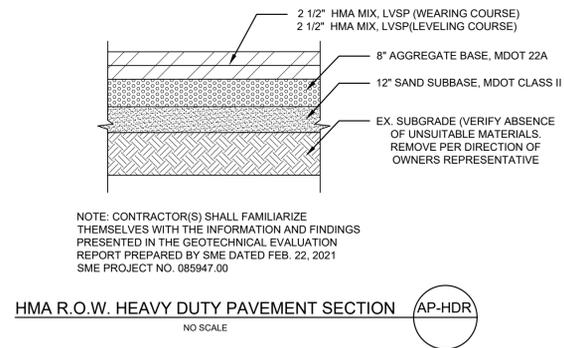
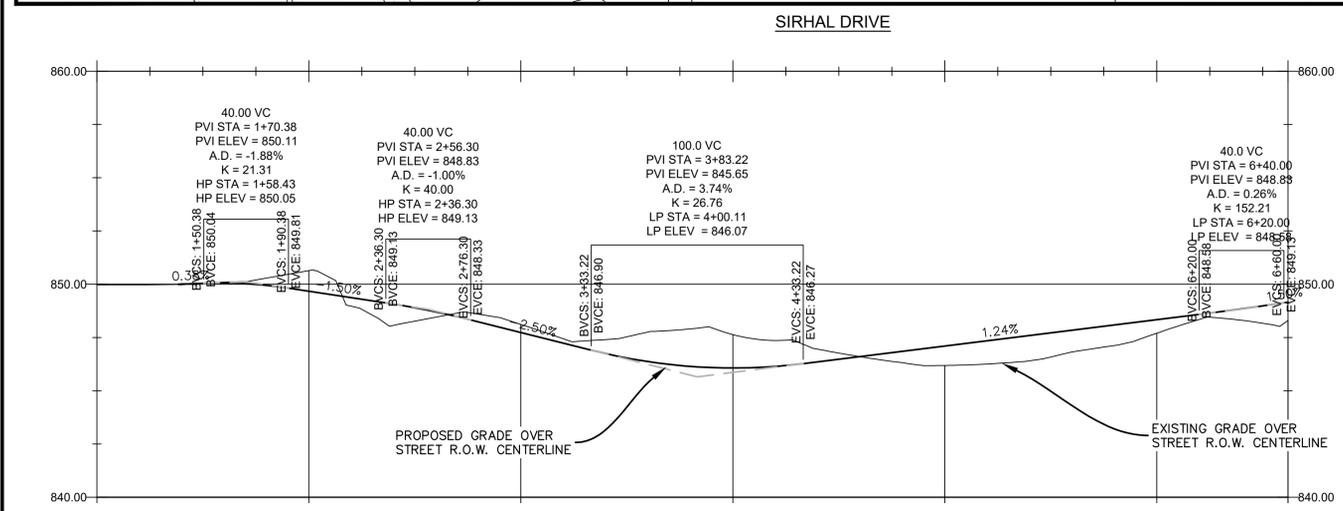
Plan Prepared By:  
 Bruce A. Callen, P.E.  
 Callen Engineering, Inc.  
 108 E. Savidge St.  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260  
 email: bcallen@callenengineering.com

PRELIMINARY - NOT FOR CONSTRUCTION



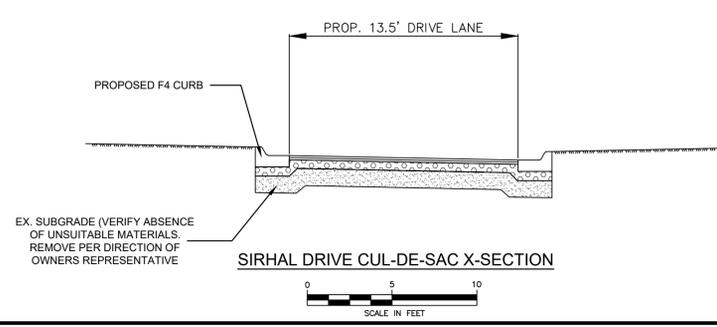
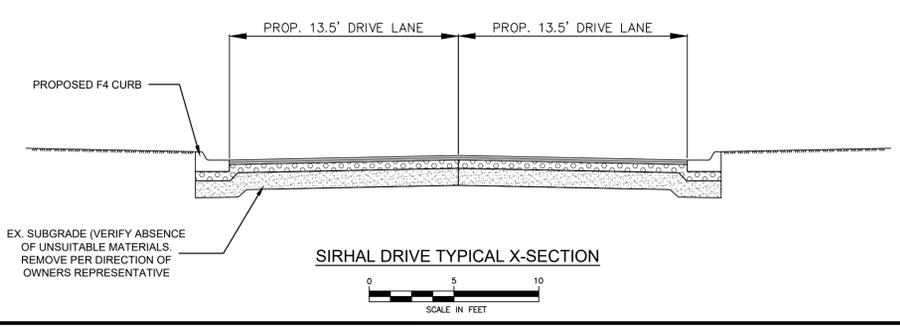
Callen Engineering, Inc.  
 Municipal - commercial - residential  
 108 E. Savidge Street  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY LDHA, LP  
 500 S. FRONT STREET, 10TH FLOOR  
 COLUMBUS, OHIO 43215



- PATHWAY / SIDEWALK NOTES**
- Sidewalk - 5' (minimum) wide concrete 4" thick, 6" thick through single family residential driveways, 7" thick through multi-family residential and commercial driveways on 3" compacted sand backfill. To maintain continuity, all 4" wide concrete sidewalks shall be replaced with new 4" wide concrete sidewalk when appropriate.
  - Pathways - (adjacent to roadways) - 7' (minimum) (8' when next to a wall or other object) wide concrete, 4" thick, 6" thick through residential driveways, 7" thick through commercial driveways on 3" compacted sand backfill.
  - Pathways - (off-road) - 8' (minimum) wide concrete, 6" thick concrete on 3" compacted sand backfill or 8' (minimum) wide asphalt 3" thick (Bituminous Mixture 1500T/L) on 6" of 21AA crushed limestone (minimum 9' wide).
  - Sidewalks and pathways shall generally be placed 1 (one) foot from the ultimate right-of-way as identified on the "Street and Highway Plan". Contact the Department of Planning and Community Development for a current copy of the plan.
  - A boardwalk may be required to be installed instead of a standard concrete sidewalk/pathway if regulations do not allow their installation.
  - Pathways and sidewalks shall be constructed so as to promote proper positive surface drainage. Where ever possible the sidewalk/pathway shall be constructed 0.5' higher than the curb.
  - Retaining walls shall only be installed where all other efforts (offsite grading easements, tree relocation, etc.) to mitigate the need for such wall have been evaluated for cost effectiveness and dismissed.
  - Guardrails and handrails shall be installed where the slopes adjacent to the pathway/sidewalk cannot be constructed to 1' vertical for every 3' horizontal. The depth to the toe of the slope area will be considered when implementing this requirement.
  - Pathways or sidewalks that do not connect to an existing pathway/sidewalk shall provide a gradual transition to existing ground. A "path ends" sign shall be posted at all pathway/sidewalk termini.
  - Maximum slope of sidewalk is 5%. Cross slope is 2%.
  - All existing bituminous and concrete to be removed shall be sawcut.
  - Expansion joint to be placed at 100' intervals.
  - All lumber to be pressure treated (Osmose 33 or equal) to 0.4 retention.

Station	EXIST. CENTERLINE ELEV'S. (TYP.)	PROP. CENTERLINE ELEV'S. (TYP.)
1+00	849.97	849.97
1+20	850.03	850.03
1+40	850.04	850.04
1+60	850.20	850.20
1+80	849.99	849.99
2+00	850.64	850.64
2+20	849.67	849.67
2+40	848.81	848.81
2+60	848.30	848.30
2+80	846.76	846.76
3+00	846.50	846.50
3+20	848.67	848.67
3+40	848.36	848.36
3+60	845.11	845.11
3+80	847.73	847.73
4+00	847.30	847.30
4+20	847.11	847.11
4+40	847.53	847.53
4+60	846.54	846.54
4+80	847.86	847.86
5+00	846.18	846.18
5+20	847.63	847.63
5+40	846.07	846.07
5+60	847.37	847.37
5+80	846.16	846.16
6+00	846.77	846.77
6+20	846.48	846.48
6+40	846.38	846.38
6+60	846.79	846.79
6+80	846.19	846.19
7+00	847.10	847.10
7+20	846.28	846.28
7+40	847.41	847.41
7+60	846.58	846.58
7+80	847.72	847.72
8+00	847.05	847.05
8+20	846.03	846.03
8+40	847.70	847.70
8+60	848.33	848.33
8+80	848.45	848.45
9+00	848.64	848.64
9+20	848.17	848.17
9+40	848.98	848.98
9+60	848.30	848.30
9+80	849.16	849.16



Know what's below.  
 Call before you dig.

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

DATE OF PLAN: 08-17-21

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW / RFI #2	B.A.C.	09/29/21
2	SIRHAL DRIVE CUL-DE-SAC	B.A.C.	09/29/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	09/29/21
4	SITE PLANNING SLU REVIEW	B.A.C.	09/29/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	B.A.C.	09/17/21

WOODWARD WAY APARTMENTS  
 2720 - 2780 SIRHAL DRIVE  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 SIRHAL DR CUL-DE-SAC PLAN & PROFILE

DRAWN BY	DATE	SCALE
J.W.C.	DEC '20	AS NOTED
ENGINEER	DATE	SCALE
A.J.B.	DEC '20	AS NOTED
EDIT	DATE	SCALE
J.W.C.	AUG '21	AS NOTED
PROJECT	020 WOODWARD WAY	
SHEET NO.		

