



AGENDA
CHARTER TOWNSHIP OF MERIDIAN
PLANNING COMMISSION – REGULAR MEETING
November 13, 2023 6:30 PM

1. CALL MEETING TO ORDER
2. ROLL CALL
3. PUBLIC REMARKS
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - A. October 23, 2023
6. COMMUNICATIONS
 - A. None
7. PUBLIC HEARINGS
 - A. REZ #23034 – 4660 Marsh Road, PO, Professional and Office, to C-2, Commercial
 - B. SUP #23035 – Elevation 4 Floodplain
 - C. 2023 Meridian Township Master Plan
8. UNFINISHED BUSINESS
 - A. ZA #2023-06 – CV: Conservancy District Updates
9. OTHER BUSINESS
 - A. None
10. MASTER PLAN UPDATE
11. REPORTS AND ANNOUNCEMENTS
 - A. Township Board update.
 - B. Liaison reports.
12. PROJECT UPDATES
 - A. Project Report
13. PUBLIC REMARKS
14. COMMISSIONER COMMENTS
15. ADJOURNMENT

Individuals with disabilities requiring auxiliary aids or services should contact: Director of Community Planning and Development
Timothy R. Schmitt, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4506 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864



TENTATIVE PLANNING COMMISSION AGENDA
December 11, 2023

1. PUBLIC HEARINGS
 - A. None

2. UNFINISHED BUSINESS
 - A. REZ #23034 – 4660 Marsh Road
 - B. SUP #23035 – Elevation 4 Floodplain

3. OTHER BUSINESS
 - A. None

4. MASTER PLAN
 - A. None

Individuals with disabilities requiring auxiliary aids or services should contact: Director of Community Planning and Development
Timothy R. Schmitt, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4506 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864

Providing a safe and welcoming, sustainable, prime community.



CHARTER TOWNSHIP OF MERIDIAN
REGULAR MEETING PLANNING COMMISSION 2023
5151 Marsh Road, Okemos MI 48864-1198
517.853.4000, Township Hall Room
MONDAY, October 23rd, 2023, 6:30 pm

PRESENT: Chair Blumer, Vice-Chair Trezise, Commissioners McConnell, Richards, Scales, Snyder, Brooks, Shrewsbury, McCurtis

ABSENT: None

STAFF: Community Development Director Schmitt, Senior Planner Brian Shorkey

- 1. CALL MEETING TO ORDER
Chair Blumer called the October 23rd, 2023 regular meeting for the Meridian Township Planning Commission to order at 6:30pm.
- 2. ROLL CALL
Chair Blumer called the roll of the Board. All board members present.
- 3. PUBLIC REMARKS
Eric Furseth spoke in opposition to REZ #23030.
Ed Gillespie spoke in opposition to REZ #23030.
Vince Lione spoke in opposition to REZ #23030.
Shawn O'Brien spoke in support of REZ #23030.
Barbara Curtis spoke in opposition to REZ #23030.

- 4. APPROVAL OF AGENDA
Vice-Chair Trezise moved to approve the October 23rd, 2023 regular Planning Commission meeting agenda. Seconded by Commissioner Richards.

VOICE VOTE YEAS: Chair Blumer, Vice-Chair Trezise, Commissioners McConnell, Richards, Scales, Snyder, Brooks, Shrewsbury, McCurtis

NAYS: None

Motion carried: 9-0

- 5. APPROVAL OF MINUTES
Commissioner Scales pointed out a correction in the September 11th minutes.

Commissioner Scales moved to approve the Minutes of the September 11, 2023 Planning Commission Regular Meeting as amended. Seconded by Commissioner Vice-Chair Trezise.

VOICE VOTE: Motion approved unanimously.

Commissioner Scales said that he noticed a correction in the September 24th minutes but could not find it. Senior Planner Shorkey told Commissioner Scales that he could email him and the Planning Commission could approve the minutes with the understanding that correction would be made. Commissioner Shrewsbury suggested that the language about straw polls be

reworked so that they don't sound like official actions. Senior Planner Shorkey said that he would rework that.

Commissioner Scales moved to approve the Minutes of the September 25, 2023 Planning Commission Regular Meeting subject to Commissioner Scales' corrections and the amendments as discussed. Seconded by Commissioner Vice-Chair Trezise.

VOICE VOTE: Motion approved unanimously.

6. COMMUNICATIONS

- A. Email from Christine Goodrick Beavers Re. REZ #23030
- B. Email from Dr. Greg Gavrillides Re. REZ #23030
- C. Email from Jesse and Sarah Green Re. REZ #23030
- D. Email from Ray and Pat Hammerschmidt Re. REZ #23030
- E. Email from Stephen Boyd Re. REZ #23030
- F. Email from Brian Pillar and Erica Phillipich Re. REZ #23030
- G. Email from Betty Caldwell Re. REZ #23030
- H. Email from Betty Caldwell Re. REZ #23030
- I. Email from Betsy Montgomery Re. REZ #23030
- J. Email from Jeff Nicholson Re. REZ #23030
- K. Email from Linn Hildebrandt Re: Master Plan Update
- L. Email from Melissa Straus Re: Master Plan Update
- M. Email from Michael Grasseschi Re: Master Plan Update
- N. Letter from Rachelle VanDeventer Re: Master Plan Update

7. PUBLIC HEARINGS

- A. ZA #2023-06 – CV: Conservancy District

Senior Planner Shorkey outlined his memo and described the amendment. Chair Blumer opened the floor.

Eric Furseth spoke in opposition to ZA #2023-06.

Chair Blumer closed the floor and asked the Planning Commission if there were any comments. After hearing none, Chair Blumer asked Senior Planner Shorkey what was next. Senior Planner Shorkey said that Staff would prepare a resolution of approval for their next meeting

8. UNFINISHED BUSINESS

REZ #23030 – Park Lake Road

Director Schmitt spoke about the application and described the updated conditions from the applicant. Director Schmitt pointed out that there were resolutions for both support and denial in the packet for the Planning Commission's consideration, depending on how they wanted to vote.

Commissioner Scales read the resolution recommending denial of REZ #23030 and moved for its approval. Seconded by Commissioner Snyder.

Commissioner Brooks after for clarification of the discussion. Commissioner Scales said that the Planning Commission's job was making a recommendation on the rezoning request, not deciding whether the project should occur and that the project did not seem to conform to the Master Plan.

Chair Blumer said that the rezoning had received more comment than any application he had previously seen and that one major concern was traffic. Chair Blumer said that there was no sign that traffic improvements were included in the conditions and that he agreed with Commissioner Scales that the rezoning did not conform with the Master Plan.

Commissioner Brooks asked why the rezoning contradicts the Master Plan. Community Development Director Schmitt said that he did not think that it did. Commissioner McCurtis said that this was not a straight decision because the rezoning seems to straddle the line of the Master Plan. Director Schmitt agreed.

Vice-Chair Trezise pointed out the current split zoning on the property and said that he was concerned about wetlands and drainage issues and that he wasn't sure any development was possible even if the rezoning was approved. Director Schmitt said that the site is buildable where shown on the concept drawing and the applicant had performed a wetland delineation to confirm that. Vice-Chair Trezise said that there were still drainage issues.

Commissioner McCurtis said that the Township has had to clear up other drainage issues and asked if this wasn't another drainage issue. Community Development Director Schmitt said that they didn't know for sure yet because none of the engineering has been performed since the applicant isn't at site plan yet. Commissioner McCurtis said that he is hesitant to recommend approval because of the drainage issues.

Commissioner Brooks said that wetland and drainage are part, but that this is just one step in the development process before the project can be built. Commissioner Brooks said that the Master Plan is a living document and being updated right now. Commissioner Brooks said that one difficulty of development is the lack of local control and that the applicant is making a good proposal. Commissioner Brooks said that denying the rezoning before the project is reviewed would restrict this opportunity. Commissioner Scales said that the application still goes forward even if the Planning Commission votes no and reiterated that he believes that the rezoning is not compliant with the Master Plan.

Chair Blumer described the rezoning process and agreed that the application would still go forward even if the Planning Commission votes no and that the Board has the final decision. Chair Blumer said that the Planning Commission should consider not just the Master Plan but also on whether a project is right for the community.

Commissioner McConnell said that he was on the fence about conformance with the Master Plan and pointed out that the Master Plan calls for walkable and bikeable communities. Commissioner McConnell asked if a site plan would be reviewed by the Road Department. Director Schmitt said yes. Commissioner McConnell said that a rezoning doesn't trigger a road review and that road improvements wouldn't be required until site plan review. Commissioner McConnell suggested that cut through traffic might be a larger issue and that it might be addressed in the Master Plan.

Chair Blumer said that he was concerned about flooding and asked if the applicant had studied that. Director Schmitt said that no engineering had taken place on the site yet. Chair Blumer pointed out past improvements that the Road Department had made to address flooding and asked if this project would set them back. Director Schmitt said that would be looked at when engineering takes place.

Chair Blumer called the question.

VOICE VOTE

YEAS: Chair Blumer, Vice-Chair Trezise, Commissioners Richards, Scales, Snyder, Shrewsbury

NAYS: Commissioner Brooks and McConnell

Motion carried: 7-2

9. OTHER BUSINESS
2024 Planning Commission Schedule

Director Schmitt detailed the draft 2024 schedule and asked for a vote on the attached resolution.

Chair Blumer moved to approve the 2024 Planning Commission Meeting Schedule resolution. Seconded by Commissioner McCurtis.

VOICE VOTE YEAS: Chair Blumer, Vice-Chair Trezise, Commissioners McConnell, Richards, Scales, Snyder, Brooks, Shrewsbury, McCurtis

NAYS: None

Motion carried: 9-0

10. MASTER PLAN UPDATE

Director Schmitt reminded the Planning Commission that their November 13th meeting was the public hearing for the Master Plan.

11. REPORTS AND ANNOUNCEMENTS
A. Township Board Update

Director Schmitt said that the Board was set to adopt the RRC text amendments. McConnell asked about manufactured versus mobile homes in the RRC amendments. Director Schmitt said that we could look at that.

B. Liaison Reports

Commissioner McCurtis said that he had attended the Transportation Commission meeting and that there was a presentation by CATA on the Redi Ride program.

Vice-Chair Trezise said that he had attended the Brownfield Redevelopment Authority meeting and that they had discussed the first redistribution for American Homes.

Chair Blumer said that he had attended the DDA meeting and that he had giving his packet to Senior Planner Shorkey in case anyone wanted to look at it. Chair Blumer said that the DDA discussed proposed DDA entry signs and state financing.

Commissioner Scales said that he attended the MEDC meeting and heard an update for the Village of Okemos project.

12. PROJECT UPDATES
A. Project Report

Senior Planner Shorkey pointed out the updated project report in the packet.

13. PUBLIC REMARKS

Eric Furseth thanked the Planning Commission for their decision and encouraged them to look at stormwater on every project.

14. COMMISSIONER COMMENTS

Commissioner Snyder said that a rezoning changes the character of an area and asked about available land for development in the Township. Senior Planner Shorkey said that he was working on that and that he would return at a later date with that information. Further discussion about development potential of the Park Lake property.

Commissioner Shrewsbury asked for a formal outline for the application process to be presented at the public hearing.

15. ADJOURNMENT

Chair Blumer asked if there was any opposition to adjourn the meeting. Hearing none, Chair Blumer closed the meeting.

Meeting adjourned at 7:52 pm.



To: Planning Commission

From: Brian Shorkey, AICP, Senior Planner

Date: November 13, 2023

Re: Rezoning #23034 (4660 Marsh), rezone one parcel at 4660 Marsh Road from PO (Professional Office) to C-2 (Commercial).

Tamara Noe (Applicant) has requested the rezoning of her property at 4660 Marsh Road (Subject Property) in order to bring the zoning into compliance with the land uses at the Subject Property. The Subject Property is developed as a multiple-tenant commercial building, but it is zoned Professional Office (PO). The Applicant wishes to add another tenant to the building, which requires the building to be brought into zoning compliance. The requested C-2 zoning achieves this, although the Planning Commission may consider C-1 as well, which is not as intense as C-2.

The Subject Property was previously rezoned from RC (Multiple Family-Medium Density) to PO (Professional and Office) in November 2015. The current building includes several businesses, including a waxing studio, a massage therapist, an eyelash salon, and a social worker. The Applicant now wishes to add one more business, a one-chair hair salon. It has been determined that most of the uses, including the proposed hair salon, would be more appropriate under a Commercial zoning designation.

The Applicant applied for site plan approval for a new accessory building in April 2023. The Applicant has withdrawn that application. Staff brings it up because the site plan for that application is attached to this report. The proposed building on that plan is not going to be constructed and if the rezoning is approved, no new site plan will be required since the proposed business is going inside the existing building.

Future Land Use

The Future Land Use Map from the 2017 Master Plan designates the Subject Property in the R3 – 1.25-3.5 DU/A Future Land Use category. The surrounding properties to the west, south, and east are also designated as R3. R3 correlates with the RA, RB, and RX zoning districts. The properties to the west, across Marsh Road, are designated as Mixed Use Core.

Staff notes that the requested zoning does not comply with the Future Land Use. Staff is comfortable with the rezoning request as it brings an existing business into compliance. Staff also suggests not updating the Future Land Use map at this time, as it is still the vision for that corner to convert to single-family residential in the future.

Zoning

The requested C-2 zoning district requires a minimum of 100 feet of lot width and a minimum lot area of 4,000 square feet. The Subject Property is approximately 228 feet wide and meets the minimum lot width and size for the requested C-2 district. The Subject Property also meets the setback requirements for the C-2 district.



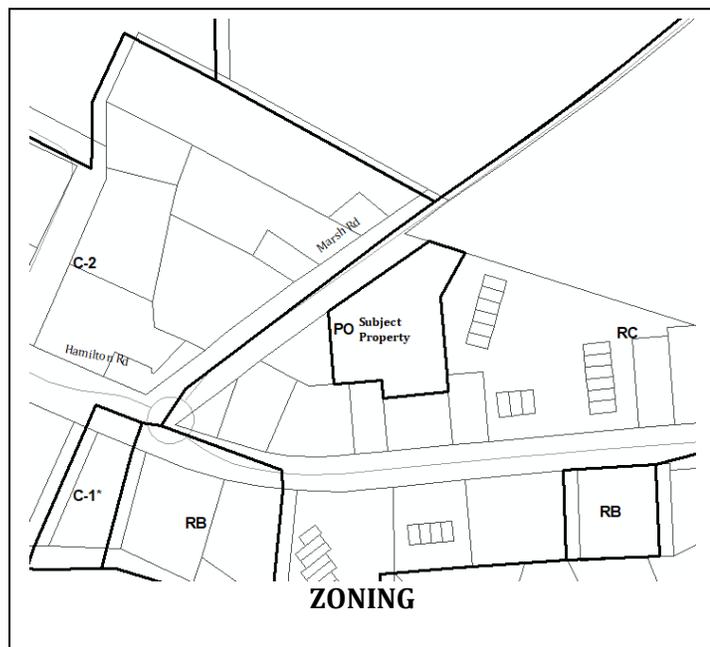
The Subject Property is surrounded on the west, south, and east by the former RC zoning designation. Generally, the property to the north, on the other side of Marsh Road, is zoned C-2.

Physical Features

The Subject Property is developed with a multiple-tenant business building. This is a non-conforming land use in the current PO zoning district but in conformance with the requested C-2 zoning district.

Wetlands and Greenspace Plan

The Township Wetland Map depicts no wetlands on the Subject Property. In addition, the Subject Property contains no floodplains. There is a paved Pathway running along the front of the property along Marsh Road. The Pathway will not be affected by the proposed rezoning. The Township Greenspace Plan does not show any preservation corridors.



Streets & Traffic

No change in the existing traffic pattern is expected from this rezoning as the businesses already exist. As noted, the Applicant wished to add an additional business. This is a proposed one chair hair salon. Minimal additional traffic is expected and adequate parking exists on the site.

Utilities

Municipal water and sanitary sewer serve the subject site.

Planning Commission Options

The Planning Commission may recommend approval or denial of the request, or it may recommend a different zoning designation than proposed by the applicant to the Township Board. A resolution will be provided at a future meeting. As previously noted, the Planning Commission may also consider whether the C-1 zoning district may be more appropriate for the site.

Attachments

1. Rezoning application from Tamara Noe, dated October 16, 2023.
2. Letter from Philip R. Smith, land owner, authorizing Ms. Noe to apply for the rezoning, dated October 16, 2023.
3. Site Plan, prepared by the Peabody Group, dated April 10, 2023.

**CHARTER TOWNSHIP OF MERIDIAN
DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT
5151 MARSH ROAD, OKEMOS, MI 48864
PHONE: (517) 853-4560, FAX: (517) 853-4095**

REZONING APPLICATION

Part I, II and III of this application must be completed. Failure to complete any portion of this form may result in the denial of your request.