C2.3

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:  
 Bruce A. Callen, P.E.  
 Callen Engineering, Inc.  
 108 E. Savidge St.  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260  
 email: bcallen@callenengineering.com

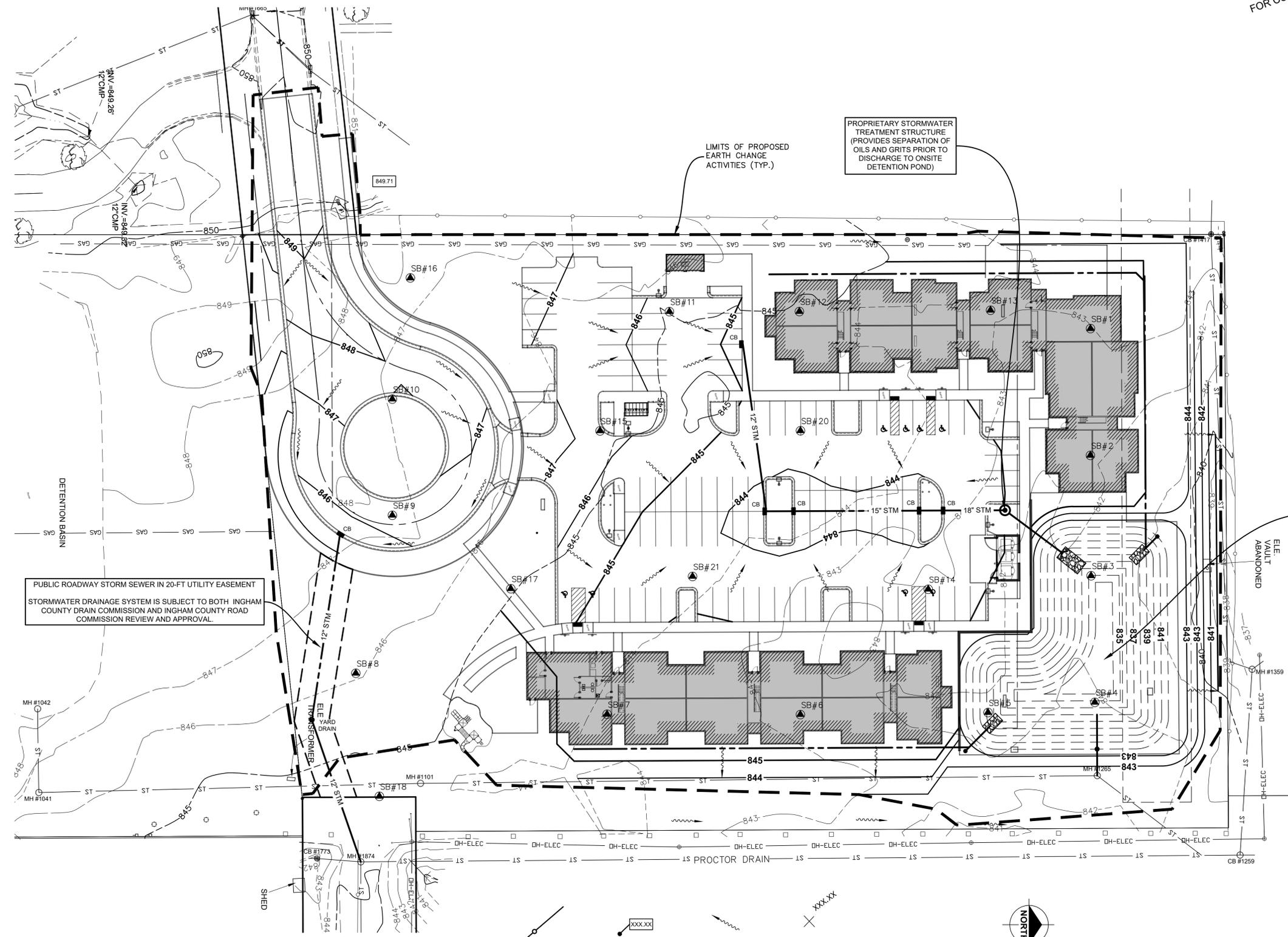
STORMWATER DRAINAGE SYSTEM SHALL COMPLY WITH RULES OF THE INGHAM COUNTY DRAIN COMMISSIONER 2005 EDITION, AS AMENDED.

PROPRIETARY STORMWATER TREATMENT STRUCTURE (PROVIDES SEPARATION OF OILS AND GRITS PRIOR TO DISCHARGE TO ONSITE DETENTION POND)

LIMITS OF PROPOSED EARTH CHANGE ACTIVITIES (TYP.)

STORMWATER DETENTION POND w/ PERMANENT POOL (PROVIDES ONSITE DETENTION OF STORMWATER PRIOR TO CONTROLLED-RATE DISCHARGE TO THE PROCTOR COUNTY DRAIN)  
 STORMWATER DRAINAGE SYSTEM IS SUBJECT TO INGHAM COUNTY DRAIN COMMISSION REVIEW AND APPROVAL.

PUBLIC ROADWAY STORM SEWER IN 20-FT UTILITY EASEMENT  
 STORMWATER DRAINAGE SYSTEM IS SUBJECT TO BOTH INGHAM COUNTY DRAIN COMMISSION AND INGHAM COUNTY ROAD COMMISSION REVIEW AND APPROVAL.



**BENCH MARKS:**  
 BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD. Elevation: 852.38 (NAVD 88)  
 BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS. Elevation: 853.46 (NAVD 88)

**SUBSURFACE CONDITIONS**  
 Contractor(s) shall familiarize themselves with the information and findings presented in the Geotechnical Evaluation Report prepared by SME dated Feb. 22, 2021. SME Project No. 085947.00

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

**Callen Engineering, Inc. CE**  
 municipal - commercial - residential  
 108 E. Savidge Street  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY LDHA, LP  
 500 S. FRONT STREET, 10TH FLOOR  
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1.	TOWNSHIP REVIEW	B.A.C.	02/12/21
4.	TOWNSHIP REVIEW / INT #12	B.A.C.	05/25/21
5.	SERIAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
6.	SITE PLAN AND SUJ REVIEW	B.A.C.	08/17/21

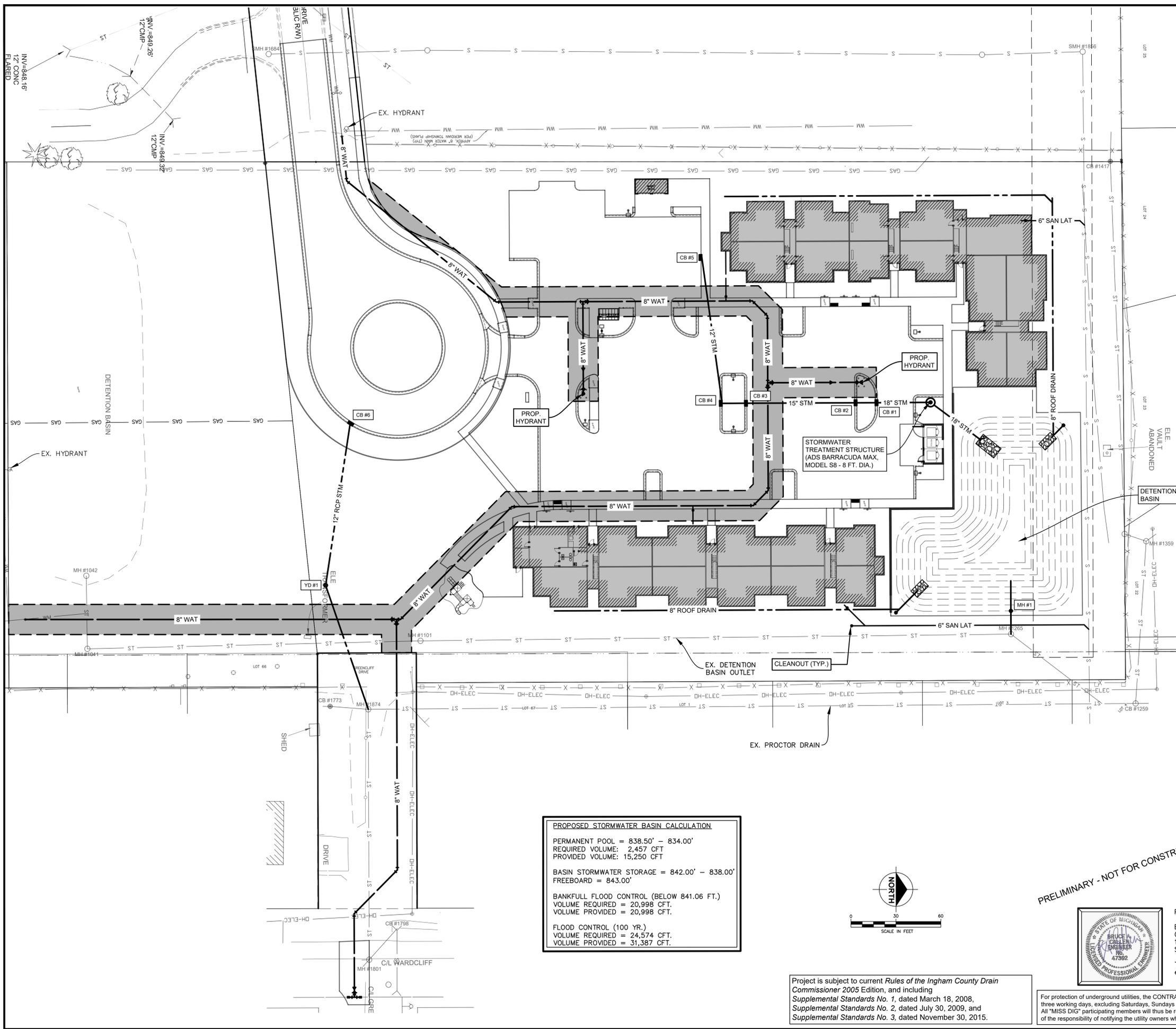
WOODWARD WAY APARTMENTS  
 2720 - 2780 SIRHAL DRIVE  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 GRADING & DRAINAGE PLAN

DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
A.J.B.	DEC '20
EDIT	DATE
J.W.C.	AUG '21
SCALE	
DRAWING	PLOT SCALE
AS NOTED	1:1

PROJECT 020 WOODWARD WAY  
 SHEET NO. **C2.0**



Know what's below.  
 Call before you dig.  
 DATE OF PLAN: 08-17-21



**STORM STRUCTURE SCHEDULE  
(THIS SHEET)**

- MH #1 (4' DIA W/ PARTITION WALL) RIM = 844.00 FT  
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)  
12" INV (E) = 838.40 FT (SOLID WALL HDPE @ 0.22%)  
12" INV (W) = 838.60 FT (SOLID WALL HDPE @ 0.22%)  
TOP OF WALL = 842.00 FT  
2" ORIFICE = 838.50 FT (WATER QUALITY)  
4" ORIFICE = 841.06 FT (BANKFULL / FLOOD CONTROL)
- EX. MH #1265 RIM = 844.25 (ADJUST)  
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)  
EX. 14" INV (N) = 837.70 FT  
EX. 12" INV (S) = 838.00 FT  
12" INV (W) = 837.80 FT (SOLID WALL HDPE @ 0.22%)
- EX. MH #1874 (4' DIA) RIM = 844.88 FT  
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)  
EX. 12" INV (S) = 833.28 FT  
EX. 12" INV (N) = 833.28 FT  
EX. 12" INV (E) = 834.68 FT  
12" INV (SW) = 836.00 FT (RCP STM @ 0.22%)
- CB#1 (4' DIA) RIM = 844.30 FT (COVER: EJIW 7066 Z SERIES  
W/ 7060 T1 HOOD OR A.E.)  
18" INV (N) = 839.51 FT (SOLID WALL HDPE @ 0.22%)  
15" INV (S) = 839.61 FT (SOLID WALL HDPE @ 0.22%)
- CB#2 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES  
W/ 7060 T1 HOOD OR A.E.)  
15" INV (N) = 839.64 FT (SOLID WALL HDPE @ 0.22%)  
15" INV (S) = 839.74 FT (SOLID WALL HDPE @ 0.22%)
- CB#3 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES  
W/ 7060 T1 HOOD OR A.E.)  
12" INV (N) = 839.90 FT (SOLID WALL HDPE @ 0.22%)  
12" INV (S) = 840.00 FT (SOLID WALL HDPE @ 0.22%)
- CB#4 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES  
W/ 7060 T1 HOOD OR A.E.)  
12" INV (N) = 840.03 FT (SOLID WALL HDPE @ 0.22%)  
12" INV (WSW) = 841.03 FT (SOLID WALL HDPE @ 0.22%)
- CB#5 (2' DIA) RIM = 844.75 FT (COVER: EJIW 7066 Z SERIES  
W/ 7060 T1 HOOD OR A.E.)  
12" INV (ENE) = 841.25 FT (SOLID WALL HDPE @ 0.22%)
- CB#6 (4' DIA) RIM = 845.78 FT (COVER: EJIW 7066 Z SERIES  
W/ 7060 T1 HOOD OR A.E.)  
12" INV (ESE) = 842.01 FT (RCP STM @ 0.22%)
- YD#1 (4' DIA) RIM = 845.50 FT (COVER: EJIW 1000  
02 GRATE OR A.E.)  
12" INV (NE) = 836.87 FT (SOLID WALL HDPE @ 1.00%)  
12" INV (WNW) = 841.77 FT (SOLID WALL HDPE @ 0.22%)

**STORM STRUCTURE NOTES**

- STORM SEWER LENGTHS PROVIDED ARE MEASURED FROM CENTER OF STRUCTURE. RIM ELEVATIONS ARE MEASURED AT EDGE OF METAL.
- STORM SEWER SHALL BE WATER-TIGHT, SOLID-WALL HDPE OR APPROVED EQUAL, UNLESS INDICATED ON THE PLANS.
- MANHOLES AND CATCH BASINS SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS. CATCH BASINS SHALL INCLUDE 2-FT SUMP.
- CONNECTIONS TO MANHOLES SHALL BE MADE WITH A RESILIENT CONNECTOR FOR PIPE DIAMETERS 24 INCHES OR LESS.
- MANHOLE RIM ELEVATIONS SHALL BE SET 1/4" BELOW PLAN GRADE. CATCH BASIN RIM ELEVATIONS SHALL BE SET 1 3/8" BELOW PLAN GRADE.
- ALL CURB DIMENSIONS ARE MEASURED FROM EDGE OF METAL.
- THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADES SHALL BE REPORTED TO ENGINEER AND ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO OWNER.

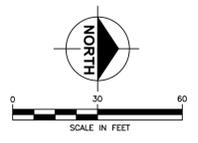
**PROPOSED STORMWATER BASIN CALCULATION**

PERMANENT POOL = 838.50' - 834.00'  
REQUIRED VOLUME: 2,457 CFT  
PROVIDED VOLUME: 15,250 CFT

BASIN STORMWATER STORAGE = 842.00' - 838.00'  
FREEBOARD = 843.00'

BANKFULL FLOOD CONTROL (BELOW 841.06 FT.)  
VOLUME REQUIRED = 20,998 CFT.  
VOLUME PROVIDED = 20,998 CFT.

FLOOD CONTROL (100 YR.)  
VOLUME REQUIRED = 24,574 CFT.  
VOLUME PROVIDED = 31,387 CFT.



PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:  
Bruce A. Callen, P.E.  
Callen Engineering, Inc.  
108 E. Savidge St.  
Spring Lake, Michigan 49456  
Tel: 616-414-5260  
email: bcallen@callenengineering.com

Project is subject to current *Rules of the Ingham County Drain Commissioner 2005 Edition*, and including *Supplemental Standards No. 1*, dated March 18, 2008, *Supplemental Standards No. 2*, dated July 30, 2009, and *Supplemental Standards No. 3*, dated November 30, 2015.

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



Know what's below.  
Call before you dig.  
DATE OF PLAN: 08-17-21

**Callen Engineering, Inc. CE**  
municipal - commercial - residential  
108 E. Savidge Street  
Spring Lake, Michigan 49456  
Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY LDHA, LP  
500 S. FRONT STREET, 10TH FLOOR  
COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	DATE	BY
1	SERIAL DUE-DE-SAP REVISIONS	06/29/21	B.A.C.
2	SITE PLAN REVIEW	08/04/21	B.A.C.
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/09/21	B.A.C.
4	SITE PLAN AND SUJ REVIEW	08/17/21	B.A.C.

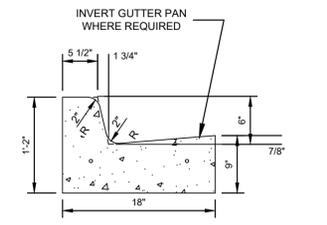
WOODWARD WAY APARTMENTS  
2720 - 2780 SIRHAL DRIVE  
MERIDIAN TOWNSHIP  
INGHAM COUNTY, MICHIGAN  
UTILITY PLAN

DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
A.J.B.	DEC '20
EDIT	DATE
J.W.C.	AUG '21
SCALE	PILOT SCALE
DRAWING	AS NOTED
AS NOTED	1:1

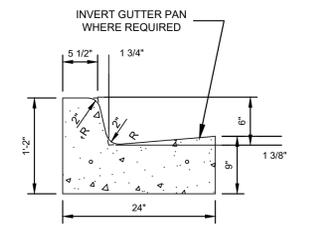
PROJECT 020 WOODWARD WAY  
SHEET NO. **C3.0**

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
2	TOWNSHIP REVIEW / RT #12	B.A.C.	02/19/21
3	SERIAL CUL-DE-SAC REVISIONS	B.A.C.	02/23/21
4	REVISIONS	B.A.C.	02/23/21
5	REVISIONS	B.A.C.	02/23/21
6	REVISIONS	B.A.C.	02/23/21

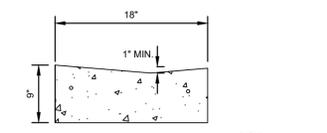
DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
B.A.C.	DEC '20
EDIT	DATE
J.W.C.	AUG '21
SCALE	
DRAWING	PLOT SCALE
AS NOTED	1:1
PROJECT	020 WOODWARD WAY
SHEET NO.	C4.0



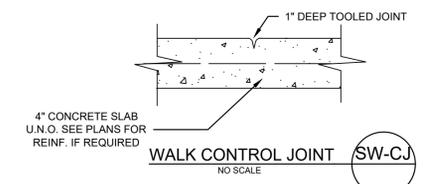
**CONCRETE CURB & GUTTER** (CG-F2)  
 DETAIL F2, MODIFIED  
 NO SCALE



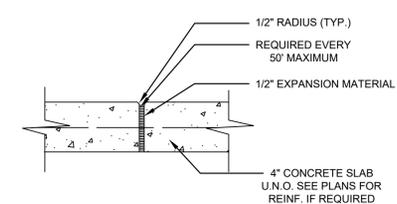
**CONCRETE CURB & GUTTER** (CG-F4)  
 DETAIL F4, MODIFIED  
 NO SCALE



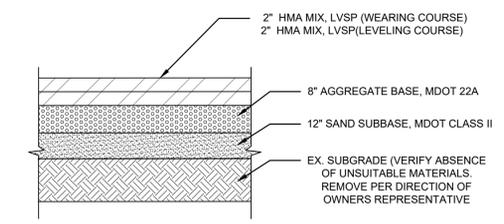
**GUTTER DETAIL** (CG-G)  
 NO SCALE



**WALK CONTROL JOINT** (SW-CJ)  
 NO SCALE

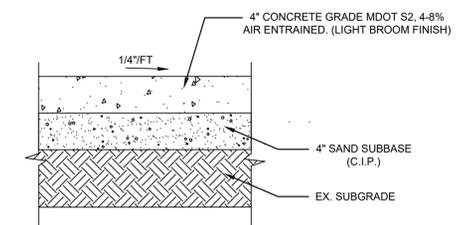


**WALK EXPANSION JOINT** (SW-EJ)  
 NO SCALE

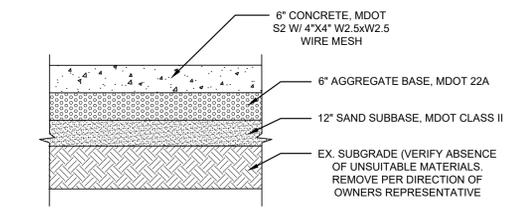


NOTE: CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE INFORMATION AND FINDINGS PRESENTED IN THE GEOTECHNICAL EVALUATION REPORT PREPARED BY SME DATED FEB. 22, 2021 SME PROJECT NO. 085947.00

**HMA SITE PAVEMENT SECTION** (AP-S)  
 NO SCALE

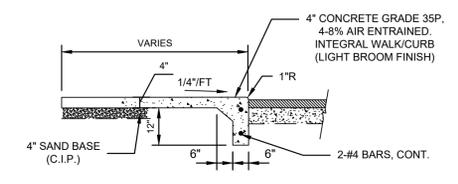


**CONCRETE SIDEWALK SECTION** (CP-4)  
 NO SCALE



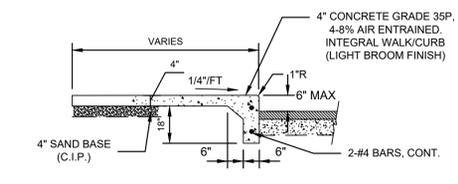
NOTE: CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE INFORMATION AND FINDINGS PRESENTED IN THE GEOTECHNICAL EVALUATION REPORT PREPARED BY SME DATED FEB. 22, 2021 SME PROJECT NO. 085947.00