Part I

A. Owner/Applicant ~~Philip Smith~~ Tamara Noe
Address of applicant ~~4473 Matinee Drive~~ 4660 Marsh Rd, Okemos
Telephone: Work _____ Home 517 881-2513
Fax _____ Email marsh2022@gmail.com 48864

If there are multiple owners, list names and addresses of each and indicate ownership interest. Attach additional sheets if necessary. If the applicant is not the current owner of the subject property, the applicant must provide a copy of a purchase agreement or instrument indicating the owner is aware of and in agreement with the requested action.

B. Applicant's Representative, Architect, Engineer or Planner responsible for request:
Name / Contact Person Tamara Noe
Address 9611 Retrieville Hwy, Faxon Rapids, MI 48827
Telephone: Work _____ Home _____
Fax _____ Email _____

C. Site address/location 4660 Marsh Rd, Okemos MI 48864
Legal description (Attach additional sheets if necessary) _____
Parcel number 21-428-002 Site acreage 1.05

D. Current zoning RC PO Requested zoning C2

E. The following support materials must be submitted with the application:

1. Nonrefundable fee.
2. Evidence of fee or other ownership of the subject property.
3. ~~A rezoning traffic study prepared~~ by a qualified traffic engineer based on the most current edition of the handbook entitled *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation, is required for the following requests:
 - a. Rezoning when the proposed district would permit uses that could generate more than 100 additional directional trips during the peak hour than the principal uses permitted under the current zoning.
 - b. Rezoning having direct access to a principal or minor arterial street, unless the uses in the proposed zoning district would generate fewer peak hour trips than uses in the existing zoning district. already has
(Information pertaining to the contents of the rezoning traffic study will be available in the Department of Community Planning and Development.)
4. Other information deemed necessary to evaluate the application as specified by the Director of Community Planning and Development.

Part II

REASONS FOR REZONING REQUEST

Respond only to the items which you intend to support with proof. Explain your position on the lines below, and attach supporting information to this form.

A. Reasons why the present zoning is unreasonable:

- 1) There is an error in the boundaries of the Zoning Map, specifically: _____
- 2) The conditions of the surrounding area have changed in the following respects: _____
- 3) The current zoning is inconsistent with the Township's Master Plan, explain: _____
- 4) The Township did not follow the procedures that are required by Michigan laws, when adopting the Zoning Ordinance, specifically: _____
- 5) The Township did not have a reasonable basis to support the current zoning classification at the time it was adopted; and the zoning has exempted the following legitimate uses from the area: _____
- 6) The current zoning restrictions on the use of the property do not further the health safety or general welfare of the public, explain: _____

B. Reasons why the requested zoning is appropriate:

- 1) Requested rezoning is consistent with the Township's Master Plan, explain: _____
- 2) Requested rezoning is compatible with other existing and proposed uses surrounding the site, specifically: *we are in operation and they are consistent with G*
- 3) Requested rezoning would not result in significant adverse impacts on the natural environment, explain: _____
- 4) Requested rezoning would not result in significant adverse impacts on traffic circulation, water and sewer systems, education, recreation or other public services, explain: _____
- 5) Requested rezoning addresses a proven community need, specifically: _____
- 6) Requested rezoning results in logical and orderly development in the Township, explain: _____
- 7) Requested rezoning will result in better use of Township land, resources and properties and therefore more efficient expenditure of Township funds for public improvements and services, explain: _____

Part III

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

Yes No (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate

Tamara Noe
Signature of Applicant

10-16-23
Date

Tamara Noe
Type/Print Name

Fee: \$750

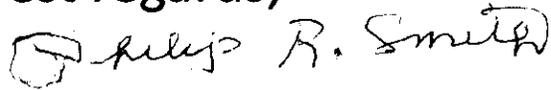
Received by/Date: 10/16/2023

October 16, 2023

To Whom It May Concern,

Tamara Noe is the Executive Director of Marsh Place. She has my permission to apply for a zoning change from RC to C2 with Meridian Township.

Best regards,

A handwritten signature in black ink that reads "Philip R. Smith". The signature is written in a cursive style with a circular flourish at the beginning.

Philip R. Smith
(Owner)

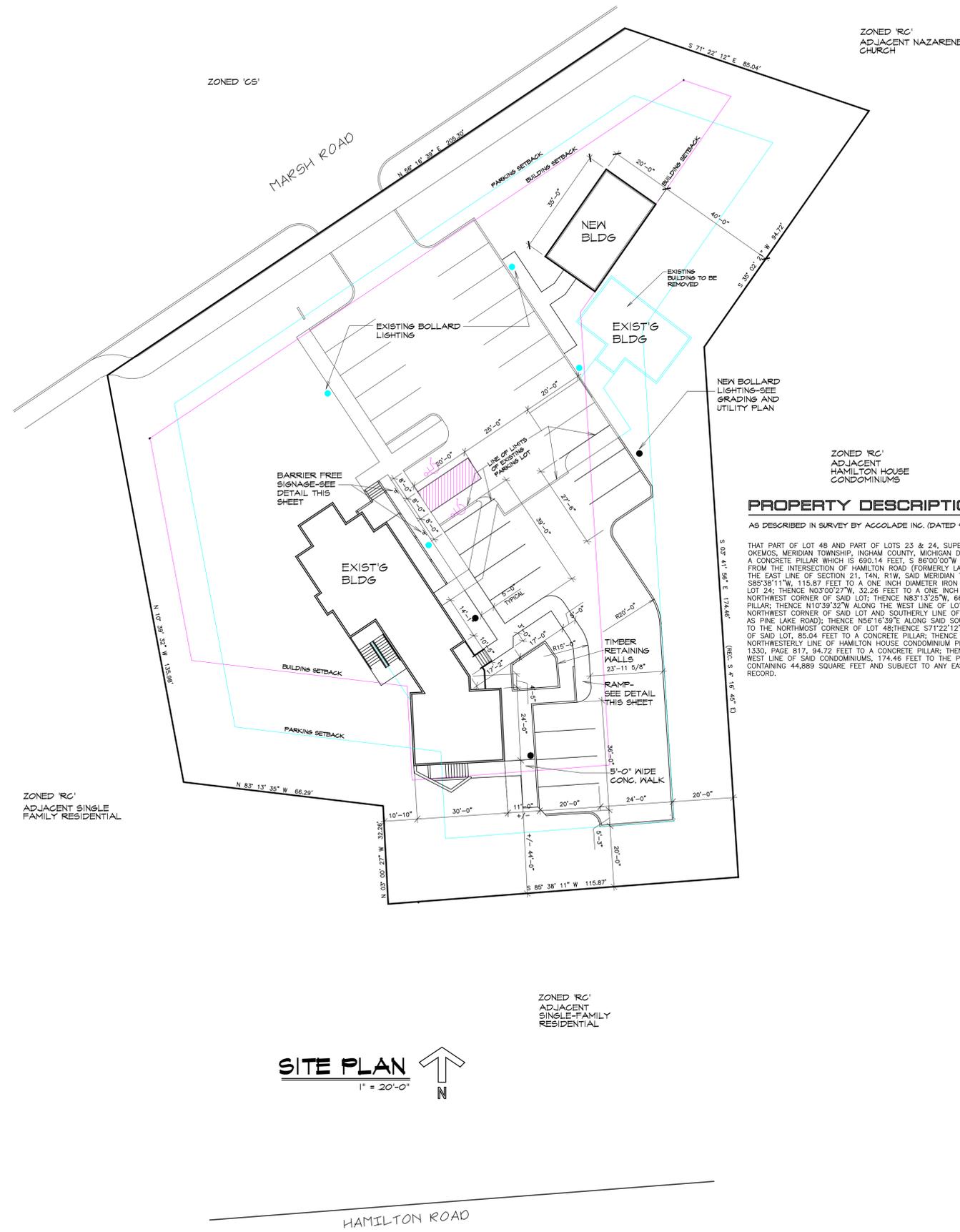


PROJECT MANAGER:
RLP
DRAWN BY:
RLP

NEW CONSTRUCTION
4660 MARSH RD
OKEMOS, MERIDIAN TWP, MICHIGAN

23.014

AI.0





To: Planning Commission

From: Brian Shorkey, Senior Planner

Date: November 8, 2023

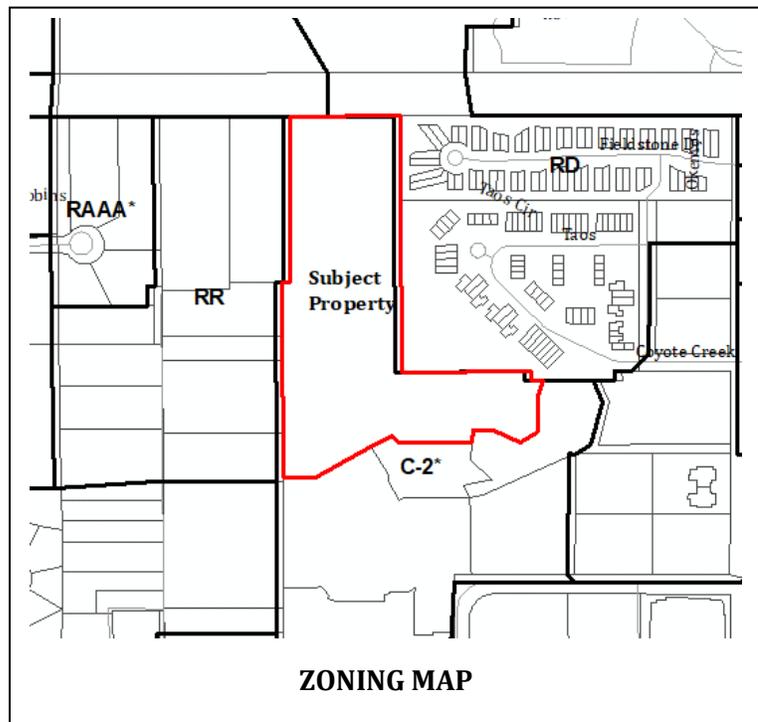
Re: Special Use Permit #23035 (Elevation 4), to construct a portion of the required Pathway within a floodplain.

Okemos Pointe LLC (Applicant) has submitted a Special Use Permit (SUP) application for the construction of a portion of the required Pathway in their project, Elevation, located on Farrins Parkway (Subject Property). The request is for construction in the fourth phase of the Elevation project, which is a 39 acre MUPUD with a commercial building and residential apartments. The Subject Property is zoned C-2 (Commercial) with an MUPUD overlay.

SUP #23035 is necessary to approve the Site Plan for Elevation 4 (SPR #23009). This is the final phase for Elevation and contains 41 residential units in two residential buildings, as well as associated parking. The floodplain crossing is for the construction of the Pathway on the southwest corner of Elevation 4 and not for either of the residential buildings nor associated parking.

Zoning and Future Land Use

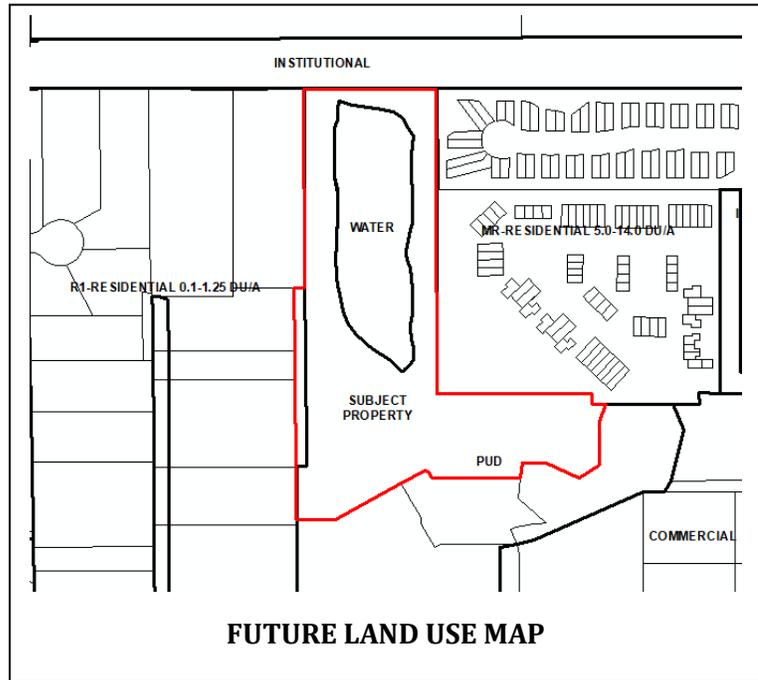
The Subject Property is located in the C-2 – Commercial zoning district with an MUPUD overlay. That designation covers the entire Elevation project to the south. The property to the west is zoned RR –



**Special Use Permit #23035 (Elevation 4)
Planning Commission (November 13, 2023)
Page 2**

Rural Residential. The property to the north is zoned RD – Multiple-Family Residential and includes Club Meridian Apartments. The property to the east is similarly zoned RD.

The 2017 Master Plan designates the subject site as PUD – Planned Unit Development as well as Water on the north half to the Subject Property. The Water designation does not affect the proposed Elevation 4 Site Plan as the proposed development is well away from it. The PUD designation applies to the rest of the Elevation development. The property to the west is shown as R1 – Residential. The property to the east is designated as MR – Multiple-Family Residential.



The property adjacent to the north is a utility corridor owned by Consumers Energy and shown as Institutional. The corridor separates the Subject Property from Club Meridian Apartments.

Staff Analysis

Sec. 86-436 – CV District includes regulations for developments in floodplains and defines extraction of sand and gravel as a special land use. The standards, with Staff comments, are as follows:

1. Structures shall not be designed for human habitation and shall have a low flood damage potential.

Comment: As described, the floodplain cut and fill is required for a Pathway, not residential structures.

2. Structures, if permitted, shall be constructed and placed on the site so as to offer the minimum obstruction to the flow of floodwaters and whenever possible shall be constructed with the longitudinal axis parallel to the direction of flood flow.

Comment: Floodwater is not meaningfully obstructed due to the improvements. The Floodplain Disturbance Site Plan shows that the compensating cut will more than compensate any obstruction that might be caused by the improvements.

3. No special use permit shall be issued for the development of new structures, the substantial improvement or relocation of old structures, or development of any kind within the floodway area when such development, construction, improvement, or relocation would cause any increase in flood level associated with the base flood elevation.

Special Use Permit #23035 (Elevation 4)
Planning Commission (November 13, 2023)
Page 3

Comment: Based on the calculations included on the concept plan, no increase in flood level is expected.

4. Excavation and shaping of the floodway shall be conducted in such a manner as to maintain or improve the flow of the base flood elevation. In no case shall the flow or impoundment capacity of the floodway be reduced. Excavation of soil, sand, gravel, and other materials for the sole purpose of providing a compensating excavation in the floodway for the placement of fill in the floodway fringe is prohibited.

Comment: The 31.5 cubic yards of floodplain fill are being compensated with a 63.1 cubic yard compensating cut, as shown on Cross Section A-A in the Floodplain Disturbance Site Plan.

Planning Commission Options

The Planning Commission has the option to approve, approve with conditions, or deny Special Use Permit #23035. A resolution will be provided at a future meeting.

Attachments

1. SUP permit application, dated October 17, 2023.
2. SUP Request Standards Response letter, dated October 17, 2023.
3. Elevation 4 Construction Plans prepared by Kebs, Inc., dated October 17, 2023.
4. Elevation 4 Floodplain Disturbance Plans prepared by Kebs, Inc., dated October 17, 2023.
5. EGLE/USACE Joint Permit Application, dated October 17, 2023.

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5151 MARSH ROAD, OKEMOS, MI 48864
PLANNING DIVISION PHONE: (517) 853-4560, FAX: (517) 853-4095**

SPECIAL USE PERMIT APPLICATION

Before submitting this application for review, an applicant may meet with the Director of Community Planning and Development to discuss the requirements for a special use permit and/or submit a conceptual plan for review to have preliminary technical deficiencies addressed prior to submittal of the application. If the property or land use is located in the following zoning districts RD, RC, RCC, RN then the applicant must meet with the Planning Director to discuss technical difficulties before filing a formal application.

Part I

- A. Applicant Okemos Pointe III, LLC
 Address of Applicant P.O. Box 523 Grand Ledge, MI 48837
 Telephone - Work 517-290-4650 Home _____ Fax _____ Email jrj5069@gmail.com
 Interest in property (circle one): Owner Tenant Option Other
 (Please attach a list of all persons with an ownership interest in the property.)
- B. Site address / location / parcel number 0 Farrins Parkway: 33-02-02-33-302-016
 Legal description (please attach if necessary) See site plans
 Current zoning C-2(MUPUD)
 Use for which permit is requested / project name Floodplain disturbance
 Corresponding ordinance number 86-436(1)(1 & 7)
- C. Developer (if different than applicant) _____
 Address _____
 Telephone – Work _____ Home _____ Fax _____
- D. Architect, Engineer Planner or Surveyor responsible for design of project if different from applicant:
 Name Allen Patrick, P.E., KEBS, Inc.
 Address 2116 Haslett Road, Haslett, MI 48840
 Telephone – Work 517-339-1014 Home ajpatrick@kebs.com Fax 517-339-8047
- E. Acreage of all parcels in the project: Gross 39.02 Net 38.81
- F. Explain the project and development phases: 39 acre MUPUD with commercial buildings and residential apartments. Project is the final phase of the MUPUD(Phase 4) constructing 2 apartment buildings.
- G. Total number of:
 Existing: structures 20 bedrooms 533 offices _____ parking spaces 532 carports 342 garages _____
 Proposed: structures 5 bedrooms 85 offices _____ parking spaces 52 carports 22 garages 27
- H. Square footage: existing buildings _____ proposed buildings 65,336
 Usable Floor area: existing buildings _____ proposed buildings 52,285
379,306
303,445
- I. If employees will work on the site, state the number of full time and part time employees working per shift and hours of operation:
- J. Existing Recreation: Type Pocket parks and township pathways Acreage 1.06
 Proposed Recreation: Type Pocket parks and township pathways Acreage 1.27
 Existing Open Space: Type woods, meadow, pond, grass Acreage 23.47
 Proposed Open Space: Type woods, meadow, pond, grass Acreage 21.54

K. If Multiple Housing:

Total acres of property	<u>39.02</u>		
Acres in floodplain	<u>±8.64</u>	Percent of total	<u>22.14%</u>
Acres in wetland (not in floodplain)	<u>±2.17</u>	Percent of total	<u>5.56%</u>
Total dwelling units	<u>394</u>		
Dwelling unit mix:			
Number of single family detached:		for Rent	<u> </u> Condo <u> </u>
Number of duplexes:		for Rent	<u> </u> Condo <u> </u>
Number of townhouses:		for Rent	<u> </u> Condo <u> </u>
Number of garden style apartments:		for Rent	<u> </u> Condo <u> </u>
Number of other dwellings:		for Rent	<u>394</u> Condo <u> </u>

L. The following support materials must be submitted with the application:

1. Nonrefundable Fee.
2. Legal Description of the property.
3. Evidence of fee or other ownership of the property.
4. Site Plan containing the information listed in the attachment to this application.
5. Architectural sketches showing all sides and elevations of the proposed buildings or structures, including the project entrance, as they will appear upon completion. The sketches should be accompanied by material samples or a display board of the proposed exterior materials and colors.
6. A Traffic Study, prepared by a qualified traffic engineer, based on the most current edition of *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation.
 - a. A traffic assessment will be required for the following:
 - 1) New special uses which could, or expansion or change of an existing special use where increase in intensity would, generate between 50 to 99 directional trips during a peak hour of traffic.
 - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
 - b. A traffic impact study will be required for the following:
 - 1) New special uses which would, or expansion or change of an existing special use where increase in intensity would, generate over 100 directional trips or more during a peak hour of traffic, or over 750 trips on an average day.
 - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
7. Natural features assessment which includes a written description of the anticipated impacts on the natural features at each phase and at project completion that contains the following:
 - a. An inventory of natural features proposed to be retained, removed, or modified. Natural features shall include, but are not limited to, wetlands, significant stands of trees or individual trees greater than 12 inches dbh, floodways, floodplains, waterbodies, identified groundwater vulnerable areas, slopes greater than 20 percent, ravines, and vegetative cover types with potential to sustain significant or endangered wildlife.
 - b. Description of the impacts on natural features.
 - c. Description of any proposed efforts to mitigate any negative impacts.

The natural features assessment may be waived by the Director of Community Planning and Development in certain circumstances.

- M. Any other information specified by the Director of Community Planning and Development which is deemed necessary to evaluate the application.
- N. In addition to the above requirements, for zoning districts, **RD, RC, RCC, RN, and CV** and **Group Housing Residential Developments** the following is required:
1. Existing and proposed contours of the property at two foot intervals based on United States Geological Survey (USGS) data.
 2. Preliminary engineering reports in accordance with the adopted Township water and sewer standards, together with a letter of review from the Township Engineer.
 3. Ten copies of a report on the intent and scope of the project including, but not limited to: Number, size, volume, and dimensions of buildings; number and size of living units; basis of calculations of floor area and density and required parking; number, size, and type of parking spaces; architectural sketches of proposed buildings.
 4. Seven copies of the project plans which the Township shall submit to local agencies for review and comments.
- O. In addition to the above requirements, a special use application in zoning district **RP** requires the following material as part of the site plan:
1. A description of the operations proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, fire hazards or safety hazards or the emission of any potentially harmful or obnoxious matter or radiation.
 2. Engineering and architectural plans for the treatment and disposal of sewerage and industrial waste tailings, or unusable by-products.
 3. Engineering and architectural plans for the handling of any excessive traffic congestion, noise, glare, air pollution, or the emission of any potentially harmful or obnoxious matter or radiation.
- P. In addition to the above requirements, a special use application for a use in the Floodway Fringe of zoning district **CV** requires the following:
1. A letter of approval from the State Department of Environmental Quality.
 2. A location map including existing topographic data at two-foot interval contours at a scale of one inch representing 100 feet.
 3. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits, extent, and elevations of the proposed fill, excavation, and occupation.
 4. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- Q. In addition to the above requirements, a special use application for a use in the Groundwater Recharge area or zoning district **CV** requires the following:
1. A location map including existing topographic data at two-foot interval contours.
 2. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits and extent of the proposed fill, excavation, and occupation.
 3. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- R. In addition to the above requirements, the Township Code of Ordinances, Article VI, should be reviewed for the following special uses: group housing residential developments, mobile home parks, nonresidential structures and uses in residential districts, planned community and regional shopping center developments, sand or gravel pits and quarries, sod farms, junk yards, sewage treatment and disposal installations, camps and clubs for outdoor sports and buildings greater than 25,000 square feet in gross floor area.

Part II

**SUP REQUEST STANDARDS
Township Code of Ordinances, Section 86-126**

Applications for Special Land Uses will be reviewed with the standards stated below. An application that complies with the standards stated in the Township Ordinance, conditions imposed pursuant to the Ordinance, other applicable Ordinances, and State and Federal statutes will be approved. Your responses to the questions below will assist the Planning Commission in its review of your application.

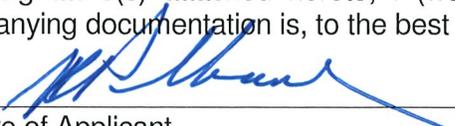
- (1) The project is consistent with the intent and purposes of this chapter.
- (2) The project is consistent with applicable land use policies contained in the Township's Master Plan of current adoption.
- (3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
- (4) The project will not adversely affect or be hazardous to existing neighboring uses.
- (5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
- (6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
- (7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and storm water are proposed, they shall be properly designed and capable of handling the longterm needs of the proposed project.
- (8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
- (9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.

Part III

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

Yes No (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate



Signature of Applicant

10/17/23
Date

JOHN R PERKITAM

Type/Print Name

Fee: _____

Received by/Date: _____

Special Use Permit Application Attachment
Site Plan Requirements Per Section 86-124(c)(4)

A site plan, drawn to a legible scale, containing the following information where applicable:

- a. Boundaries of the subject property.
- b. Total area of the subject property.
- c. Location of all existing and proposed structures.
- d. Approximate location and distance of all structures within 100 feet of the subject property.
- e. Uses of existing and proposed buildings, on the subject site.
- f. Proposed means of vehicular and pedestrian ingress and egress to the subject property.
- g. Public and private roads and streets, rights-of-way, and easements, indicating names and widths, which abut or cross the site.
- h. Existing and proposed parking spaces, and vehicular and pedestrian circulation patterns.
- i. The buildable area of the subject property indicating all required setbacks, yards and open space.
- j. Zoning classification of the subject and adjacent properties.
- k. Existing and proposed fencing, screening, landscaping, and buffers.
- l. Location and sizes of existing utilities including power lines and towers, both above and below the ground.
- m. Amount and location of all impervious surfaces.
- n. The verified boundaries of all natural water features and required setback lines.



SUP REQUEST STANDARDS

Elevation Phase 4 – Floodplain Disturbance SUP
October 17, 2023

1. The project is consistent with the intent and purposes of the Township Ordinance. Section 86-436(1)(1 & 7) allows for filling and compensating excavation of floodway fringe areas within the C-2(MUPUD) zoning district to be permitted by SUP. The work to be permitted by the special use permit preserves or increases flood storage capacity. The design of the project considers the adjacent floodplain and minimizes the effect in placing the buildings, parking, and pathways.
2. The project is consistent with current land use policies in the Township's comprehensive development plan. The proposed project is the final phase of the existing Elevation MUPUD and is consistent with the previously approved MUPUD plan. The property's proposed use and development are consistent with the objectives of the Township's development plan.
3. The project is to be designed, constructed, operated, and maintained to be harmonious and appropriate in appearance with the existing and intended character of the area and will not change the essential character of the area. The proposed consists of the final two residential buildings of the Elevation MUPUD and the associated parking lot. The proposed buildings will be constructed to match the existing building style and materials in previous phases of the development. The proposed project will not change the essential character of the area.
4. The project will not adversely affect or be hazardous to existing neighborhood uses. The proposed project will finish the Elevation MUPUD by utilizing an existing on-site crossing of the Smith Consolidated Drain. Residents will utilize the existing phases of the development for traffic movements and amenities. The project will provide a benefit to existing neighboring uses by constructing a connection of the on-site township pathway to the existing pathway NW of Kansas Street, completing a public watermain loop from the development to Kansas Street, and providing a secondary access drive connection for emergency services through the development to Kansas Street.
5. The project will not be detrimental to the economic welfare of surrounding properties. The proposed project will complete the Elevation MUPUD that has redeveloped contaminated property and provided new commercial and residential uses to the benefit of surrounding properties and the community.
6. The project is adequately served by public facilities. The Smith Consolidated Drain and associated detention pond are located on the development property and were constructed with sufficient capacity to support development of this property. The proposed project will construct new storm piping and low impact treatment areas to collect and pretreat stormwater prior to discharge to the drain. This final phase of the Elevation MUPUD will utilize the existing roadway connections to Farrins Parkway, Jolly Oak Way, Jolly Oak Road, and Jolly Road for vehicular traffic and connections



KEBS, INC.

to the associated sidewalks and on-site township pathways for pedestrian traffic. Public transportation, safety, and recreation are available in the area.

7. The project is adequately served by public sanitary facilities. Public sanitary and water mains are located on the property and were constructed with sufficient capacity to support development of this property. Existing recorded easements on the property to the west also provide access for sanitary, water and pathway extensions to the site.
8. The project will not be detrimental to persons, property, or general welfare from excessive traffic, noise, smoke, fumes, glare, or odors. The proposed project consists of two residential buildings with pedestrian and vehicular access connections through the existing phases of the Elevation MUPUD. No other activities, processes, materials, or equipment is proposed which would produce the detriments listed above.
9. The project will not directly or indirectly create adverse impacts on natural resources of the Township. The project will have a positive effect on the floodplain by creating a net increase in floodplain storage volume. The proposed project will construct new storm piping and low impact treatment areas to collect and pretreat stormwater prior to discharging to the Smith Consolidated Drain and its detention pond. The low impact treatment areas are proposed infiltration swales designed to remove sediment and contaminants by filtering the stormwater through sand while promoting subsurface infiltration. Stormwater discharge locations are proposed to include riprap stabilization to reduce flows to non-erosive velocities and to provide an additional opportunity for infiltration and sediment treatment prior to discharging to the drain, detention pond, and/or associated wetlands. No wetland disturbance is proposed with the project.

OVERALL LEGAL DESCRIPTION:
 A parcel of land in the Southwest 1/4 of Section 33, T4N, R1W, Meridian Township, Ingham County, Michigan, the boundary of said parcel described as: Commencing at the Southwest corner of said Section 33; thence N89°46'20"E along the South line of said Section 33 a distance of 858.00 feet to the point of beginning of this description; thence N00°36'06"W parallel with the West line of Section 33 a distance of 1996.56 feet; thence N89°46'12"E 35.84 feet; thence N00°27'14"W 642.58 feet to the East-West 1/4 line of said Section 33; thence N89°44'23"E along said East-West 1/4 line of said Section 33 to the West line of Fieldstone Village Condominium, Subdivision Plan No. 184, Ingham County Records; thence S00°18'07"E along said West line and the West line of Coyote Creek Condominium, Subdivision Plan No. 82, Ingham County Records, a distance of 989.98 feet; thence along the South line of said Coyote Creek Condominium the following three courses: N89°45'08"E 503.25 feet, South 34.97 feet and N89°45'08"E 255.61 feet to the Westerly line of Unit 1 of Okemos Pointe Office Park Condominium, Subdivision Plan No. 267, Ingham County Records; thence along said Westerly line the following two courses: S22°44'37"E 82.61 feet and S14°02'26"W 172.95 feet to the North line of Ferrins Parkway, thence along said North line the following four courses: S89°51'41"W 85.18 feet, Southwesterly 180.54 feet on a curve to the left, said curve having a radius of 232.50 feet, a delta angle of 44°29'30" and a chord length of 176.04 feet bearing S87°30'4"W, Southwesterly 206.25 feet on a curve to the right, said curve having a radius of 277.50 feet, a delta angle of 42°35'09" and a chord length of 201.54 feet bearing S86°39'56"W and Southwesterly 77.04 feet on a curve to the left, said curve having a radius of 197.50 feet, a delta angle of 22°20'57" and a chord length of 76.55 feet bearing S78°47'04"W to the East line of Water Lily Way; thence along said East line the following three courses: Southeasterly 106.18 feet on a curve to the right, said curve having a radius of 205.00 feet, a delta angle of 29°40'31" and a chord length of 104.99 feet bearing S14°50'20"E, S00°00'04"E 221.47 feet and Southeasterly 47.24 feet on a curve to the left, said curve having a radius of 30.00 feet, a delta angle of 90°13'36" and a chord length of 42.51 feet bearing S45°06'52"E to the North line of Jolly Oak Road; thence S89°46'20"W along the extension of said North line 90.12 feet to the West line of Jolly Oak Road; thence S00°00'04"E along said West line 805.00 feet to the Southeast corner of Lot 1 of Jolly-Okemos Industrial Park as recorded in Liber 27, Pages 20-21, Ingham County Records; thence S89°46'20"W along the South line of said Lot 1 a distance of 196.04 feet to the West line of said Jolly-Okemos Industrial Park; thence N00°48'30"W along said West line 163.00 feet; thence S89°46'20"W parallel with said South Section line 181.50 feet; thence S00°48'30"E along a line parallel with said West line of Lots 1 and 2 a distance of 213.00 feet to said South line; thence S89°46'20"W along said South line 280.06 feet to the point of beginning; said parcel containing 39.02 acres, more or less, subject to all right-of-way for road purposes; said parcel subject to all easements and restrictions if any.

PHASE 4 LEGAL DESCRIPTION:
 A parcel of land in the Southwest 1/4 of Section 33, T4N, R1W, Meridian Township, Ingham County, Michigan, the boundary of said parcel described as: Commencing at the Southwest corner of said Section 33; thence N89°46'20"E along the South line of said Section 33 a distance of 858.00 feet; thence N00°36'06"W parallel with the West line of Section 33 a distance of 1217.85 feet to the point of beginning of this description; thence continuing N00°36'06"W parallel with said West line 778.71 feet; thence N89°46'12"E 35.84 feet; thence N00°27'14"W 642.58 feet to the East-West 1/4 line of said Section 33; thence N89°44'23"E along said East-West 1/4 line 433.70 feet to the West line of Fieldstone Village Condominium, Subdivision Plan No. 184, Ingham County Records; thence S00°18'07"E along said West line and the West line of Coyote Creek Condominium, Subdivision Plan No. 82, Ingham County Records, a distance of 989.98 feet; thence S89°45'08"E 49.74 feet; thence S08°19'09"W 276.80 feet; thence S61°38'16"W 333.53 feet; thence S89°23'54"W 78.22 feet to the point of beginning.

- STANDARD CONSTRUCTION NOTES**
- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering, p#8 517-853-4440, a minimum of 72 hours prior to the start of construction of public utilities or construction within the public right-of-way.
 - All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
 - After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
 - The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
 - The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
 - The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Meridian Charter Township, upon four hours notice, reserves the right to perform the work and deduct the cost thereof from the money due the contractor.
 - A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments destroyed or destroyed by the contractor's operations.
 - The contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials for his construction operations.
 - Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
 - Trees and shrubs are to be protected during construction and bared where necessary.
 - Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
 - Driveways, culverts, ditches, drain tiles, fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
 - All established lawn areas disturbed by the contractor's operations shall be reseeded with matching soil. All other areas shall be seeded and mulched. Seeding and matching shall be done in accordance with the General Specifications.
 - All ditch slopes shall have established vegetation and be protected from erosion.
 - All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owners.
 - Prior to acceptance of the public utility, one complete set of acceptable sealed as-built plans, minimum 3 mill thick, and one disquette (AutoCAD format) of the site plans shall be submitted to the Office of Engineering.
 - On-site parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.