**6\"/>**



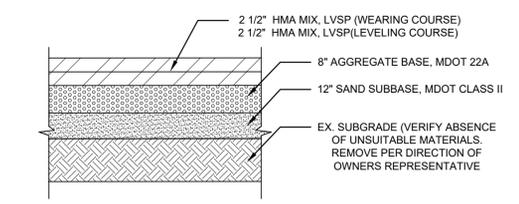
NOTE: 1) PROVIDE 3/8\"/>

**CONCRETE SIDEWALK W/ FLUSH CURB** (SW-2)  
 NO SCALE



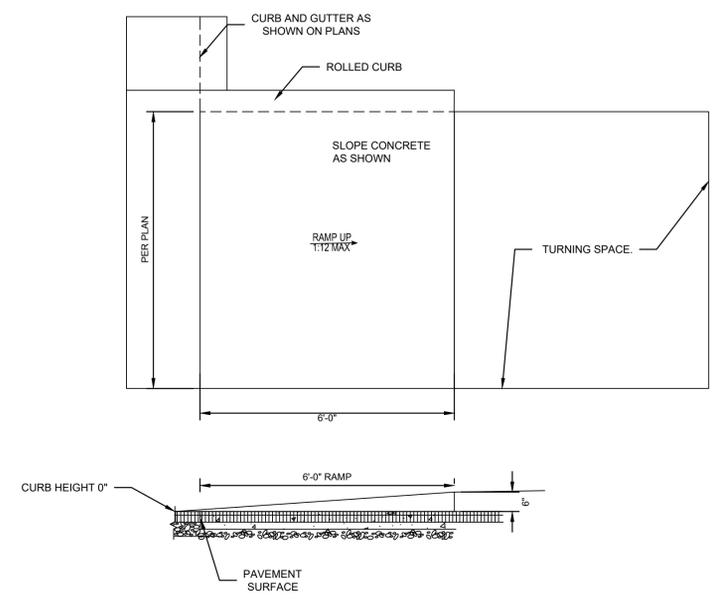
NOTE: 1) PROVIDE 3/8\"/>

**INTEGRAL WALK / CURB** (SW-1)  
 NO SCALE

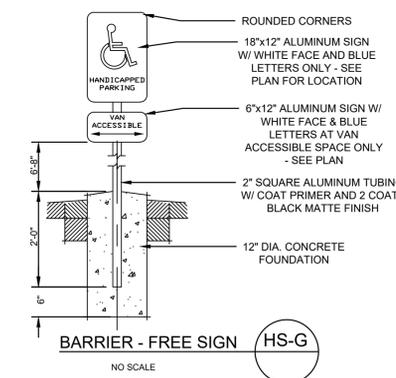


NOTE: CONTRACTOR(S) SHALL FAMILIARIZE THEMSELVES WITH THE INFORMATION AND FINDINGS PRESENTED IN THE GEOTECHNICAL EVALUATION REPORT PREPARED BY SME DATED FEB. 22, 2021 SME PROJECT NO. 085947.00

**HMA R.O.W. HEAVY DUTY PAVEMENT SECTION** (AP-HDR)  
 NO SCALE



**B.F. RAMP DETAIL** (HC-R3)  
 TYPE R  
 NO SCALE



**BARRIER - FREE SIGN** (HS-G)  
 NO SCALE



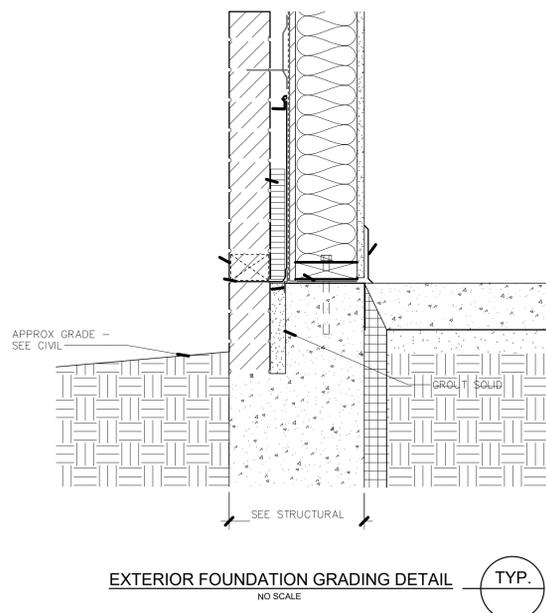
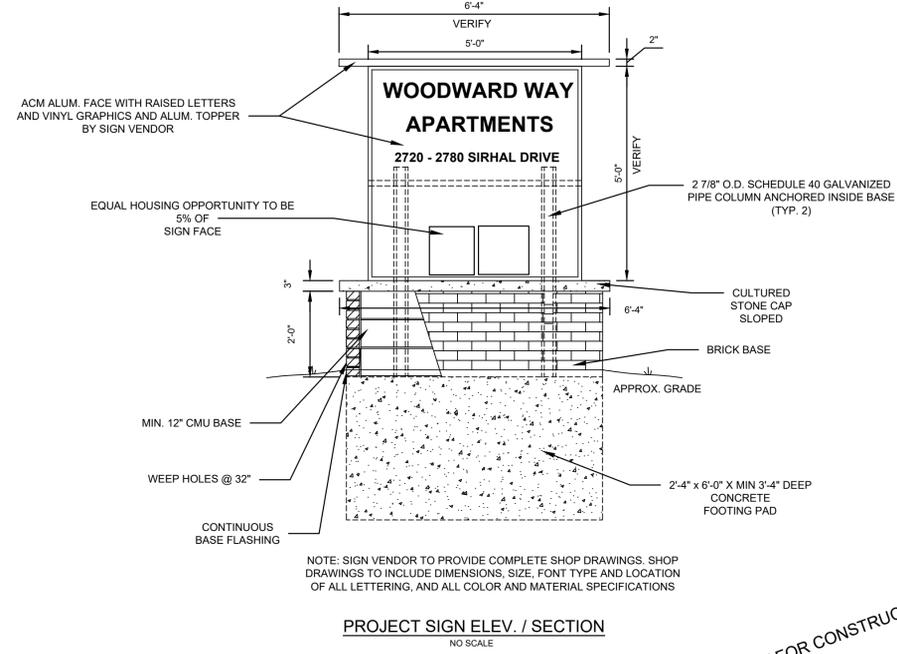
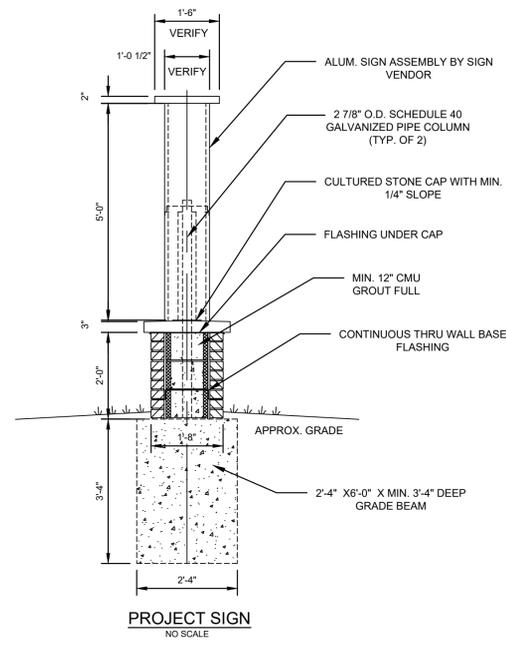
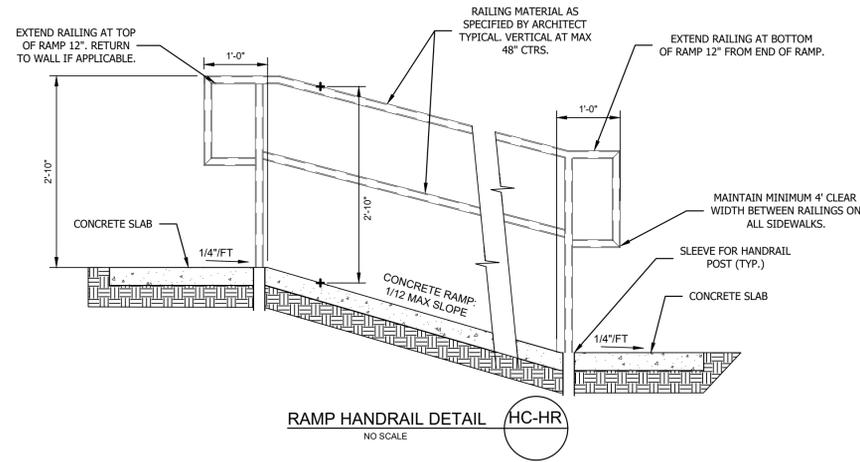
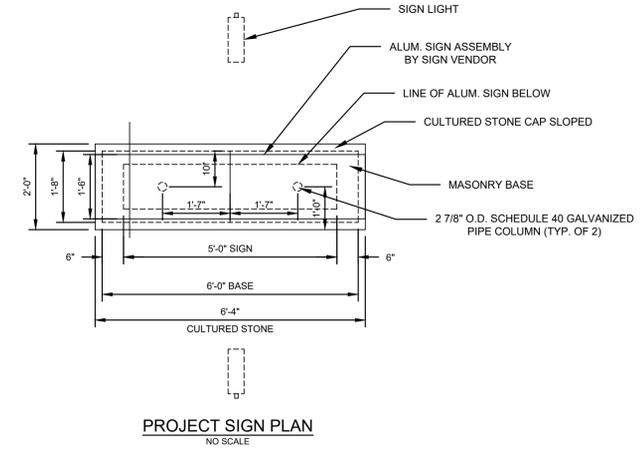
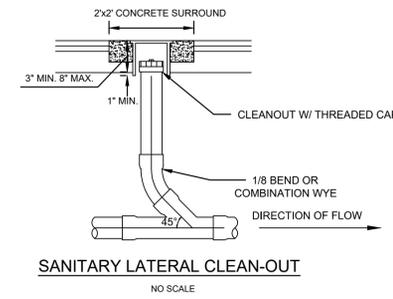
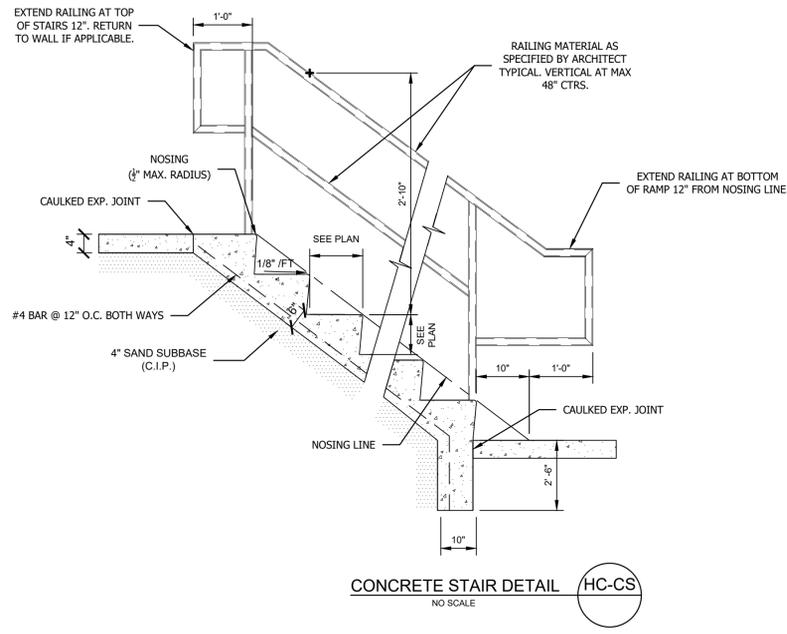
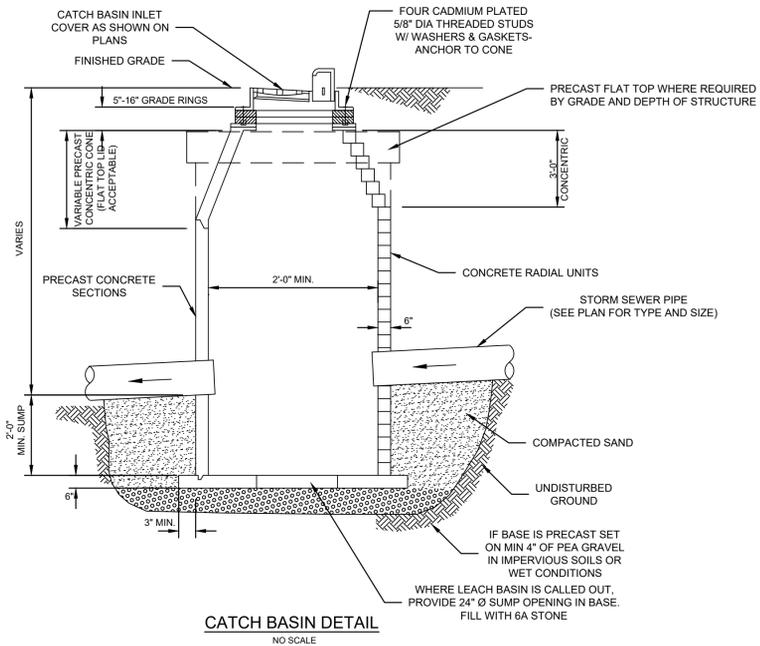
Plan Prepared By:  
 Bruce A. Callen, P.E.  
 Callen Engineering, Inc.  
 108 E. Savidge St.  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260  
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