- PATHWAY / SIDEWALK NOTES**
- Sidewalks - 5' (minimum) wide concrete 4" thick, 6" thick through single family residential driveways, 7" thick through multi-family residential and commercial driveways on 3" compacted sand backfill. To maintain continuity, all 4' wide concrete sidewalks shall be replaced with new 4' wide concrete sidewalk when appropriate.
 - Pathways (adjacent to roadways) - 7' (minimum) [if when next to a wall or other object] wide concrete, 4" thick, 6" thick through residential driveways, 7" thick through commercial driveways on 3" compacted sand backfill.
 - Pathways (off-road) - 8' (minimum) wide concrete, 6" thick concrete on 3" compacted sand backfill or 8' (minimum) wide asphalt 3" thick (Bituminous Mixture 150M) (1.5 in 6" x 21.00 in crushed limestone) (minimum 10% binder).
 - Sidewalks and pathways shall generally be placed 1' (one) foot from the ultimate right-of-way as identified on the "Street and Highway Plan". Contact the Department of Planning and Community Development for a current copy of the plan.
 - A boardwalk may be required to be installed instead of a standard concrete sidewalk/pathway if regulations do not allow their installation.
 - Pathways and sidewalks shall be constructed so as to promote proper positive surface drainage. Where ever possible the sidewalk/pathway shall be constructed 8" higher than the curb.
 - Retaining walls shall only be installed where all other efforts (soilside grading, erosion, tree retention, etc.) to mitigate the need for such wall have been evaluated for cost effectiveness and dismissed.
 - Guardrails and handrails shall be installed where the slopes adjacent to the pathway/sidewalk cannot be constructed to 1" vertical for every 3" horizontal. The depth to the toe of the slope area will be considered when implementing this requirement.
 - Pathways or sidewalks that do not connect to an existing pathway/sidewalk shall provide a gradual transition to existing ground. A "path ends" sign shall be posted at all pathway/sidewalk termini.
 - Maximum slope of sidewalk is 5%. Cross slope is 2%.
 - All existing bituminous and concrete shall be removed shall be sawcut.
 - Expansion joints to be placed at 100' intervals.
 - All lumber to be pressure treated (Smoose 33 or equal) to 0.4 retention.

- SANITARY SEWER NOTES**
- All sewers to be placed in Class "B" bedding or better.
 - Wyes, risers, and house leads are to be placed at location shown on the plans or as directed by the Engineer. All wyes are incidental.
 - Each wye or house lead shall have a plug of the same type of joint as the house lead.
 - House leads shall be a minimum of 9 ft. deep at the property line. Individual site topography may require a deviation of this minimum.
 - Downspouts or other conduits carrying storm or ground water shall not be connected to the sanitary sewer.
 - Whenever existing manholes or sewer pipes are to be tapped, holes are to be drilled at 4 inch center to center spacing around the periphery of the proposed opening to create a plane of weakness joint (or core saw the diameter) - a 12 inch thick collar is to encase the new pipe and opening.
 - All sanitary sewer manholes shall be provided with watertight covers.
 - All manhole covers shall bear the legend "Meridian Sanitary Sewer" with tree logo.
 - All public sanitary sewer main lines shall be SDR 26, or ABS Truss Pipe. Clay pipe may be installed in locations approved by the Township Engineer.
 - The PVC (SDR-26) pipe shall be installed in accordance with ASTM 477.
 - Pipe installation shall be in accordance with ASTM D 2321. All pipe shall be marked to provide ASTM D2321, SDR number, manufacturer's name, and pipe diameter.
 - The contractor shall test the flexible pipe main for deflection by pulling a mandrel through the sewer after all backfill has been placed and compacted over the pipe. The maximum allowable deflection shall not exceed 5% of the pipe's inside diameter. The outside diameter of the test mandrel shall be equal to the inside diameter of the pipe less 5%. The initial test shall be performed at least 30 days after pipe installation. A second test shall be performed after 10 months of pipe installation or just before line intended use.
 - Inspection and testing of the sanitary system shall also include video inspection by CCTV method of sanitary main, air testing of sanitary main, and vacuum testing of sanitary manholes. All inspections and testing shall be performed in the Township of Meridian.

- WATER MAIN NOTES**
- Hydrant elevations and gate well tap elevations shall be set to existing ground elevations unless otherwise directed by the Township Engineer.
 - All water mains shall be constructed with 5 feet of cover below finish grade, unless otherwise indicated on the plans.
 - Connection to the existing water sewer shall not be made until after the successful completion of pressure and bacteriological tests. Pressure testing shall be performed in accordance with AWWA standard C-600. Disinfection and bacteriological testing shall be in accordance with the AWWA Standard C-651. Before the mains are chlorinated, they shall be thoroughly flushed. All mains shall be chlorinated for a period of twenty-four (24) hours. Chlorine shall be added in sufficient quantity to give a 50-ppm residual of free chlorine after a twenty-four (24) hour period. After completion of the chlorine procedure, the mains shall be flushed. Then water samples shall be taken from the main for bacteriological tests. If the tests should result in unsafe conditions, the chlorinating shall be repeated by the contractor. Two consecutive passing samples in a ten 24 hours span must be obtained before the main can be connected to the existing water system.
 - All valves shall be counter-clockwise open.
 - All fire hydrants shall be IJW 5-RR (code 54915) Traffic Type with breakaway flange or approved equal.
 - Hydrants shall be painted OSHA red.
 - Two brass wedges shall be installed at each joint on ductile iron pipe.
 - Polyethylene encasement of pipes will be required in all areas. The encasement shall be V-BioB Enhanced Polyethylene Encasement, in accordance with ANSI/AWWA C105/A21.5, installed per the manufacturer's instructions.
 - For existing lines, service taps, shut off valves, and service line extensions to the property shall be made by Township Department of Public Works personnel for connections 2" and smaller.
 - Where water mains must dip to pass under a storm sewer or sanitary sewer, the sections which are deeper than normal shall be set to a minimum length by the use of 45, 22 1/2 or 1 1/4 degree bends properly restrained.
 - All manhole covers shall bear the legend "Meridian Water" with tree logo, where available.
 - Lead content requirements for all pipes, piping fittings, plumbing fittings, and fixtures that are used for potable water shall comply with NSF/ANSI 372 Standard.
 - All mechanical joints and fittings shall be restrained using MEGALOC style restraints, or approved equal. All exposed metal components of the restrained-joint system shall be treated with a corrosion resistant coating, including, the collar, breakaway bolts, wedges, and connecting metal bolts.

EX. LEGEND

● = SET 1/2" BAR WITH CAP	⊗ = SANITARY MANHOLE
□ = FOUND IRON AS NOTED	⊕ = DRAINAGE MANHOLE
— = DISTANCE NOT TO SCALE	⊖ = ELECTRIC MANHOLE
— = ASPHALT	⊙ = TELEPHONE MANHOLE
— = CONCRETE	⊚ = CATCHBASIN
— = GRAVEL	⊛ = SANITARY CLEANOUT
— = EXISTING SPOT ELEVATION	⊜ = FIRE HYDRANT
— = EXISTING CONTOUR ELEVATION	⊝ = VALVE
— = UTILITY EASEMENT	⊞ = UTILITY POLE
— = PROPOSED WATER MAIN	⊟ = LIGHT POLE
— = PROPOSED SANITARY SEWER	⊠ = GUY POLE
— = PROPOSED STORM SEWER	⊡ = GUY WIRE
— = PROPOSED C.B. MANHOLE (NEW)	⊢ = UTILITY PEDESTAL
— = PROPOSED C.B. MANHOLE (EX.)	⊣ = TRANSFORMER
— = UTILITY EASEMENT	⊤ = ELECTRIC METER
— = CENTER LINE OF ROAD	⊥ = GAS METER
— = ROAD RIGHT OF WAY	⊦ = WATER METER
— = PROPERTY LINE	⊧ = SOIL BORING
— = FIRE HYDRANT	⊨ = SIGN
— = WATER VALVE	⊩ = POST
— = THRUST BLOCK	
▲/C 800.00 = PROPOSED TOP OF CURB ELEV.	

LEGEND

— = EXT. CONTOURS	— = GAS LINE
— = EXT. WATER MAIN	— = UNDERGROUND TELEPHONE
— = EXT. SANITARY SEWER	— = ROAD RIGHT OF WAY
— = EXT. STORM SEWER	— = UNDERGROUND ELECTRIC
— = EXT. ELEVATIONS	— = OVERHEAD WIRES
— = PROPOSED WATER MAIN	— = EDGE OF WOODS
— = PROPOSED SANITARY SEWER	— = DECIDUOUS TREE
— = PROPOSED STORM SEWER	— = CONIFEROUS TREE
— = PROPOSED C.B. MANHOLE (NEW)	
— = PROPOSED C.B. MANHOLE (EX.)	
— = UTILITY EASEMENT	

CUT FILL

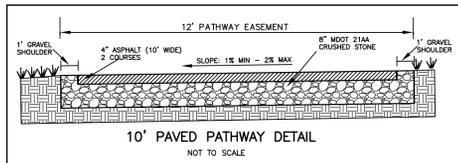
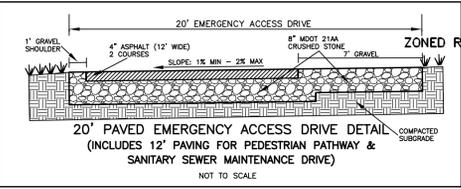
HATCH DENOTES AREA OF FLOODPLAIN DISTURBANCE. NO WORK IN FLOODPLAIN TO BE COMPLETED UNTIL EGE PERMIT AND TOWNSHIP S.U.P. IS APPROVED

12 HOURS (3 WORKING DAYS) BEFORE YOU DIG CALL MISS DIG 800-482-7171 (TOLL-FREE)

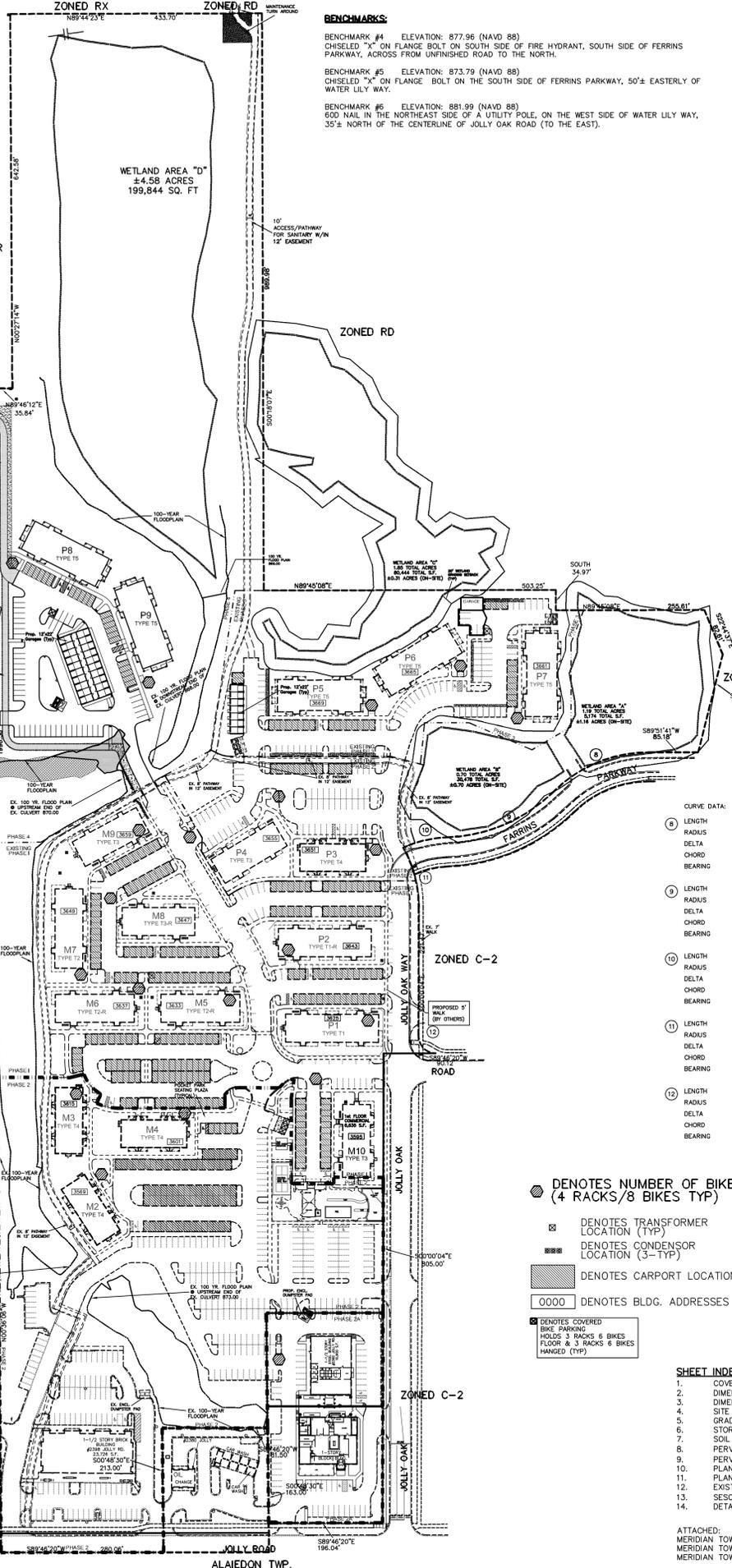
NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

LEGEND

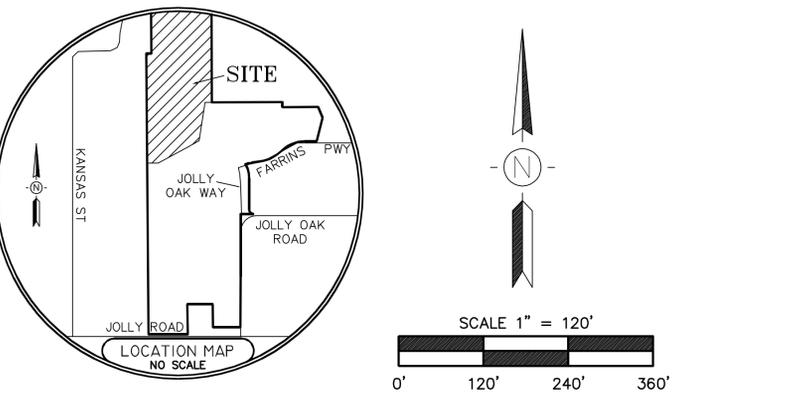
— = SANITARY MANHOLE	⊗ = SANITARY MANHOLE
⊕ = DRAINAGE MANHOLE	⊕ = DRAINAGE MANHOLE
⊖ = ELECTRIC MANHOLE	⊖ = ELECTRIC MANHOLE
⊙ = TELEPHONE MANHOLE	⊙ = TELEPHONE MANHOLE
⊚ = CATCHBASIN	⊚ = CATCHBASIN
⊛ = SANITARY CLEANOUT	⊛ = SANITARY CLEANOUT
⊜ = FIRE HYDRANT	⊜ = FIRE HYDRANT
⊝ = VALVE	⊝ = VALVE
⊞ = UTILITY POLE	⊞ = UTILITY POLE
⊟ = LIGHT POLE	⊟ = LIGHT POLE
⊠ = GUY POLE	⊠ = GUY POLE
⊡ = GUY WIRE	⊡ = GUY WIRE
⊢ = UTILITY PEDESTAL	⊢ = UTILITY PEDESTAL
⊣ = TRANSFORMER	⊣ = TRANSFORMER
⊤ = ELECTRIC METER	⊤ = ELECTRIC METER
⊥ = GAS METER	⊥ = GAS METER
⊦ = WATER METER	⊦ = WATER METER
⊧ = SOIL BORING	⊧ = SOIL BORING
⊨ = SIGN	⊨ = SIGN
⊩ = POST	⊩ = POST



- STORM SEWER**
- All storm sewer construction shall comply with the requirements of the Ingham County Drain Commissioner and the Ingham County Road Commission and shall be subject to their inspection and approval.
 - All storm sewer 8" and smaller shall be PVC SDR 35, or vitrified clay C-700 ES.
 - All storm sewer pipe 10" and larger shall be C-76, Class III reinforced concrete pipe.
 - All storm sewer joints shall be wrapped with Miraf Geotextile 140N or equal. No joint mastic shall be used. Fabric shall be 18" wide, overlapped by not less than 6" and held in place by duct taping the overlap and/or equal holding material, until backfilled. 1/2" ring rubbers on PVC pipe shall be removed and wrapped as indicated above.
 - All pipe to be laid with the aid of laser equipment.
 - All storm sewer manholes and catch basin shall be in accordance with the Ingham County Drain Commissioner and the Ingham County Road Commission Standards with Neenah R-1784 or E.J.I.W. 1060-B covers for manholes. E.J.I.W. 7045 or Neenah R-3031-B for Standard curb inlets, E.J.I.W. 7065 or Neenah R-3034-B for rolled curb inlets, E.J.I.W. 550B or Neenah R-4340-A for Beehive Gate or castings as indicated on the plans.
 - All catch basins and yard drains shall have a three foot deep sump.
 - All storm leads shall be 4" Polyvinylchloride (PVC) tubing, installed at a minimum slope of 1%.
 - All 7 foot dia storm manhole, as approved by Ingham County Drain Commission, shall be constructed with concrete radial block provided that precast bases and precast reducer tops are used. Construction with MDT standard plan 1-1E, sheets 1 to 4 and all applicable MDT specifications. All 4 foot and 5 foot diameter storm manholes shall be precast in accordance with ASTM C-478 and applicable MDT standards and specifications.