PRELIMINARY - NOT FOR CONSTRUCTION



Know what's below.  
 Call before you dig.  
 DATE OF PLAN: 08-17-21



Plan Prepared By:  
 Bruce A. Callen, P.E.  
 Callen Engineering, Inc.  
 108 E. Savidge St.  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260  
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



Know what's below.  
 Call before you dig.  
 DATE OF PLAN: 08-17-21

**Callen Engineering, Inc.**  
 municipal - commercial - residential  
 108 E. Savidge Street  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY LDHA, LP  
 500 S. FRONT STREET, 10TH FLOOR  
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
2	TOWNSHIP REVIEW / RT #2	B.A.C.	02/25/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
4	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
5	SITE PLAN AND SUJ REVIEW	B.A.C.	08/17/21

WOODWARD WAY DEVELOPMENT  
 0 SIRHAL DRIVE  
 MERIDIAN TOWNSHIP  
 INGHAM COUNTY, MICHIGAN  
 X-SECTIONS, NOTES, AND DETAILS

PROJECT	SCALE
020 WOODWARD WAY	AS NOTED
SHEET NO.	1:1

**C4.1**

PRELIMINARY - NOT FOR CONSTRUCTION



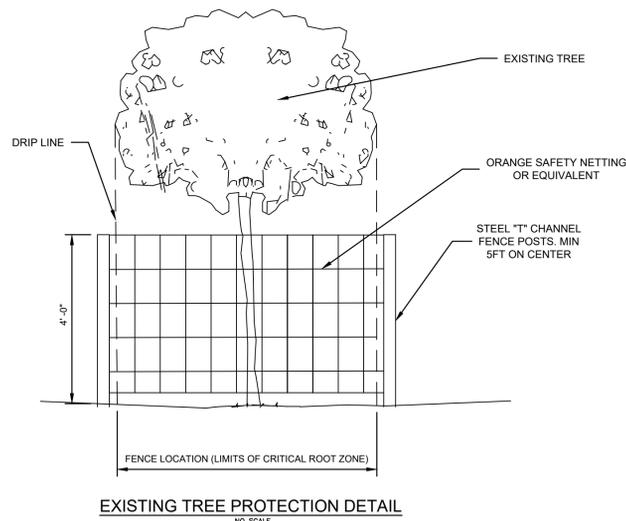
NO.	ISSUANCE / REVISION	BY	DATE
1.	TOWNSHIP REVIEW	B.A.C.	02/16/21
2.	TOWNSHIP REVIEW / RT #2	B.A.C.	02/25/21
3.	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
4.	SITE PLAN AND SUJ REVIEW	B.A.C.	09/17/21

DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
A.J.B.	DEC '20
EDIT	DATE
J.W.C.	AUG '21

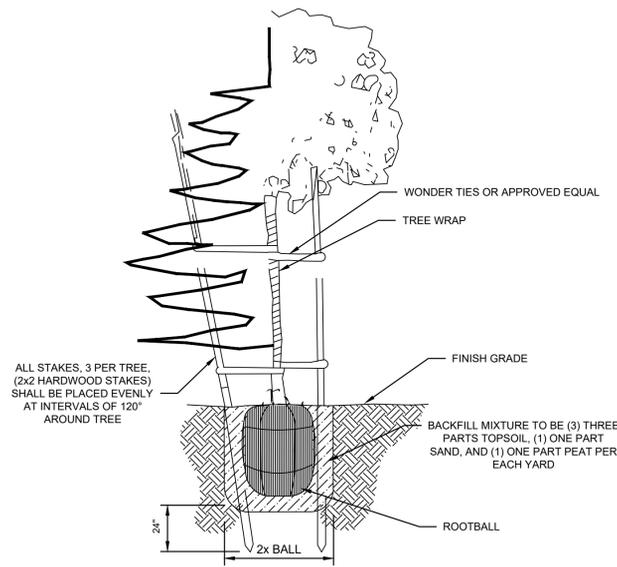
SCALE
DRAWING
AS NOTED

**PLANT SCHEDULE AUG 2021**

TREES	CODE	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	QTY
	AR	Acer rubrum / Red Maple	B & B	2"Gal		10
	AC	Amelanchier canadensis / Shadblow Serviceberry Multitrunk	B & B	2"Gal		14
	CO	Celtis occidentalis 'Magnifica' / Ultra Common Hackberry	B & B	2"Gal		7
	GB	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2"Gal		7
	GT	Gleditsia triacanthos inermis 'Draves' TM / Street Keeper Honey Locust	B & B	2"Gal		7
	PG	Picea glauca / White Spruce	B & B		Min 8' Ht	21

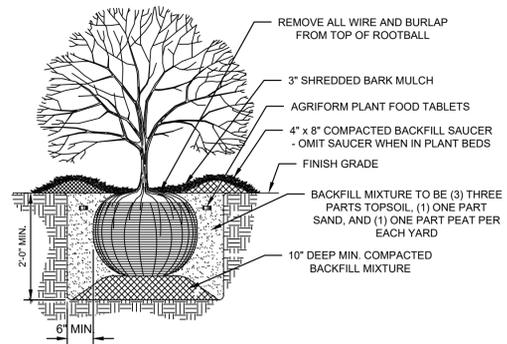


**EXISTING TREE PROTECTION DETAIL**  
 NO SCALE

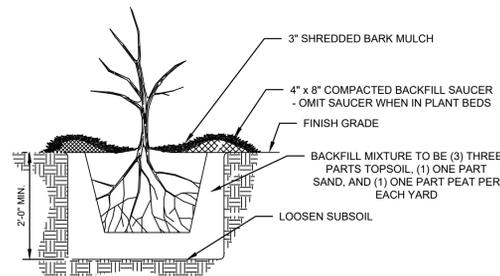


21 GRAM "AGRIFORM" PLANTING TABLETS AS FOLLOWS:  
 2 TABLETS PER 1 GAL. PLANT  
 3 TABLETS PER 5 GAL. PLANT  
 4 TABLETS PER 15 GAL. PLANT  
 LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER

**TYPICAL - TREE STAKING**  
 NO SCALE



**SHRUB INSTALLATION**  
 NO SCALE



**PERENNIAL INSTALLATION**  
 NO SCALE

**LANDSCAPE NOTES**

- ALL PLANTING BEDS SHALL RECEIVE 4" OF EVENLY SPREAD SHREDDED HARDWOOD BARK MULCH OVER 4" OF TOPSOIL. MULCH SHALL BE PLACED AT ALL LOCATIONS WITH SLOPES 1:3 OR STEEPER. NO MULCH SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA.
- CONTRACTOR SHALL NOTIFY "MISS DIG" TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUNDCOVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE CERTIFIED TO BE HARDY TO INGHAM COUNTY, FREE OF DISEASE AND INSECTS AND BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, NEAT AND ORDERLY STATE, FREE FROM REFUSE AND DEBRIS. ANY DEAD OR DISEASED PLANTS SHALL BE REPLACED.
- ALL LANDSCAPE BEDS AND MULCH BORDERS ADJACENT TO LAWN AREAS SHALL HAVE A METAL EDGE UNLESS SPECIFIED OTHERWISE.
- SEED SHALL BE PLACED OVER 4" OF TOPSOIL IN ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION WITH SLOPES LESS THAN 1:3. NO TOPSOIL OR SEED SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA. SEED MIXES SHALL BE AS FOLLOWS:  
 10% TALL FESCUE  
 20% PERENNIAL RYE GRASS  
 30% CREEPING RED FESCUE  
 40% KENTUCKY BLUEGRASS  
 @ 6 LBS PER 1000 SFT.  
 SEED MIXES SHALL BE DROUGHT TOLERANT @ 6 LBS PER 1,000 SFT.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH LOCAL ZONING REQUIREMENTS.
- ALL BUILDINGS WILL HAVE A 2-FOOT MAINTENANCE STRIP IN NON-LANDSCAPED AREAS ALONG THE BUILDING PERIMETER.

PRELIMINARY - NOT FOR CONSTRUCTION



Know what's below.  
 Call before you dig.  
 DATE OF PLAN: 07-17-21

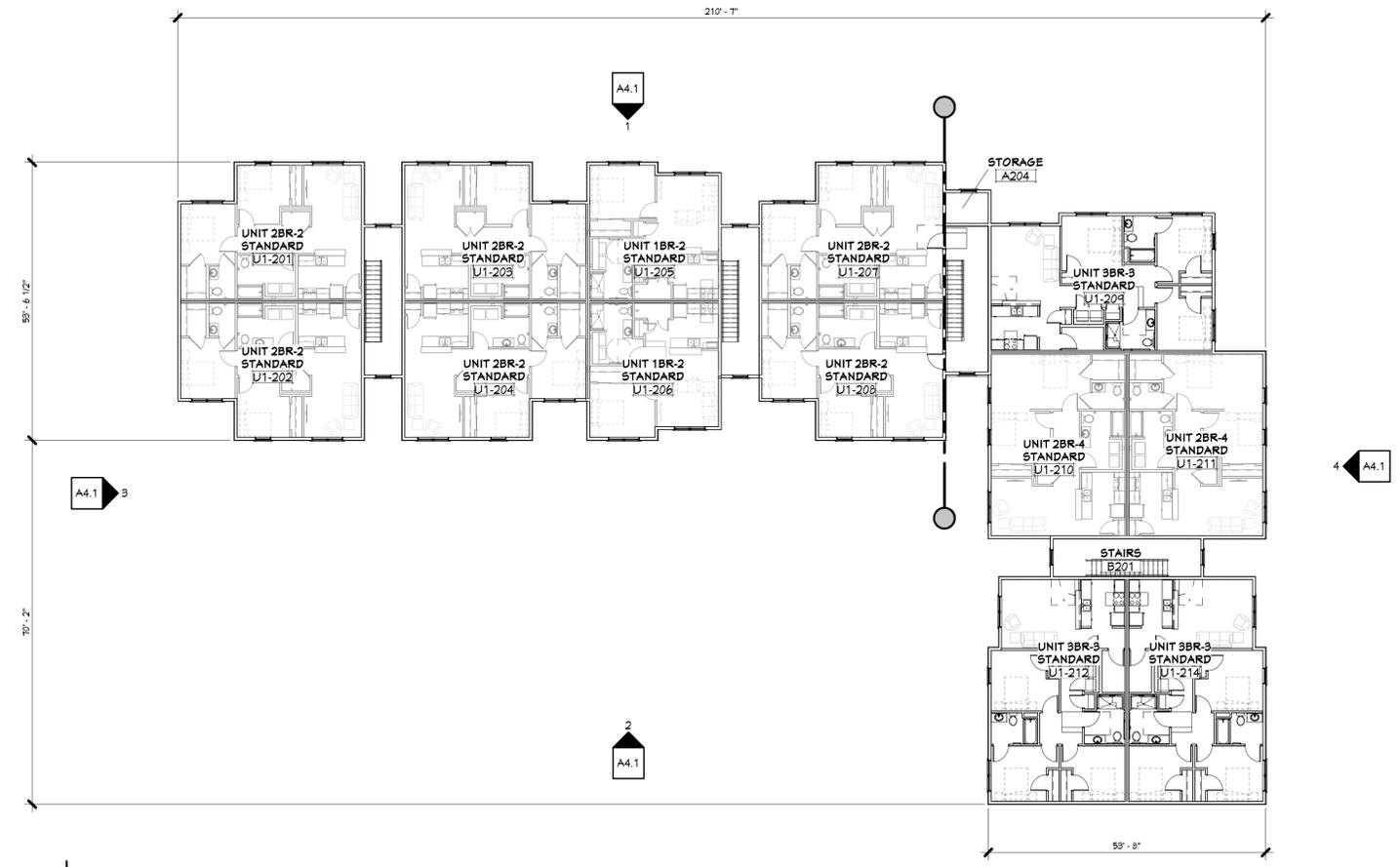


Plan Prepared By:  
 Bruce A. Callen, P.E.  
 Callen Engineering, Inc.  
 108 E. Savidge St.  
 Spring Lake, Michigan 49456  
 Tel: 616-414-5260  
 email: bcallen@callenengineering.com

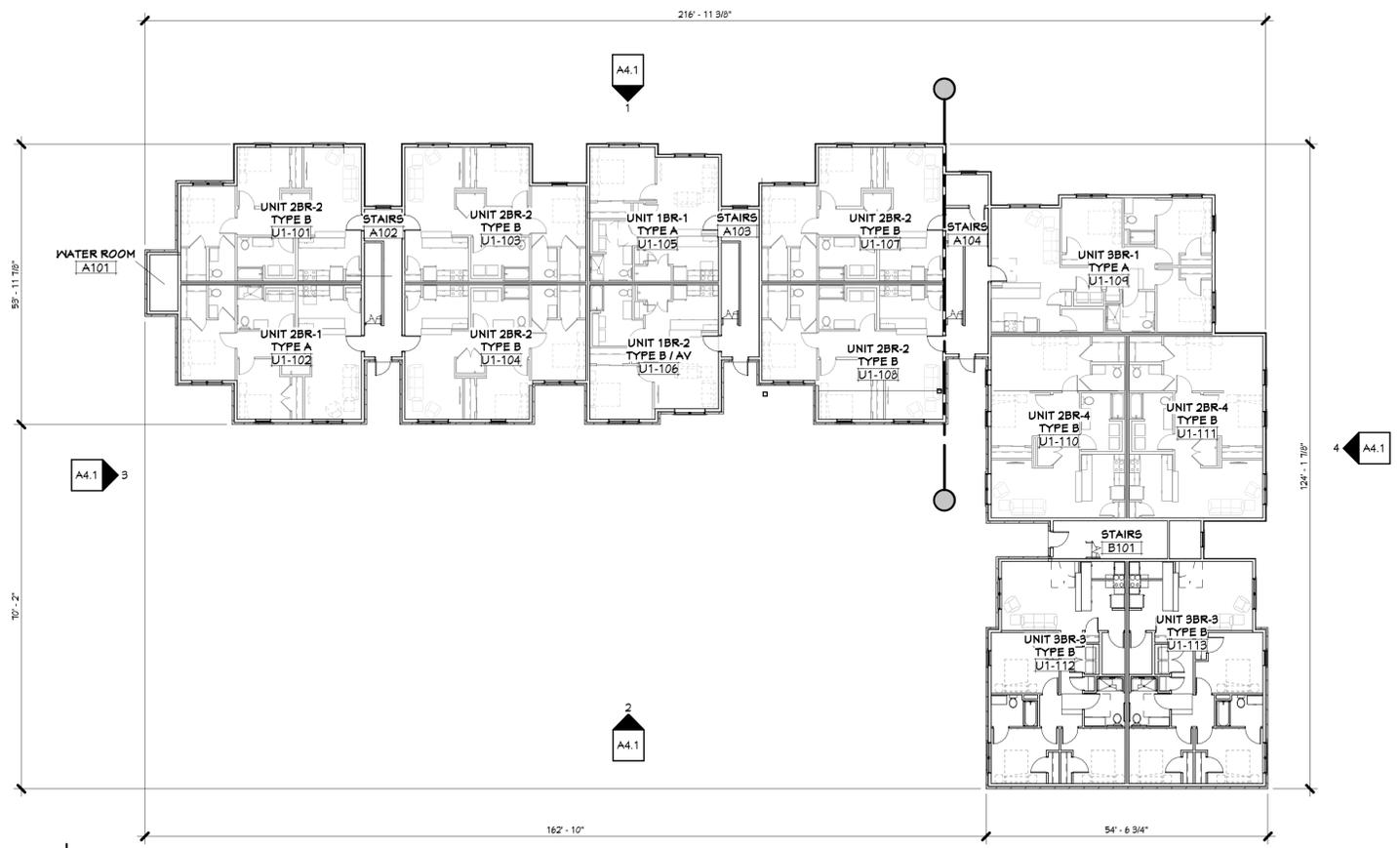
For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