CONSTRUCTION PLANS FOR: Elevation Ph 4 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



BUILDING DATA:

RESIDENTIAL

TYPE I = (M5, M6, P2)
 22 UNITS/BUILDING
 (2) 1 BR, (20) 2 BR = 42 BEDS/BUILDING
 24,944 G.S.F./BUILDING

TOTAL TYPE I (2) = 44 UNITS
 84 BEDS
 64,464 G.S.F./BUILDING

TYPE II (M5, M6, M7)
 22 UNITS/BUILDING
 (14) 1 BR, (8) 2 BR = 30 BEDS/BUILDING
 21,488 G.S.F./BUILDING

TOTAL TYPE II (3) = 66 UNITS
 90 BEDS
 64,464 G.S.F. RESIDENTIAL

TYPE III (M8, M9, M10, P4)
 22 UNITS/BUILDING
 (4) JR 1 BR, (10) 1 BR, (6) 2 BR, (2) 3 BR = 32 BEDS/BUILDING
 19,904 G.S.F./BUILDING

P4 = (12) 1 BR, (6) 2 BR, (3) 3 BR = 21 UNITS/33 BEDS
 M10 = 16 UNITS, 23 BEDS WITH 1ST FLOOR COMMERCIAL
 (13,269 G.S.F. RESIDENTIAL, 6,635 G.S.F. COMMERCIAL)

TOTAL TYPE III (4) = 81 UNITS
 120 BEDS
 72,891 G.S.F. RESIDENTIAL
 6,635 G.S.F. COMMERCIAL

TYPE IV = (M2, M3, M4, P3)
 24 UNITS/BUILDING
 (24) 1 BR = 24 BEDS/BUILDING
 17,340 G.S.F./BUILDING

TYPE V = (P5, P6, P7, P8, P9)
 22 UNITS/BUILDING
 (20) 2 BR, (2) 3 BR = 46 BEDS/BUILDING
 17,340 G.S.F./BUILDING

P9 = (18) 2 BR, (1) 3 BR = 19 UNITS/39 BEDS

TOTAL TYPE V (5) = 107 UNITS
 223 BEDS
 126,155 G.S.F.

COMMERCIAL

2360 JOLLY RD 15,523 S.F.
 2398 JOLLY RD 23,726 S.F.
 BLDG M10 6,635 S.F.
 TOTAL COMMERCIAL 45,884 S.F.

TOTAL PROJECT

394 UNITS
 818 BEDS
 382,848 G.S.F. RESIDENTIAL
 46,000 G.S.F. COMMERCIAL
 1,800 G.S.F. AMENITY BLDGS
 14,082 G.S.F. GARAGES
 444,662 G.S.F. TOTAL

TOTAL SITE AREA = 1,699,859 S.F. = 39.02 AC.
 DENSITY 394 UNITS/39.02 AC. = 10.10 UNITS/ACRE

BUILDING COVERAGE:
 APARTMENT FIRST FLOOR 123,194 S.F.
 COMMERCIAL FIRST FLOOR 45,884 S.F.
 AMENITY BUILDINGS 1,800 S.F.
 GARAGES 14,082 S.F.
 TOTAL = 184,940 S.F. = 10.88%

PARKING DATA:
 394 UNITS x 2 = 788 SPACES
 = 25% FUTURE SPACES = 788 x .25 = 197
 46,000 S.F. COMMERCIAL @ 4/1000 MIN. 4.5/1000 MAX. = 184-207
 1,169 SPACES REQUIRED
 WITH 10% ALLOWED PARKING REDUCTION FOR BIKE PARKING = 1,052 SPACES
 79 SPACE WANNER WITH PREVIOUS MUPUD APPROVAL OF 394 UNITS = 1,052 - 79 = 973 SPACES REQUIRED

PARKING PROVIDED:
 552 GENERAL PARKING SPACES
 364 CARPORT SPACES
 27 GARAGE SPACES
 32 B/F SPACES
 915 TOTAL SPACES PROVIDED

BIKE PARKING DATA:
 20 RACKS x 8 = 160 SPACES
 1 RACK x 48 = 48 SPACES
 2 COVERED BIKE PARKING x 12 = 24 SPACES
 TOTAL BIKE PARKING SPACES PROVIDED = 232 SPACES

MAX. ALLOWED IMPERVIOUS AREA = 70%

PROPOSED PERVIOUS/IMPERVIOUS AREAS:
 TOTAL PROPERTY = 1,699,859 S.F.
 TOTAL PERVIOUS = 936,214 S.F.
 = 1/2 OF DETENTION = 234,341/2 = (-117,170 S.F.)
 NET PERVIOUS = 821,044 S.F. = 48.30%
 NET IMPERVIOUS = 878,815 SF = 51.70%

OVERALL PROJECT 394 UNITS MAXIMUM PER MERIDIAN TOWNSHIP MUPUD APPROVAL

NOTE: A TOTAL OF 3% OF ALL UNITS MUST BE DESIGNATED AS AFFORDABLE HOUSING UNITS FOR RESIDENTS WITH INCOME BELOW 80% OF THE MEDIAN INCOME FOR THE AREA

PHASE I = 170 UNITS
 170 x .03 = 5.1 ~ 5 UNITS DESIGNATED AS AFFORDABLE HOUSING UNITS

PHASE 2 = 117 UNITS
 117 x .03 = 3.51 ~ 4 UNITS DESIGNATED AS AFFORDABLE HOUSING UNITS

PHASE 3 = 66 UNITS
 66 x .03 = 1.98 ~ 2 UNITS DESIGNATED AS AFFORDABLE HOUSING UNITS

PHASE 4 = 41 UNITS
 41 x .03 = 1.23 ~ 1 UNIT DESIGNATED AS AFFORDABLE HOUSING UNIT

- DENOTES NUMBER OF BIKE RACKS (4 RACKS/8 BIKES TYP)
- ⊗ DENOTES TRANSFORMER LOCATION (TYP)
- ⊕ DENOTES CONDENSOR LOCATION (3-TYP)
- ⊖ DENOTES CARPORT LOCATIONS
- 0000 DENOTES BLDG. ADDRESSES JOLLY OAK RD.
- ⊚ DENOTES COVERED BIKE PARKING (HOLD 3 BIKES & 3 RACKS 6 BIKES HANGED (TYP))

SHEET INDEX

- COVER SHEET
- DIMENSION PLAN NORTH
- DIMENSION PLAN SOUTH
- SITE & UTILITY PLAN
- GRADING PLAN
- STORM SEWER PLAN
- SOIL EROSION PLAN
- PERVIOUS/IMPERVIOUS PLAN NORTH
- PERVIOUS/IMPERVIOUS PLAN SOUTH
- PLAN & PROFILE
- PLAN & PROFILE
- EXISTING FEATURES PLAN
- SECC/DETAIL SHEET
- DETAIL SHEET

CLIENT:
 OKEMOS POINT III, LLC
 P.O. BOX 523
 GRAND LEDGE, MI 48837
 PH: (517) 290-4650

ENGINEER/SURVEYOR:
 KEBS, INC.
 2116 HASLETT RD.
 HASLETT, MI 48840
 PH: (517) 339-1014
 FAX: (517) 339-8047

REVISIONS

3-10-23 SUBMITTAL	
8-10-23 TRV REV	
10-17-23 SUP	

KEBS, INC. KYES ENGINEERING
 BRYAN LAND SURVEYS
 2116 HASLETT ROAD, HASLETT, MI 48840
 PH. 517-339-1014 FAX. 517-339-8047
 Marshall Office
 Ph. 269-781-9800

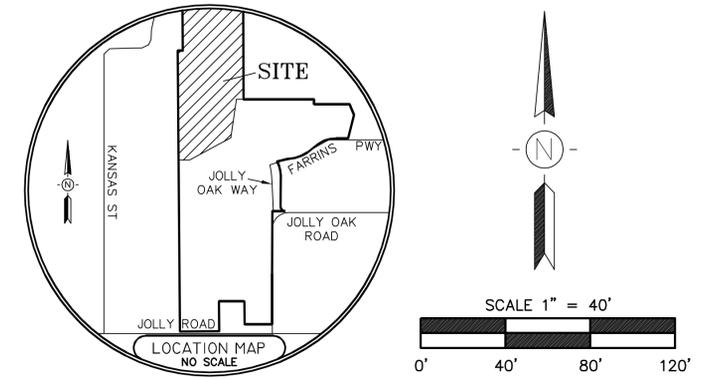
Elevation Ph 4
 COVER SHEET

SCALE: 1" = 120' DESIGNER: APPROVED BY:
 DATE: 6-5-19 PROJECT MGR. SHEET 1 OF 14
 AUTHORIZED BY: JWK JOB #:
 OKEMOS POINT III, LLC 93644

10/17/23

CONSTRUCTION PLANS FOR: Elevation Ph 4

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



PARKING

GENERAL PARKING SPACES	= 204
CARPORT SPACES	= 127
GARAGE SPACES	= 27
B/F SPACES	= 11
TOTAL THIS SHEET	= 369 SPACES

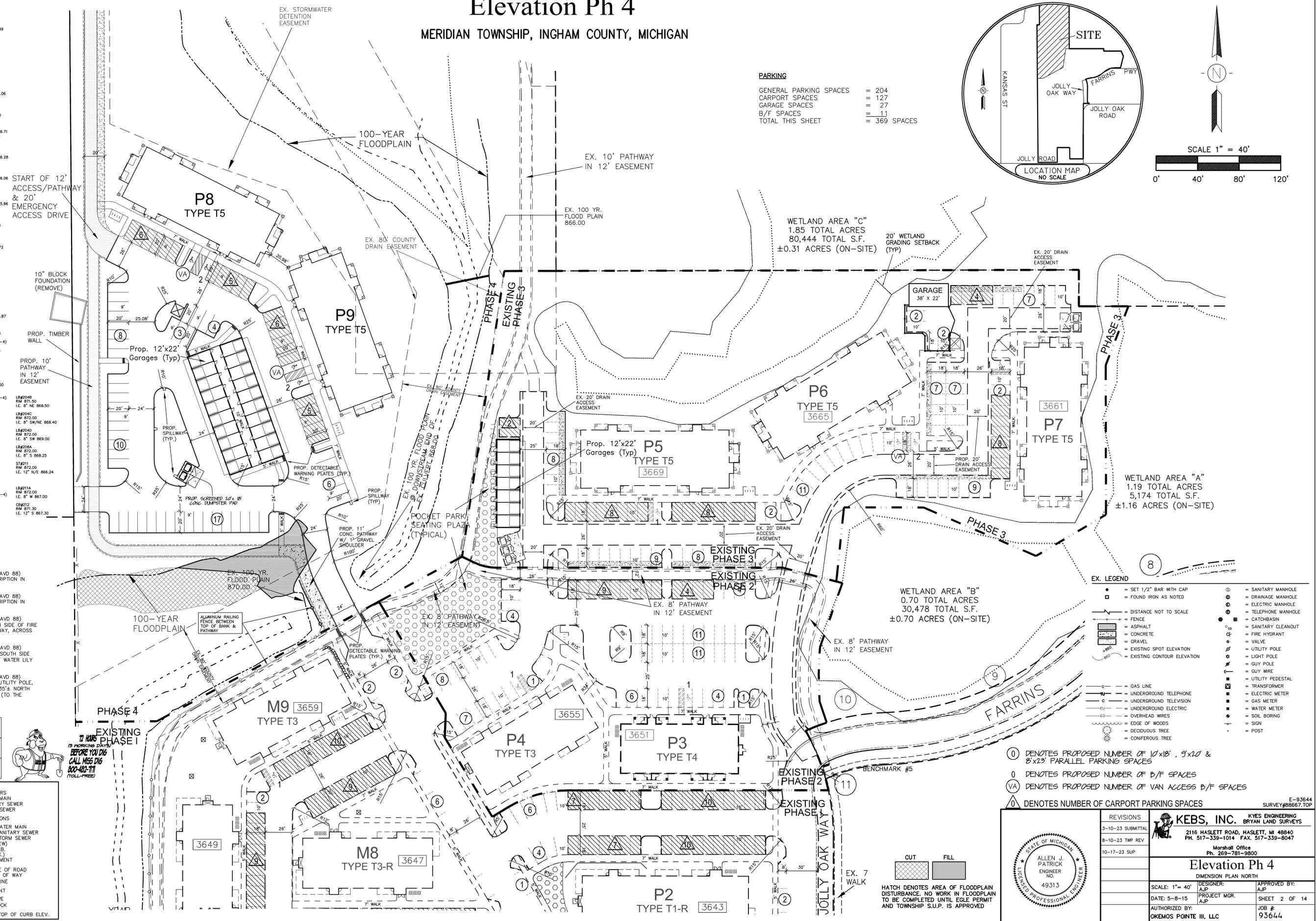
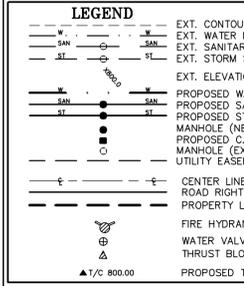
- EX. INVENTORY:**
- SANITARY MANHOLE #1
 - TYCAS 873.59
 - 12" CONC. N - 861.54
 - 8" CONC. SW - 861.77
 - CATCH BASIN #1
 - INLET - 875.49
 - CATCH BASIN #2
 - INLET - 875.59
 - STORM MANHOLE #3
 - TOC - 872.67
 - LS#128A
 - T/CAS 874.00
 - 18" CONC. WEST - 864.89
 - 12" CONC. NE - 866.78
 - 18" CONC. EAST - 864.89
 - CS#129
 - T/W 872.80
 - 12" CONC. NORTH - 867.97
 - 12" CONC. SOUTH - 867.49
 - 12" CONC. SOUTH - 867.75
 - CATCH BASIN #5
 - INLET - 871.30
 - 12" CONC. SW - 867.31
 - 12" CONC. SOUTH - 867.57
 - LS#200
 - T/CAS 871.00
 - 18" CONC. NW - 864.08
 - 18" CONC. EAST - 864.16
 - 38" CONC. SOUTH - 864.14
 - 12" CONC. SE - 865.53
 - CATCH BASIN #5 (REDHIVE)
 - INLET - 873.75
 - 18" CONC. SW - 865.14
 - 18" CONC. NE/SW 866.28
 - 12" CONC. N - 868.40
 - CS#202
 - RM 872.40
 - 18" CONC. SW - 865.14
 - 18" CONC. NE/SW 866.28
 - 12" CONC. N - 868.40
 - CS#203
 - RM 871.30
 - 18" CONC. NE/SW 866.06
 - 12" CONC. N - 867.30
 - CS#204
 - RM 871.15
 - 18" CONC. NE/SW 865.86
 - 12" CONC. N - 867.30
 - ST#205
 - T/CAS 872.05
 - 18" CONC. NE/SW 865.86
 - 12" CONC. N - 867.30
 - CS#206 (CS-4)
 - T/C 871.25
 - 18" CONC. NE/SW 865.72
 - 12" CONC. S - 866.75
 - CS#207
 - T/C 871.75
 - 18" CONC. NE/SW 865.86
 - 12" CONC. N - 867.30
 - CS#208
 - T/C 871.25
 - 18" CONC. NE/SW 865.79
 - 12" CONC. S - 865.79
 - 18" CONC. NW - 862.77
 - CATCH BASIN #14
 - TOC - 873.00
 - 12" CONC. NE - 864.17
 - 12" CONC. NW - 867.00
 - 12" CONC. NE - 868.00
 - CS#209
 - T/C 871.75
 - 18" CONC. NE/SW 865.86
 - 12" CONC. N - 867.30
 - CS#210
 - T/C 872.55
 - 18" CONC. NE/SW 866.38
 - 12" CONC. N - 867.30
 - CS#213 (CDS2015-4)
 - T/C 871.80
 - 12" CONC. NE - 867.30
 - 12" CONC. SOUTH - 862.10
 - SANITARY MANHOLE #16
 - TOC - 860.83
 - 12" CONC. NORTH - 861.99
 - 12" CONC. SOUTH - 862.05
 - CATCH BASIN #17
 - INLET - 874.10
 - 8" TILE TW - 840.45
 - CATCH BASIN #20
 - INLET - 878.59
 - 12" CONC. SOUTH - 873.84
 - 18" CONC. WEST - 873.77
 - CATCH BASIN #21
 - INLET - 876.78
 - 18" CONC. EAST - 870.90
 - 8" PVC SE - 872.90
 - 12" PVC WEST - 871.10
 - CATCH BASIN #22
 - INLET - 880.02
 - 12" CONC. WEST - 875.77
 - CATCH BASIN #23
 - INLET - 880.16
 - 12" CONC. EAST - 875.81
 - CATCH BASIN #29
 - INLET - 875.05
 - 12" CONC. EAST - 869.35
 - 12" CONC. WEST - 869.20
 - CATCH BASIN #30
 - INLET - 870.06
 - 12" CONC. NORTH - 867.31
 - 24" CONC. NE - 867.31
 - 12" CONC. EAST - 867.41
 - 24" CONC. SOUTH - 867.42
 - SANITARY MANHOLE #31
 - TOC - 871.30
 - 12" CONC. NORTH - 859.48
 - 12" CONC. SOUTH - 859.52

- BENCHMARKS:**
- BENCHMARK #1 ELEVATION: 882.25 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 - BENCHMARK #2 ELEVATION: 881.86 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 - BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRINS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.
 - BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRINS PARKWAY, 50'± EASTERLY OF WATER LILY WAY.
 - BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
60D NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35'± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).

NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.



- EX. LEGEND**
- SET 1/2" BAR WITH CAP
 - FOUND IRON AS NOTED
 - DISTANCE NOT TO SCALE
 - FENCE
 - ASPHALT
 - CONCRETE
 - GRAVEL
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR ELEVATION
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - CATCHBASIN
 - SANITARY CLEANOUT
 - FIRE HYDRANT
 - VALVE
 - UTILITY POLE
 - LIGHT POLE
 - GUY POLE
 - GUY WIRE
 - UTILITY PEDESTAL
 - TRANSFORMER
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - SOIL BORING
 - SIGN
 - POST

REVISIONS

3-10-23 SUBMITTAL	
8-10-23 TWP REV	
10-17-23 SUP	

KEBS, INC. KYES ENGINEERING
BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

Marshall Office
Ph. 269-781-9800

Elevation Ph 4
DIMENSION PLAN NORTH

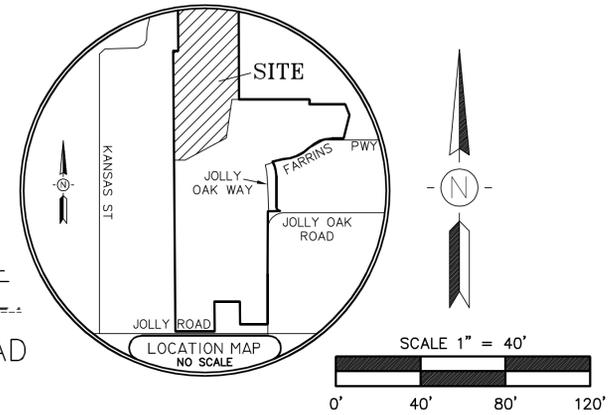
SCALE: 1" = 40' DESIGNER: AJP APPROVED BY: AJP
DATE: 5-8-15 PROJECT MGR. AJP SHEET 2 OF 14
AUTHORIZED BY: OKEMOS STATE III, LLC JOB #: 93644

STATE OF MICHIGAN
ALLEN J. PATRICK
ENGINEER NO. 49313
LICENSED PROFESSIONAL ENGINEER

E-93644
SURVEY#88667.TOP

CONSTRUCTION PLANS FOR: Elevation Ph 4

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



PARKING

GENERAL PARKING SPACES	= 348
CARPORT SPACES	= 237
B/F SPACES	= 21
TOTAL THIS SHEET	= 606 SPACES

- MUPUD WAIVERS GRANTED**
- 100' SETBACK FROM RESIDENTIAL ZONED PROPERTY REDUCED TO 92' FOR BUILDING M2
 - 50' WATER FEATURE SETBACK AND 5' NATURAL VEGETATION STRIP REQUIRED FROM OP OF BANK OF OPEN COUNTY DRAIN WAIVERS RANTED
 - M2 - 0' GRADING & PATHWAY SETBACK
15' BUILDING SETBACK
 - M3 - 0' GRADING & PATHWAY SETBACK
20' BUILDING SETBACK

EX. LEGEND

- = SET 1/2" BAR WITH CAP
- = FOUND IRON AS NOTED
- = DISTANCE NOT TO SCALE
- = FENCE
- = ASPHALT
- = CONCRETE
- = GRAVEL
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = GAS LINE
- = UNDERGROUND TELEPHONE
- = UNDERGROUND TELEVISION
- = OVERHEAD ELECTRIC
- = OVERHEAD WIRES
- = EDGE OF WOODS
- = DECIDUOUS TREE
- = CONIFEROUS TREE
- ⊙ = SANITARY MANHOLE
- ⊙ = DRAINAGE MANHOLE
- ⊙ = ELECTRIC MANHOLE
- ⊙ = TELEPHONE MANHOLE
- ⊙ = CATCHBASIN
- ⊙ = SANITARY CLEANOUT
- ⊙ = FIRE HYDRANT
- ⊙ = VALVE
- ⊙ = UTILITY POLE
- ⊙ = LIGHT POLE
- ⊙ = GUY POLE
- ⊙ = UTILITY PEDESTAL
- ⊙ = TRANSFORMER
- ⊙ = ELECTRIC METER
- ⊙ = GAS METER
- ⊙ = WATER METER
- ⊙ = SOIL BORING
- ⊙ = SIGN
- ⊙ = POST

BENCHMARKS:

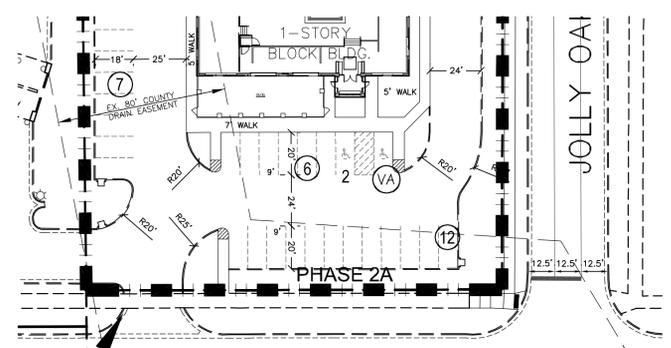
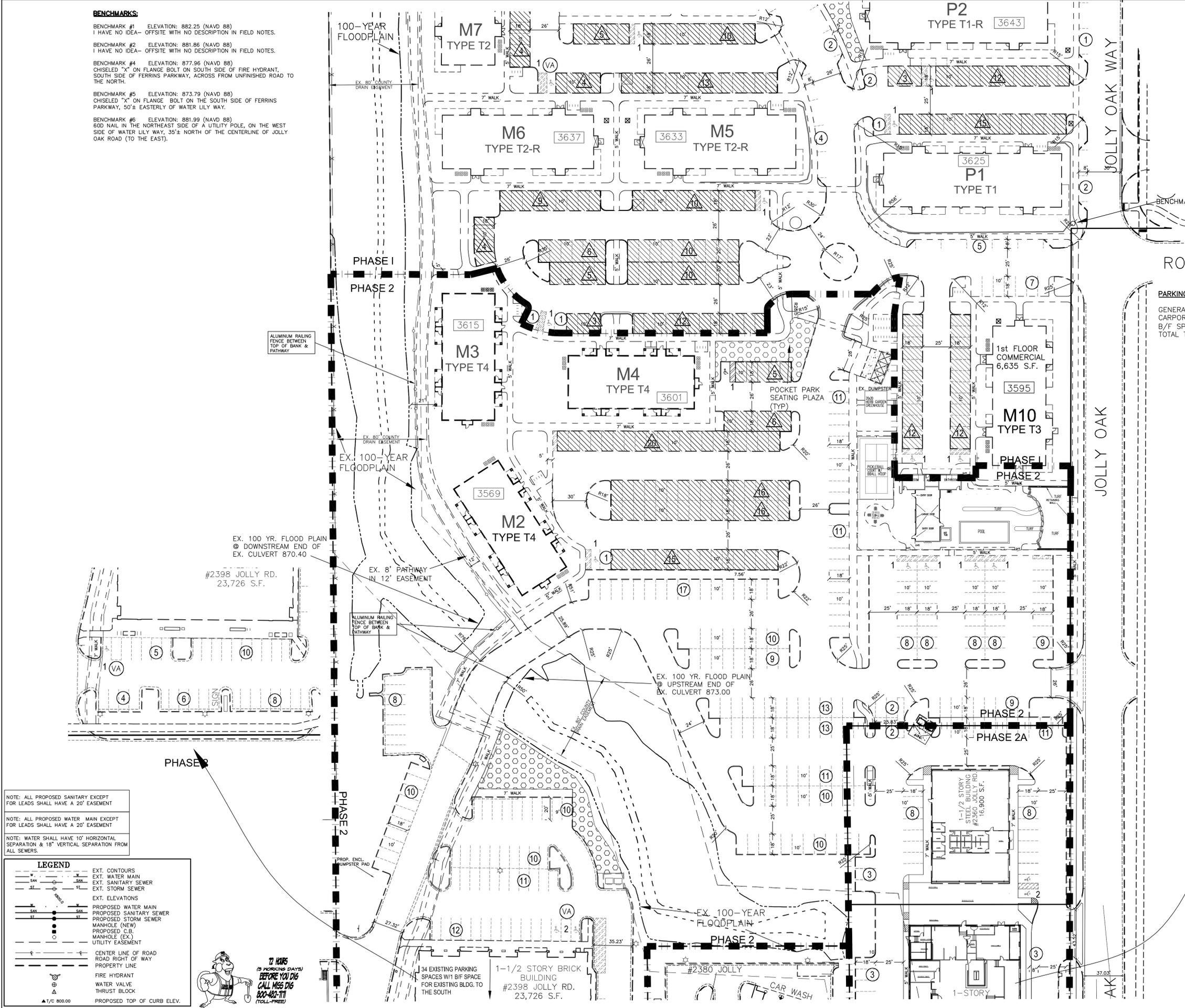
BENCHMARK #1 ELEVATION: 892.25 (NAVD 88)
I HAVE NO IDEA- OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.

BENCHMARK #2 ELEVATION: 881.86 (NAVD 88)
I HAVE NO IDEA- OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.

BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRINS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.

BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRINS PARKWAY, 50'± EASTERLY OF WATER LILY WAY.

BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
60D NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35'± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).



NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

LEGEND

—	EXT. CONTOURS
—	EXT. WATER MAIN
—	EXT. SANITARY SEWER
—	EXT. STORM SEWER
—	EXT. ELEVATIONS
—	PROPOSED WATER MAIN
—	PROPOSED SANITARY SEWER
—	PROPOSED STORM SEWER
—	MANHOLE (NEW)
—	PROPOSED C.B. MANHOLE (EX.)
—	UTILITY EASEMENT
—	CENTER LINE OF ROAD
—	ROAD RIGHT OF WAY
—	PROPERTY LINE
—	FIRE HYDRANT
—	WATER VALVE
—	THRUST BLOCK
—	PROPOSED TOP OF CURB ELEV.



34 EXISTING PARKING SPACES W/1 B/F SPACE FOR EXISTING BLDG. TO THE SOUTH

1-1/2 STORY BRICK BUILDING #2398 JOLLY RD. 23,726 S.F.

- DENOTES PROPOSED NUMBER OF 10'x18', 9'x10' & 8'x13' PARALLEL PARKING SPACES
- DENOTES PROPOSED NUMBER OF B/F SPACES
- VA DENOTES PROPOSED NUMBER OF VAN ACCESS B/F SPACES
- DENOTES NUMBER OF CARPORT PARKING SPACES

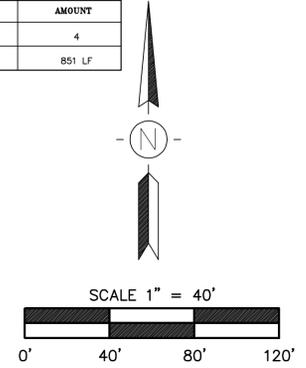
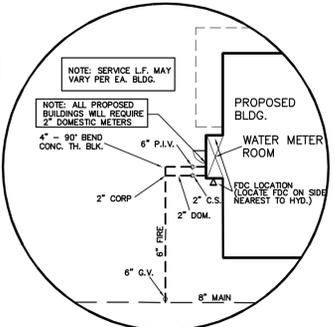
	REVISIONS 3-10-23 SUBMITTAL 8-10-23 TWP REV 10-17-23 SUP	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800 Elevation DIMENSION PLAN SOUTH	APPROVED BY: AJP SHEET 3 OF 14 JOB #: 93644	
	SCALE: 1" = 40' DATE: 5-8-15 AUTHORIZED BY: OKEMOS POINTE III, LLC			DESIGNER: AJP PROJECT MGR. AJP
	E-93644 SURVEY#88667.TOP			
	10/17/2023 11:42:31 AM ajpatrick			

CONSTRUCTION PLANS FOR: Elevation Ph 4

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

WATER MAIN QUANTITIES		
ITEM	SIZE	AMOUNT
CL 54 W.M.	8"	1,212 LF
CL 54 W.M.	6"	59 LF
FIRE LINE	6"	176 LF
DOMESTIC	2"	18 LF
HYDRANTS	6"	2
CURB STOPS	2"	2
CORPS	2"	2
8" GV	8"	1
6" GV	6"	6
TEE	8" x 6"	6
CONNECTIONS	8"	2
45" BEND	8"	4
22.5" BEND	8"	2
90" BEND	6"	4
45" BEND	6"	2
22.5" BEND	6"	3

SANITARY QUANTITIES		
ITEM	SIZE	AMOUNT
MH'S	4' DIA	4
PVC SDR 26	8"	851 LF



NOTES PER MERIDIAN TOWNSHIP REQUIREMENTS:
ABANDON ALL EX. WATER LEADS NOT BEING USED.
ABANDON ALL EX. SANITARY SEWER LEADS NOT BEING USED.
ALL EX. HYDRANTS IN VICINITY OF PROJECT SHALL BE RETROFITTED WITH STORZ NOZZLES.