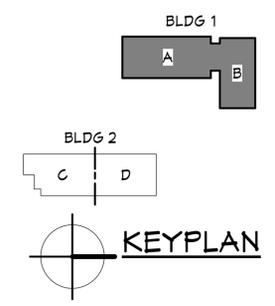
NOT FOR CONSTRUCTION



**2 OVERALL SECOND FLOOR PLAN - BUILDING 1**  
A0.1 1/16" = 1'-0"

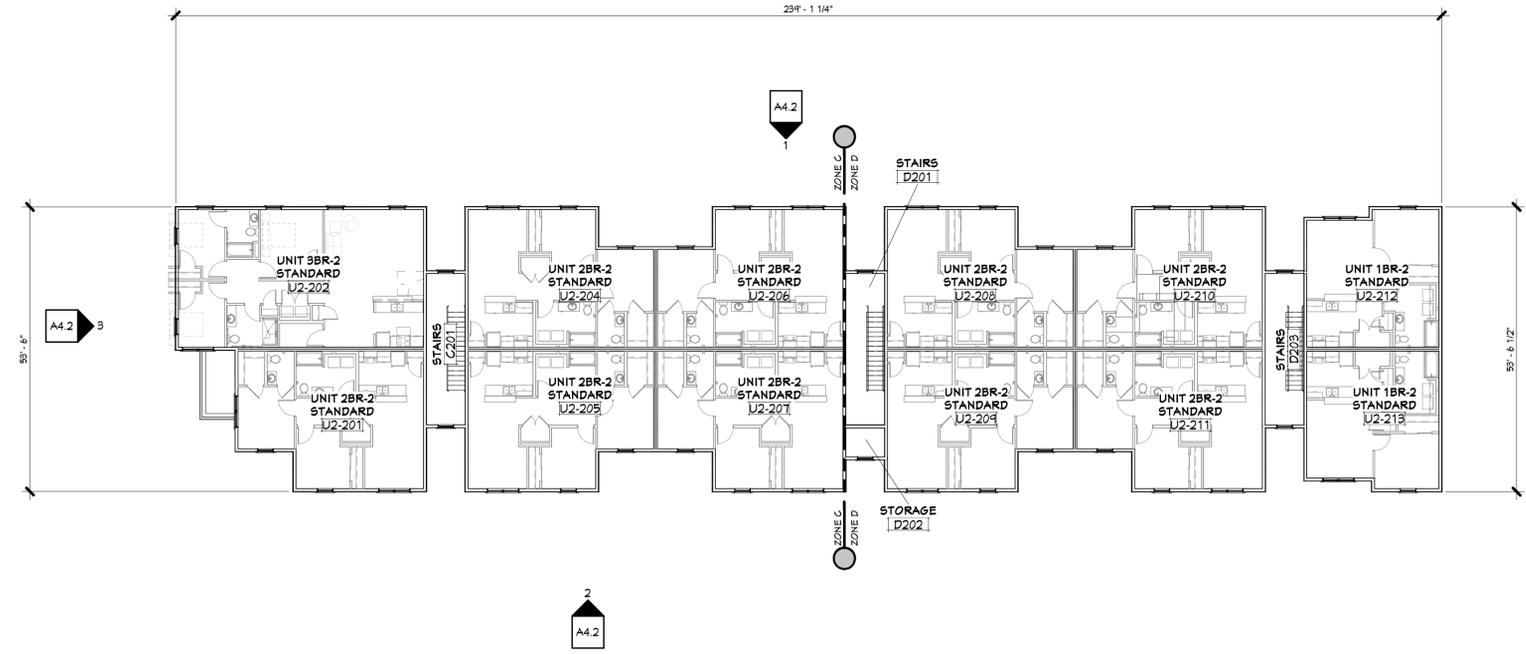


**1 OVERALL FIRST FLOOR PLAN - BUILDING 1**  
A0.1 1/16" = 1'-0"

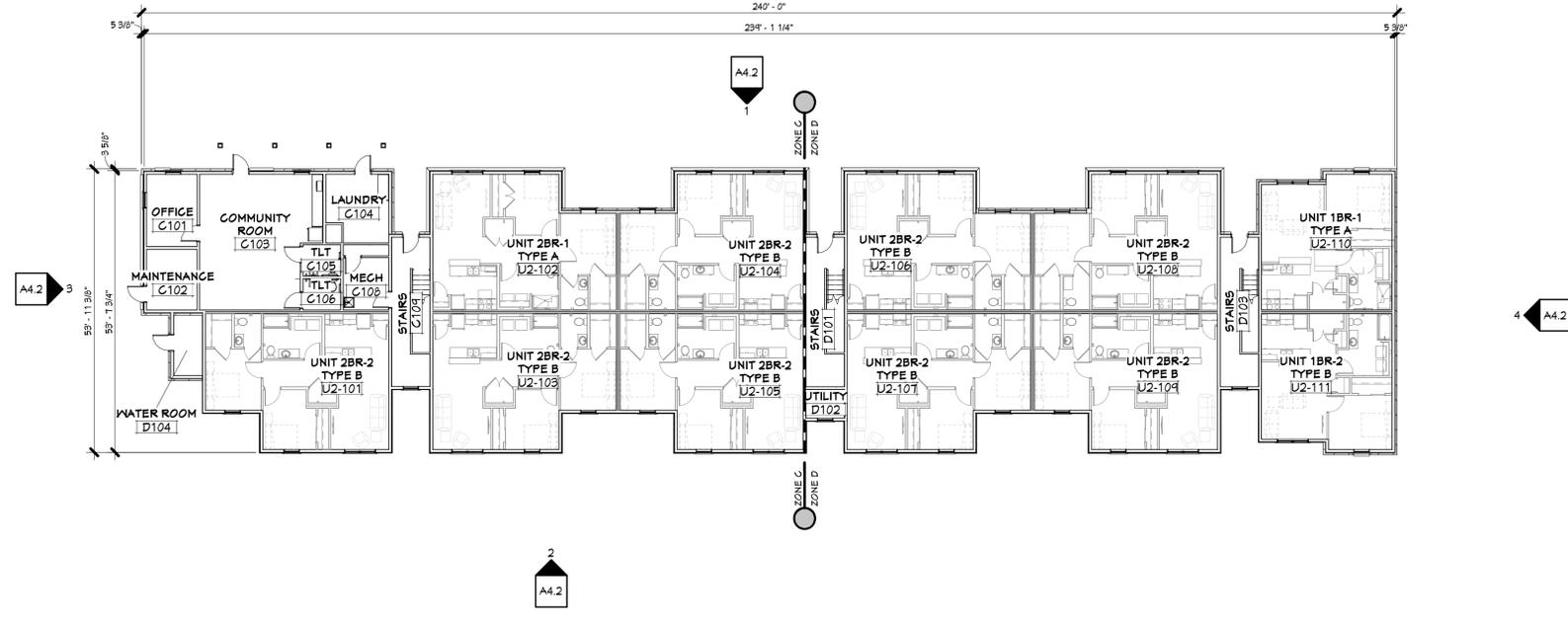


ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

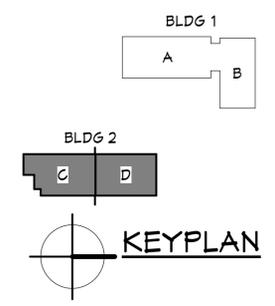
**NOT FOR CONSTRUCTION**



**2 OVERALL SECOND FLOOR PLAN - BUILDING 2**  
 1/16" = 1'-0"



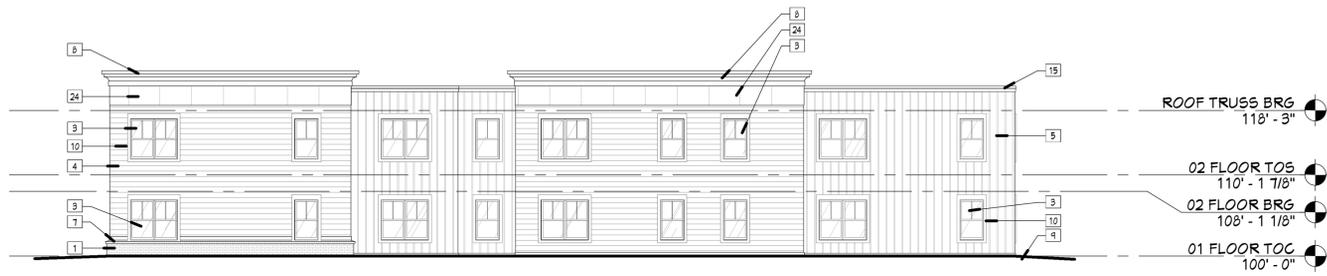
**1 OVERALL FIRST FLOOR PLAN - BUILDING 2**  
 1/16" = 1'-0"



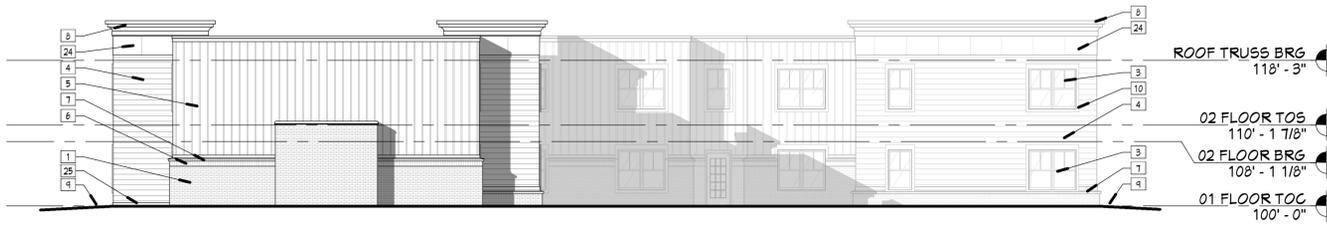
EXTERIOR FINISHES				
BUILDING EXTERIOR	MATERIAL	MANUFACTURER	COLOR	COMMENTS
ROOF	TPO	FIRESTONE	WHITE	
LAP SIDING	FIBER CEMENT	JAMES HARDIE	SLATE GRAY	
BOARD AND BATTEN	FIBER CEMENT	JAMES HARDIE	ARCTIC WHITE	
FACE BRICK	BRICK	BELDEN BRICK	TUMBLEWEED VELOUR	
GROUT	GROUT	-	GRAY	
BUILDING TRIM	FIBER CEMENT	JAMES HARDIE	MATCH SIDING	
WINDOW TRIM	PVC	-	WHITE	
WINDOWS	VINYL	PELLA	WHITE	
EXTERIOR DOORS	PAINT	-	UP IN SMOKE PPG 1010-6	
GUTTERS / DOWNSPOUTS	ALUMINUM	-	WHITE	
MAILBOXES	POWDER COAT	FLORENCE	POSTAL GRAY	

### EXTERIOR ELEVATION KEYNOTES

1. FACE BRICK
2. CONTROL JOINT
3. SINGLE-HUNG WINDOWS W/ MUNTINS
4. PRE-FINISHED FIBER CEMENT HORIZONTAL LAP SIDING
5. PRE-FINISHED FIBER CEMENT VERTICAL BOARD AND BATTEN
6. BRICK SOLDIER COURSE TO MATCH FACE BRICK
7. BRICK ROYALOCK TO MATCH FACE BRICK
8. BUILT-OUT COMPOSITE CORNICE
9. APPROX. GRADE - SEE CIVIL
10. COMPOSITE TRIM BOARD
11. DECORATIVE COLUMN COVER - SEE DETAILS
12. 3X4" PRE-FINISHED METAL DOWNSPOUT
13. 5X5" PRE-FINISHED METAL GUTTER
14. PDC - SEE PLUMBING
15. PRE-FINISHED FIBER CEMENT FASCIA
16. DISCONNECT SWITCH - SEE ELECTRICAL
17. ELECTRICAL METERS - SEE ELECTRICAL
18. GAS METERS - SEE MECHANICAL
19. CONDENSING UNIT - SEE MECHANICAL
20. CONDENSER HEAD AND GUTTER
21. LIGHTING FIXTURE - SEE ELECTRICAL
22. DROP BOX
23. EXHAUST COVER
24. PRE-FINISHED FIBER CEMENT PANELS WITH REVEAL
25. 5/4 X 6 PRE-FINISHED FIBER CEMENT TRIM HELD 5" ABOVE GRADE