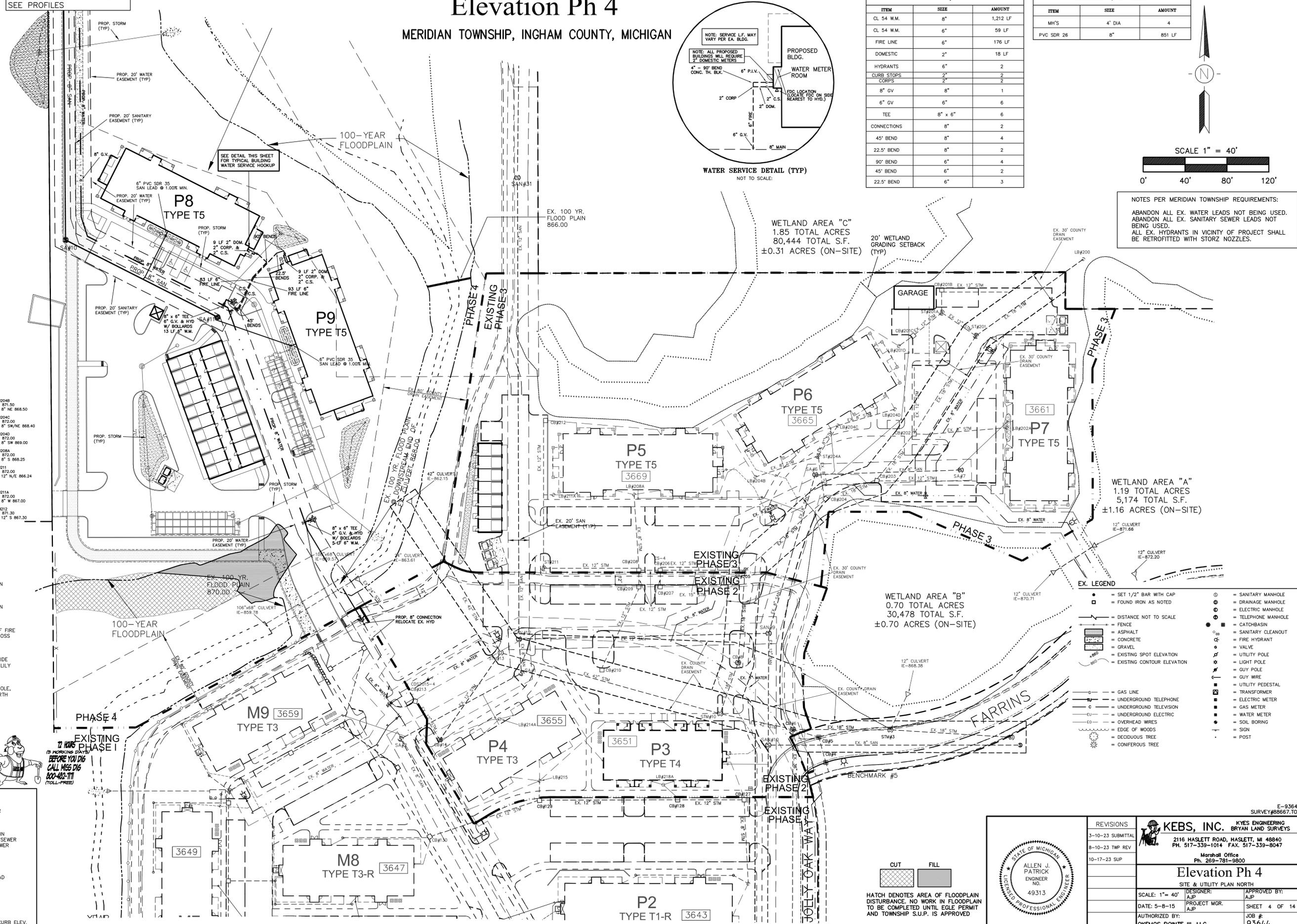
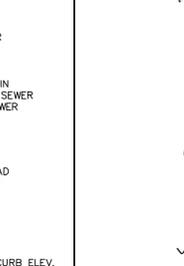
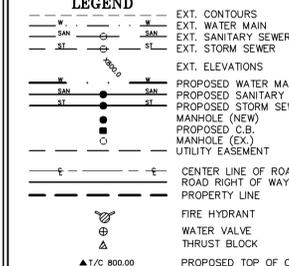
- EX. INVENTORY:**
- SANITARY MANHOLE #1
T/CAS 873.50
12" CONC. N - 861.54
12" CONC. SW - 861.77
 - CATCH BASIN #1
INLET - 875.49
 - CATCH BASIN #2
INLET - 875.59
 - STORM MANHOLE #3
T/C - 872.67
 - LB#28A
12" CONC. NE - 866.78
18" CONC. WEST - 864.89
12" CONC. NE - 866.78
18" CONC. EAST - 864.89
 - CATCH BASIN #4
INLET - 871.75
12" CONC. NORTH - 867.59
12" CONC. SOUTH - 867.75
 - CATCH BASIN #5
INLET - 871.37
12" CONC. SW - 867.31
12" CONC. SOUTH - 867.57
 - STORM MANHOLE #6
T/CAS 871.00
12" CONC. NW - 864.08
18" CONC. EAST - 864.16
36" CONC. SOUTH - 864.14
12" CONC. SE - 865.53
 - CATCH BASIN #9
(BEDHEAD)
INLET - 873.75
18" CONC. SW - 865.14
 - SANITARY MANHOLE #9
T/C - 872.15
12" CONC. WEST - 860.87
12" CONC. SOUTH - 861.00
12" CONC. NE - 862.30
 - STORM MANHOLE #10
RM - 874.50
12" RCP NE - INACCESSIBLE
18" RCP NE - 865.93
42" RCP NE - 864.10
12" RCP SE - 861.19
42" RCP NW - 864.08
 - SANITARY MANHOLE #10
T/C - 872.50
12" RCP NORTH - 861.19
12" RCP NORTH - 861.19
8" CLAY EAST - 861.34
 - SANITARY MANHOLE #12
T/C - 871.75
12" CONC. NORTH - 860.28
12" CONC. EAST - 860.45
12" CONC. SOUTH - 861.42
 - STORM MANHOLE #13
RM - 876.67
42" SC - 862.79
18" RCP SW - INACCESSIBLE
42" RCP NW - 862.77
 - CATCH BASIN #14
T/C - 873.00
12" CONC. NE - 864.17
12" CONC. WEST - 867.00
12" CONC. SOUTH - 862.10
 - SANITARY MANHOLE #15
T/C - 873.00
12" CONC. NORTH - 861.83
8" PVC SOUTH - 862.10
 - SANITARY MANHOLE #16
T/C - 871.50
12" CONC. NORTH - 861.99
12" CONC. SOUTH - 862.05
 - CATCH BASIN #17
INLET - 874.10
8" TILE NW - 840.45
 - CATCH BASIN #20
INLET - 878.59
12" CONC. SOUTH - 873.84
18" CONC. WEST - 873.71
 - CATCH BASIN #21
INLET - 876.78
18" CONC. EAST - 870.90
8" PVC SE - 872.90
12" PVC WEST - 871.10
 - CATCH BASIN #22
INLET - 880.02
12" CONC. SE - 875.70
12" CONC. WEST - 875.77
 - CATCH BASIN #23
INLET - 880.16
12" CONC. EAST - 875.81
 - CATCH BASIN #29
INLET - 875.05
12" CONC. EAST - 869.35
12" CONC. NW - 869.20
 - CATCH BASIN #30
INLET - 870.06
12" CONC. NORTH - 867.31
24" CONC. NE - 867.31
12" CONC. EAST - 867.41
24" CONC. SOUTH - 867.42
 - SANITARY MANHOLE #31
T/C - 871.30
12" CONC. NORTH - 859.48
12" CONC. SOUTH - 859.52

- BENCHMARKS:**
- BENCHMARK #1 ELEVATION: 882.25 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 - BENCHMARK #2 ELEVATION: 881.86 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 - BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRINS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.
 - BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRINS PARKWAY, 50'± EASTERLY OF WATER LILY WAY.
 - BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
60D NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35'± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).

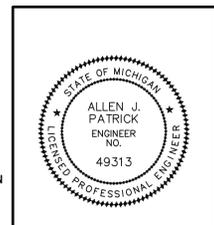
NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.



- EX. LEGEND**
- SET 1/2" BAR WITH CAP
 - FOUND IRON AS NOTED
 - DISTANCE NOT TO SCALE
 - FENCE
 - ASPHALT
 - CONCRETE
 - GRAVEL
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR ELEVATION
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - CATCHBASIN
 - SANITARY CLEANOUT
 - FIRE HYDRANT
 - VALVE
 - UTILITY POLE
 - LIGHT POLE
 - GUY POLE
 - GUY WIRE
 - UTILITY PEDESTAL
 - TRANSFORMER
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - SOIL BORING
 - SIGN
 - POST



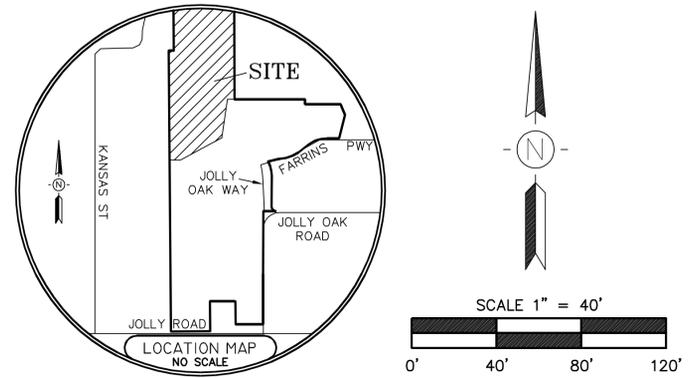
REVISIONS		KESB, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
3-10-23	SUBMITTAL	2116 HASLETT ROAD, HASLETT, MI 48840	PH. 517-339-1014 FAX. 517-339-8047
8-10-23	TWP REV	Marshall Office	Ph. 269-781-9800
10-17-23	SUP	Elevation Ph 4	
		SITE & UTILITY PLAN NORTH	
SCALE: 1" = 40'	DESIGNER: AJP	APPROVED BY: AJP	
DATE: 5-8-15	PROJECT MGR. AJP	SHEET 4 OF 14	
AUTHORIZED BY: OKEMOS POINTE III, LLC		JOB #: 93644	

CONSTRUCTION PLANS FOR: Elevation Ph 4

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

NOTE: ELEVATION CERTIFICATES WILL BE REQUIRED AFTER CONSTRUCTION OF THE BUILDINGS TO ENSURE COMPLIANCE WITH APPROVED SITE PLAN.

NOTE: 100 YR. DETENTION FOR THIS SITE PROVIDED IN SMITH DRAIN PONDS. REQUIREMENT FOR THIS PROJECT IS TO TREAT FIRST 1" OF RAINFALL FOR THE PHASE 4 SITE.



- EX. INVENTORY:**
- SANITARY MANHOLE#1
 - T/CAS 873.50
 - 12" CONC. N - 861.54
 - 8" CONC. SW - 861.77
 - CATCH BASIN #1
 - INLET - 875.49
 - CATCH BASIN #2
 - INLET - 875.59
 - STORM MANHOLE #3
 - TOC - 872.67
 - LB#28A
 - 12" CONC. NE - 866.78
 - 18" CONC. WEST - 864.89
 - 12" CONC. NE - 866.78
 - 18" CONC. EAST - 864.89
 - CATCH BASIN #4
 - INLET - 871.75
 - 12" CONC. NORTH - 867.59
 - 12" CONC. SOUTH - 867.75
 - CATCH BASIN #5
 - INLET - 871.30
 - 12" CONC. SW - 867.31
 - 12" CONC. SOUTH - 867.57
 - STORM MANHOLE #6
 - TOC - 872.15
 - 42" CONC. NW - 864.08
 - 18" CONC. EAST - 864.16
 - 36" CONC. SOUTH - 864.14
 - 12" CONC. SE - 865.53
 - CATCH BASIN #8
 - (REDHILL)
 - CB#202
 - RM 872.40
 - 18" CONC. SW - 865.14
 - 18" NE/SW 866.28
 - 12" CONC. SOUTH - 861.00
 - 12" NE 862.30
 - 15" NE/SW 868.06
 - 12" CONC. SOUTH - 867.50
 - STORM MANHOLE #10
 - RM - 874.50
 - 12" RCP NE - INACCESSIBLE
 - 18" RCP NE - 864.93
 - 12" RCP EAST - 864.10
 - 12" RCP SE - 861.19
 - 42" RCP NW - 864.08
 - ST#205
 - T/CAS 872.05
 - 15" W 865.46
 - 18" NE 865.48
 - 18" S 865.46
 - CB#206 (CS-1)
 - T/C 871.25
 - 15" E/W 865.72
 - 12" S 866.75
 - CB#207
 - T/C 871.75
 - 15" E/W 865.87
 - 12" CONC. SOUTH - 873.84
 - 18" CONC. WEST - 873.71
 - CATCH BASIN #14
 - TOC - 872.00
 - 12" CONC. NE - 864.17
 - 12" NW 867.00
 - 12" NE 868.00
 - CATCH BASIN #15
 - TOC - 873.85
 - 12" CONC. NORTH - 861.83
 - 8" PVC SOUTH - 862.10
 - SANITARY MANHOLE #16
 - TOC - 860.83
 - 12" CONC. NORTH - 861.99
 - 12" CONC. SOUTH - 862.05
 - CATCH BASIN #17
 - INLET - 874.10
 - 8" CONC. EAST - 873.50
 - 8" S/NE 869.50
 - CATCH BASIN #18
 - T/CAS 872.50
 - 12" CONC. SOUTH - 873.84
 - 18" CONC. WEST - 873.71
 - CATCH BASIN #21
 - INLET - 876.78
 - 15" CONC. EAST - 870.90
 - 8" PVC SE - 872.90
 - 8" PVC WEST - 871.10
 - CATCH BASIN #22
 - RM 872.70
 - 12" CONC. SE - 872.70
 - 12" CONC. WEST - 875.77
 - CATCH BASIN #23
 - RM 872.30
 - 12" CONC. EAST - 876.60
 - 12" CONC. EAST - 875.81
 - CATCH BASIN #29
 - INLET - 875.05
 - 12" CONC. EAST - 869.35
 - 12" CONC. WEST - 869.20
 - 8" W 871.00
 - CATCH BASIN #30
 - INLET - 870.06
 - 12" CONC. NORTH - 867.31
 - 24" CONC. NE - 867.31
 - 12" CONC. EAST - 867.41
 - 24" CONC. SOUTH - 867.42
 - SANITARY MANHOLE #31
 - TOC - 871.35
 - 12" CONC. NORTH - 859.48
 - 12" CONC. SOUTH - 859.52

- EX. STORM (PHASE 1, 2, & 3)**
- CB#127
 - T/W 873.25
 - 12" CONC. N - 861.54
 - 8" CONC. SW - 861.77
 - CB#128
 - T/W 873.50
 - 12" CONC. NE - 866.78
 - 18" CONC. WEST - 864.89
 - 12" CONC. NE - 866.78
 - 18" CONC. EAST - 864.89
 - CB#129
 - T/W 872.80
 - 12" CONC. NORTH - 867.59
 - 12" CONC. SOUTH - 867.75
 - CB#130
 - T/W 873.45
 - 12" NW/E 867.06
 - 12" CONC. SOUTH - 867.57
 - LB#200
 - T/CAS 871.00
 - 18" SW 867.60
 - 42" CONC. NW - 864.08
 - 18" CONC. EAST - 864.16
 - 36" CONC. SOUTH - 864.14
 - 12" CONC. SE - 865.53
 - RM 873.85
 - 15" SW/NE 866.71
 - 12" NE 867.75
 - CB#202
 - RM 872.40
 - 18" CONC. SW - 865.14
 - 18" NE/SW 866.28
 - 12" CONC. SOUTH - 861.00
 - 12" NE 862.30
 - 15" NE/SW 868.06
 - 12" CONC. SOUTH - 867.50
 - CB#204
 - RM 871.15
 - 12" RCP NE - INACCESSIBLE
 - 18" RCP NE - 864.93
 - 12" RCP EAST - 864.10
 - 12" RCP SE - 861.19
 - 42" RCP NW - 864.08
 - T/CAS 872.05
 - 15" W 865.46
 - 18" NE 865.48
 - 18" S 865.46
 - CB#206 (CS-1)
 - T/C 871.25
 - 15" E/W 865.72
 - 12" S 866.75
 - CB#207
 - T/C 871.75
 - 15" E/W 865.87
 - 12" CONC. SOUTH - 873.84
 - 18" CONC. WEST - 873.71
 - CB#208
 - T/C 871.25
 - 15" E/W 865.79
 - 12" S 865.79
 - 8" NE 868.00
 - CB#209
 - T/C 871.75
 - 15" E/W 865.87
 - 12" CONC. SOUTH - 873.84
 - 18" CONC. WEST - 873.71
 - CB#210
 - T/C 872.25
 - 15" E/W 866.38
 - 8" PVC SOUTH - 862.10
 - CB#213 (CDS2015-4)
 - T/C 871.80
 - 12" CONC. NORTH - 861.99
 - 12" CONC. SOUTH - 862.05
 - LB#213A
 - T/CAS 873.50
 - 18" S/NE 869.75
 - 8" CONC. EAST - 873.50
 - 8" S/NE 869.50
 - ST#201A (CDS2015-4)
 - RM 873.50
 - 12" S/NE 868.50
 - 15" CONC. EAST - 870.90
 - 8" PVC SE - 872.90
 - 8" PVC WEST - 871.10
 - CB#201B
 - RM 872.70
 - 12" CONC. SE - 872.70
 - 12" CONC. WEST - 875.77
 - CB#201C
 - RM 872.30
 - 12" CONC. EAST - 876.60
 - 12" CONC. EAST - 875.81
 - CB#210
 - RM 872.00
 - 12" CONC. EAST - 869.35
 - 12" CONC. WEST - 869.20
 - 8" W 871.00
 - CB#211A
 - INLET - 870.06
 - 12" CONC. NORTH - 867.31
 - 24" CONC. NE - 867.31
 - 12" CONC. EAST - 867.41
 - 24" CONC. SOUTH - 867.42
 - CB#212
 - RM 871.30
 - 12" CONC. NORTH - 859.48
 - 12" CONC. SOUTH - 859.52

- EX. LEGEND**
- = SET 1/2" BAR WITH CAP
 - = FOUND IRON AS NOTED
 - = SANITARY MANHOLE
 - ⊙ = DRAINAGE MANHOLE
 - ⊙ = ELECTRIC MANHOLE
 - ⊙ = TELEPHONE MANHOLE
 - ⊙ = CATCHBASIN
 - ⊙ = SANITARY CLEANOUT
 - ⊙ = FIRE HYDRANT
 - ⊙ = VALVE
 - ⊙ = UTILITY POLE
 - ⊙ = LIGHT POLE
 - ⊙ = GUY POLE
 - ⊙ = GUY WIRE
 - ⊙ = UTILITY PEDESTAL
 - ⊙ = TRANSFORMER
 - ⊙ = ELECTRIC METER
 - ⊙ = GAS METER
 - ⊙ = WATER METER
 - ⊙ = SOIL BORING
 - ⊙ = SIGN
 - ⊙ = POST