4 NORTH ELEVATION - BUILDING 1  
A4.1 3/32" = 1'-0"



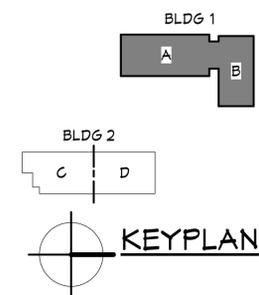
3 SOUTH ELEVATION - BUILDING 1  
A4.1 3/32" = 1'-0"



2 EAST ELEVATION - BUILDING 1  
A4.1 3/32" = 1'-0"



1 WEST ELEVATION - BUILDING 1  
A4.1 3/32" = 1'-0"



Hooker DeJong Inc.  
ARCHITECTS • ENGINEERS • PLANNERS  
316 Morris Avenue  
Suite 410  
Muskegon, MI 49440  
P 231.722.3407  
F 231.722.2589

MULTI-FAMILY RESIDENTIAL  
**WOODWARD WAY APARTMENTS**  
2720-2760 SIRIAL DRIVE - MERIDIAN TOWNSHIP, MI 48823  
WOODWARD WAY LIMITED PARTNERSHIP

Project Number	2020-0418	
ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

NOT FOR CONSTRUCTION

Copyright © 2020 HDJ Inc. All Rights Reserved

EXTERIOR ELEVATIONS - BUILDING 1

A4.1



# CHARTER TOWNSHIP OF MERIDIAN

Ronald J. Styka  
Brett Dreyfus  
Phil Deschaine  
Frank L. Walsh

Supervisor  
Clerk  
Treasurer  
Manager



Courtney Wisinski  
Patricia Herring Jackson  
Dan Opsommer  
Kathy Ann Sundland

Trustee  
Trustee  
Trustee  
Trustee

August 27, 2019

Woodward Limited Dividend Housing Association  
Frank Fugate  
500 S. Front Street, 10<sup>th</sup> Floor  
Columbus, OH 43215

**RE: Special Use Permit #19111 (Woodward Limited Dividend Housing Association)  
Parcel Number 17-377-031**

Dear Mr. Fugate:

At its regular meeting held on August 26, 2019 the Planning Commission voted to approve Special Use Permit #19111, your request to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031. Approval was granted subject to the following conditions:

1. Approval is in accordance with the site plan prepared by Monument Engineering Group Associates, Inc. dated August 7, 2019 (Revision Date August 21, 2019) and received by the Township on August 22, 2019.
2. Approval is in accordance with the building elevations and floor plans prepared by PCI Design Group, Inc. dated August 21, 2019 and received by the Township on August 22, 2019.
3. Approval of Special Use Permit #19111 is contingent on the approval of Special Use Permit #19121 by the Township Board.
4. Approval of the special use permit is subject to all voluntary conditions placed on Rezoning #19010 by the applicant.
5. The applicant shall apply for a land division to split the project site from the parent parcel prior to submitting for site plan review.
6. The applicant shall construct a five-foot wide concrete sidewalk to connect to the existing sidewalk along the north side of Sirhal Drive.
7. Site plan review approval is required to construct the housing project. The final site plan, building elevations, and landscape plan shall be subject to the approval of the Director of Community Planning and Development.
8. The applicant shall obtain all necessary permits, licenses, and approvals from the Ingham County Road Department, Ingham County Drain Commissioner, Michigan Department of Environment, Great Lakes, and Energy, and the Township, as applicable. Copies of all permits, licenses, and approval letters shall be submitted to the Department of Community Planning and Development.
9. Utility, grading, and storm drainage plans for the site are subject to the approval of the Director of Public Works and Engineering and Ingham County Drain Commissioner and shall be completed in accordance with the Township Engineering Design and Construction Standards.

**Special Use Permit #19111 (Woodward Limited Dividend Housing Association)**

**Parcel Number 17-377-031**

**Page 2**

10. No grading or land clearing shall take place on the site until the site plan has been approved by the Director of Community Planning and Development and grading and soil erosion and sedimentation control (SESC) permits have been issued for the project.
11. All utility service distribution lines shall be installed underground.
12. Any future building additions or revisions to the site layout will require amendments to Special Use Permit #19111.
13. The final design of the trash and recycling facilities and related enclosures shall be subject to the approval of the Director of Community Planning and Development.
14. Site accessories such as railings, benches, exterior lighting fixtures, and bicycle racks shall be of commercial quality and complement the building design. The final design and location of such accessories shall be subject to the approval of the Director of Community Planning and Development.
15. All mechanical, heating, ventilation, air conditioning, and similar systems shall be screened from view by an opaque structure or landscape materials (if at street level) selected to complement the building. Such screening is subject to the approval of the Director of Community Planning and Development.

Decisions by the Planning Commission regarding special use permits may be appealed to the Township Board. An appeal must be filed within ten (10) days of the date of the Planning Commission's action and be in accordance with Section 86-189 of the Code of Ordinances. Consequently, your special use permit will not become valid until September 6, 2019.

This letter shall act as the Special Use Permit. The use permitted by the granting of the special use permit must have commenced within two years after issuance or the permit shall be void. All construction related to the special use must be completed within three years from the effective date of the special use permit.

It is your responsibility to comply with the conditions of the special use permit approval. Failure to comply with the conditions of approval shall result in the revocation of the special use permit approval.

If you have any questions regarding this matter, please contact me at (517) 853-4576 or by email at [menser@meridian.mi.us](mailto:menser@meridian.mi.us).

Sincerely,

Peter Menser



Principal Planner

Department of Community Planning and Development

cc: Younes Ishraidi, Chief Engineer  
John Heckaman, Chief Building Inspector  
Tavis Millerov, Fire Inspector

G:\Community Planning & Development\Planning\SPECIAL USE PERMITS (SUP)\2019\SUP 19111 (Woodward Way)\SUP 19111 approval letter.doc



**To:** Planning Commission

**From:** Timothy R. Schmitt, *AICP*  
Community Planning and Development Director

**Date:** September 9, 2021

**Re:** Special Use Permit #21-19121 - Woodward Limited Dividend Housing Association - Buildings over 25,000 feet Special Use Permit modification

---

In 2019, Woodward Limited Dividend Housing Association requested and received approval for a special use permit to construct a group of buildings greater than 25,000 square feet in size on the north 4.37 acres of Parcel Number 17-377-031. The approved plan was for a 49-unit townhouse and apartment complex comprised of four buildings totaling 53,353 square feet in size. A special use permit to construct the multiple-family housing development was reviewed under a separate heading.

As noted in the Staff memo for special use permit #21-19111, the applicant has changed the plans to accommodate changes necessary to get a cul-de-sac installed that meets the Ingham County Road Department's specifications. The plans still call for 49 dwelling units, but the number of buildings has been reduced from four to two. The unit mix has changed from townhouses and stacked flats to entirely stacked flats. And the overall size of the buildings has dropped from 53,353 square feet to 49,288.

Since the overall square footage continues to exceed 25,000 square feet, a special use permit modification is required. The special use permit is required due to the significant impact such buildings or development may have upon adjacent property owners, neighborhoods, and public infrastructure. The full analysis for the standards of special use permit review can be found in the Staff report for the overall review of the site, special use permit #21-19111.

### **Planning Commission Options**

The Planning Commission may recommend approval, approval with conditions, or denial of the proposed special use permit. The Township Board makes a final decision on special use permit requests for buildings over 25,000 square feet. A draft resolution is attached for the Planning Commission's review.

### **Attachment**

1. Draft resolution for approval
2. Special use permit application

**RESOLUTION TO RECOMMEND APPROVAL**

**Special Use Permit #21-19121  
Woodward Limited Dividend Housing Association**

At a regular meeting of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 13th day of September, 2021, at 7:00 p.m., Local Time.

PRESENT: \_\_\_\_\_  
\_\_\_\_\_

ABSENT: \_\_\_\_\_

The following resolution was offered by \_\_\_\_\_ and supported by \_\_\_\_\_.

WHEREAS, In 2019, Woodward Way Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031; and

WHEREAS, In 2021, the applicant has brought forward plan revisions to address concerns raised by the Ingham County Road Department, which required a modification to the original approved Special Use Permit; and

WHEREAS, the revised plans have the same number of units and two less buildings than the originally approved plans, but still contain 49,288 square feet between the buildings; and

WHEREAS, the Planning Commission held a public hearing at its regular meeting on September 13, 2021 and has reviewed staff material forwarded under a cover memorandum dated September 9, 2021; and

WHEREAS, the subject site is appropriately zoned RC (Multiple Family), which permits the construction of a group of buildings greater than 25,000 square feet in floor area by special use permit; and

WHEREAS, the proposed project is consistent with the general standards for granting a special use permit found in Section 86-126 of the Code of Ordinances; and

WHEREAS, the proposed project provides adequate setbacks and screening from surrounding uses; and

WHEREAS, municipal water and sanitary sewer is available to serve the subject site; and

WHEREAS, the proposed housing project is consistent with Goal J of the 2019 Township Board Action Plan to explore housing options and alternatives to encourage diverse populations and targeted groups to live in the Township; and

NOW THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CHARTER TOWNSHIP OF MERIDIAN hereby recommends approval of Special Use Permit #21-19121 to construct a pair of buildings larger than 25,000 square feet on the north 4.37 acres of an undeveloped parcel identified by Parcel Number 17-377-031, subject to the following conditions:

1. Approval is granted in general accordance with the plan set by Callen Engineering, Inc., cover sheet dated August 17, 2021. This plan set includes site, engineering, landscape, floorplans, elevations, and photometric plans.
2. Approval of the special use permit for buildings greater than 25,000 is subject to all conditions placed on Special Use Permit #21-19111 by the Planning Commission.
3. Any future building additions or revisions to the site layout will require amendments to Special Use Permit #21-19121.

ADOPTED: YEAS: \_\_\_\_\_  
\_\_\_\_\_

NAYS: \_\_\_\_\_

STATE OF MICHIGAN )

) ss

COUNTY OF INGHAM )

I, the undersigned, the duly qualified and acting Chair of the Planning Commission of the Charter Township Meridian, Ingham County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and a complete copy of a resolution adopted at a regular meeting of the Planning Commission on the 13th day of September, 2021.

\_\_\_\_\_  
Scott Hendrickson, Chair  
Meridian Township Planning Commission