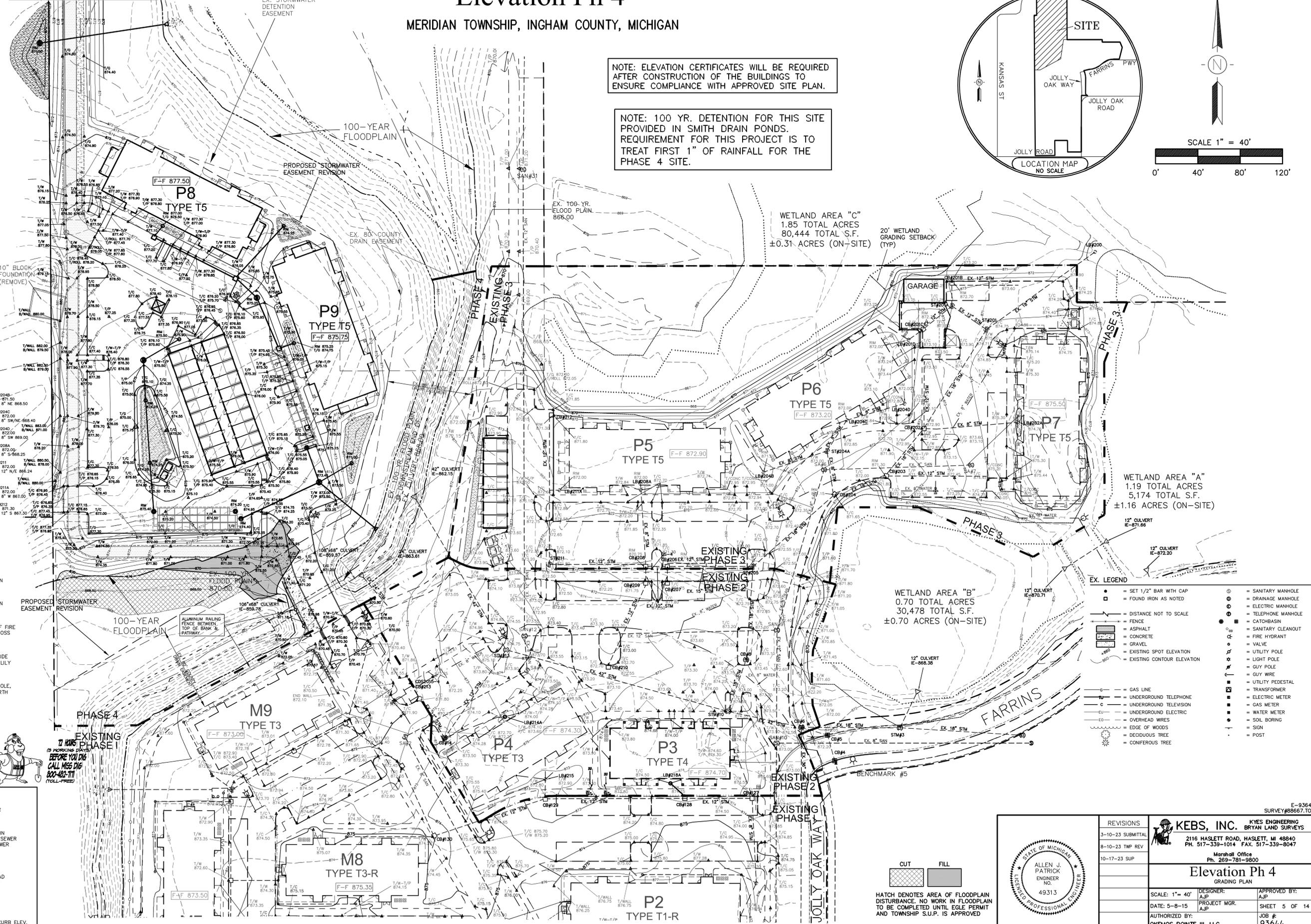
- EX. LEGEND**
- = GAS LINE
 - = UNDERGROUND TELEPHONE
 - = UNDERGROUND TELEVISION
 - = UNDERGROUND ELECTRIC
 - = OVERHEAD WIRES
 - = EDGE OF WOODS
 - = DECIDUOUS TREE
 - = CONIFEROUS TREE

- EX. LEGEND**
- = EXT. CONTOURS
 - = EXT. WATER MAIN
 - = EXT. SANITARY SEWER
 - = EXT. STORM SEWER
 - = EXT. ELEVATIONS
 - = PROPOSED WATER MAIN
 - = PROPOSED SANITARY SEWER
 - = PROPOSED STORM SEWER
 - = MANHOLE (NEW)
 - = PROPOSED C.B. MANHOLE (EX.)
 - = UTILITY EASEMENT
 - = CENTER LINE OF ROAD
 - = ROAD RIGHT OF WAY
 - = PROPERTY LINE
 - = FIRE HYDRANT
 - = WATER VALVE
 - = THRUST BLOCK
 - = PROPOSED TOP OF CURB ELEV.

- EX. LEGEND**
- = 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.
 - = 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.
 - = 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

- EX. LEGEND**
- = 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.
 - = 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.
 - = 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

NOTE: SEE PROFILES FOR GRADING OF WATER, SANITARY, & PATHWAY EXTENSIONS IN KANSAS ST



BENCHMARK #1 ELEVATION: 882.25 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.

BENCHMARK #2 ELEVATION: 881.86 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.

BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRIS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.

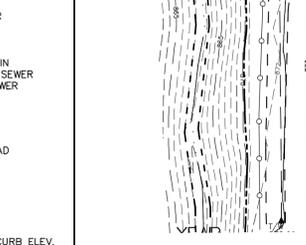
BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRIS PARKWAY, 50'± EASTERLY OF WATER LILY WAY.

BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
60D NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35'± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).

NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.



WETLAND AREA "C"
1.85 TOTAL ACRES
80,444 TOTAL S.F.
±0.31 ACRES (ON-SITE)

WETLAND AREA "A"
1.19 TOTAL ACRES
5,174 TOTAL S.F.
±1.16 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

WETLAND AREA "B"
0.70 TOTAL ACRES
30,478 TOTAL S.F.
±0.70 ACRES (ON-SITE)

REVISIONS		KESB, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
3-10-23	SUBMITTAL	2116 HASLETT ROAD, HASLETT, MI 48840	PH. 517-339-1014 FAX. 517-339-8047
8-10-23	TWP REV	Marshall Office	Ph. 269-781-9800
10-17-23	SUP	Elevation Ph 4 GRADING PLAN	
SCALE: 1" = 40'	DESIGNER: A.J.P.	APPROVED BY: A.J.P.	SHEET 5 OF 14
DATE: 5-8-15	PROJECT MGR. A.J.P.	JOB #: 93644	
AUTHORIZED BY: OKEMOS POINTE III, LLC			



HATCH DENOTES AREA OF FLOODPLAIN DISTURBANCE. NO WORK IN FLOODPLAIN TO BE COMPLETED UNTIL EGE PERMIT AND TOWNSHIP S.U.P. IS APPROVED

CONSTRUCTION PLANS FOR: Elevation Ph 4

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

PROPOSED STORM INVENTORY:

LB#401
RIM 871.00
T/G 870.00
I.E. 15° E 866.00

CB#402
RIM 876.50
I.E. 12° SE/NE 872.00

LB#402B
RIM 877.00
T/G 876.50
I.E. 12° SW 872.25

CB#403
RIM 875.05
I.E. 12° NW/SE/NE 871.05

LB#404
RIM 875.25
I.E. 12° NW/SE 870.91

LB#404A
RIM 874.25
T/G 873.75
I.E. 12° SW 871.25

CB#405
RIM 874.80
I.E. 12° NW/SE/NE 869.25

LB#405A
RIM 875.00
I.E. 12° SW 870.50

CB#406
RIM 874.65
I.E. 12° NW/SE 869.30

ST#406A
RIM 875.25
I.E. 6° N 871.86
I.E. 6° SW 871.78
I.E. 6° SW 868.36
I.E. 12° SE 868.36

ST#407
RIM 873.45
I.E. 12° NW/SW/NE 867.49
I.E. 15° SE 867.49

LB#407A
RIM 871.00
T/G 870.25
I.E. 12° SW 867.75

ST#408
RIM 875.15
I.E. 12° NE/S 871.15

LB#408A
RIM 875.50
I.E. 12° SW 871.50

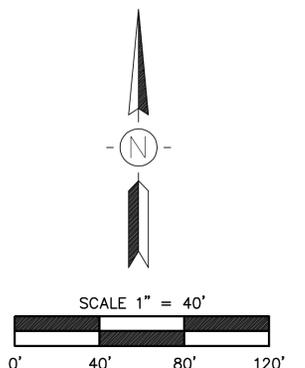
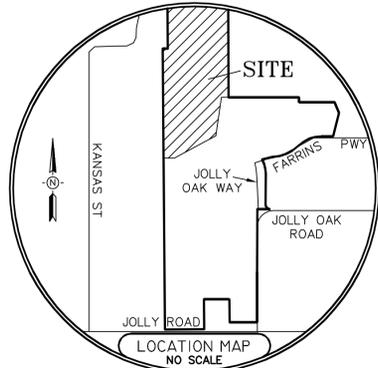
LB#409
RIM 874.25
T/G 873.25
I.E. 12° N/S 869.75

LB#410
RIM 874.25
T/G 873.25
I.E. 12° N/S 869.45

ST#410A
RIM 875.40
I.E. 12° N 869.20
I.E. 12° E 868.86
I.E. 12° S 870.95

CB#411
RIM 874.20
I.E. 12° W 868.82

ST#411A
RIM 874.40
I.E. 6° S 871.33
I.E. 6° W 871.40
I.E. 6° S 867.91
I.E. 12° NE 867.91



EX. INVENTORY:

SANITARY MANHOLE #1
T/CAS 873.50
12" CONC. N - 861.54
6" CONC. SW - 861.77

CATCH BASIN #1
INLET - 875.49

CATCH BASIN #2
INLET - 873.50

STORM MANHOLE #3
T/C - 872.67
12" CONC. NE - 866.78
12" CONC. WEST - 864.89
12" CONC. NE - 866.78
18" CONC. EAST - 864.89

CATCH BASIN #4
INLET - 871.75
12" CONC. NORTH - 867.59
12" CONC. SOUTH - 867.75

CATCH BASIN #5
INLET - 871.30
12" CONC. SW - 867.31
12" CONC. SOUTH - 867.57

STORM MANHOLE #6
T/C - 872.15
18" CONC. EAST - 864.16
36" CONC. SOUTH - 864.14
12" CONC. SE - 865.53

CATCH BASIN #8
(REDHIVE)
INLET - 873.75
18" CONC. SW - 865.14

SANITARY MANHOLE #9
T/C - 872.15
12" CONC. WEST - 860.87
12" CONC. SOUTH - 861.00
12" CONC. NE - 862.30

STORM MANHOLE #10
RIM - 874.50
12" RCP NE - INACCESSIBLE
18" RCP NE - 864.93
42" RCP EAST - 864.10
12" RCP SE - 861.19
42" RCP NW - 864.08

SANITARY MANHOLE #10
T/C - 872.50
12" RCP NORTH - 861.19
12" RCP NORTH - 861.19
8" CLAY EAST - 861.34

SANITARY MANHOLE #12
T/C - 873.75
12" CONC. NORTH - 860.28
12" CONC. EAST - 860.45
8" PVC SOUTH - 861.42

STORM MANHOLE #13
RIM - 876.67
42" SC - 862.79
18" RCP SW - INACCESSIBLE
42" RCP NW - 862.77

CATCH BASIN #14
T/C - 873.00
12" CONC. NE - 864.17
I.E. 12° NW 867.00
I.E. 8° NE 868.00

CATCH BASIN #15
T/C - 873.00
12" CONC. NORTH - 861.83
8" PVC SOUTH - 862.10

SANITARY MANHOLE #16
T/C - 873.00
12" CONC. NORTH - 861.99
12" CONC. SOUTH - 862.05

CATCH BASIN #17
INLET - 874.10
8" TILE NW - 840.45

CATCH BASIN #20
INLET - 878.59
12" CONC. SOUTH - 873.84
18" CONC. WEST - 873.71

CATCH BASIN #21
INLET - 876.78
18" CONC. EAST - 870.90
8" PVC SE - 872.90
12" PVC WEST - 871.10

CATCH BASIN #22
INLET - 880.02
12" CONC. SE - 875.70
12" CONC. WEST - 875.77

CATCH BASIN #23
INLET - 880.16
12" CONC. EAST - 875.81

CATCH BASIN #29
INLET - 875.05
12" CONC. EAST - 869.35
12" CONC. NW - 869.20

CATCH BASIN #30
INLET - 870.06
12" CONC. NORTH - 867.31
24" CONC. NE - 867.31
12" CONC. EAST - 867.41
24" CONC. SOUTH - 867.42

SANITARY MANHOLE #31
T/C - 871.30
12" CONC. NORTH - 859.48
12" CONC. SOUTH - 859.52

EX. STORM (PHASE 1, 2, & 3)

CB#127
T/W 873.25
I.E. 12° N 868.75
I.E. 8° S 868.75
I.E. 4° N 869.25

CB#128
T/W 873.50
I.E. 12° E/W 868.49
I.E. 6° N 869.50

LB#128A
T/CAS 874.00
I.E. 4° S 874.00

CB#129
T/W 872.80
I.E. 12° E 867.87
I.E. 12° W 867.49
I.E. 8° N 868.50

CB#130
T/W 873.45
I.E. 12° NW/E 867.06
I.E. 4° W 869.30

LB#200
T/CAS 871.00
I.E. 18° SW 867.60

ST#200
RIM 873.85
I.E. 18° SW/NE 866.71
I.E. 12° NW 866.71

CB#202
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS 873.50
I.E. 8° W 869.75

LB#214
T/CAS 872.50
I.E. 8° S/NE 869.50

ST#201A (CDS2015-4)
RIM 873.40
I.E. 12° SE 866.87
I.E. 12° N 868.15
I.E. 12° SW 868.15

CB#201B
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

LB#210
RIM 872.00
I.E. 8° NE 869.00

LB#202A
RIM 874.75
I.E. 8° W 871.00

ST#204A (CDS2015-4)
RIM 874.00
I.E. 8° S 867.82
I.E. 8° S 867.82
I.E. 8° S 867.82

CB#212
RIM 871.30
I.E. 12° S 867.30

LB#208B
RIM 872.50
I.E. 8° NE 866.50

LB#204C
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

ST#211
RIM 872.00
I.E. 12° N/E 866.24

LB#211A
RIM 872.00
I.E. 8° W 867.00

CB#212
RIM 871.30
I.E. 12° S 867.30

EX. SANITARY

CB#201
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS 873.50
I.E. 8° W 869.75

LB#214
T/CAS 872.50
I.E. 8° S/NE 869.50

ST#201A (CDS2015-4)
RIM 873.40
I.E. 12° SE 866.87
I.E. 12° N 868.15
I.E. 12° SW 868.15

CB#201B
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

LB#210
RIM 872.00
I.E. 8° NE 869.00

LB#202A
RIM 874.75
I.E. 8° W 871.00

ST#204A (CDS2015-4)
RIM 874.00
I.E. 8° S 867.82
I.E. 8° S 867.82
I.E. 8° S 867.82

CB#212
RIM 871.30
I.E. 12° S 867.30

LB#208B
RIM 872.50
I.E. 8° NE 866.50

LB#204C
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

ST#211
RIM 872.00
I.E. 12° N/E 866.24

LB#211A
RIM 872.00
I.E. 8° W 867.00

CB#212
RIM 871.30
I.E. 12° S 867.30

EX. SANITARY

CB#201
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS 873.50
I.E. 8° W 869.75

LB#214
T/CAS 872.50
I.E. 8° S/NE 869.50

ST#201A (CDS2015-4)
RIM 873.40
I.E. 12° SE 866.87
I.E. 12° N 868.15
I.E. 12° SW 868.15

CB#201B
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

LB#210
RIM 872.00
I.E. 8° NE 869.00

LB#202A
RIM 874.75
I.E. 8° W 871.00

ST#204A (CDS2015-4)
RIM 874.00
I.E. 8° S 867.82
I.E. 8° S 867.82
I.E. 8° S 867.82

CB#212
RIM 871.30
I.E. 12° S 867.30

LB#208B
RIM 872.50
I.E. 8° NE 866.50

LB#204C
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

ST#211
RIM 872.00
I.E. 12° N/E 866.24

LB#211A
RIM 872.00
I.E. 8° W 867.00

CB#212
RIM 871.30
I.E. 12° S 867.30

EX. SANITARY

CB#201
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS 873.50
I.E. 8° W 869.75

LB#214
T/CAS 872.50
I.E. 8° S/NE 869.50

ST#201A (CDS2015-4)
RIM 873.40
I.E. 12° SE 866.87
I.E. 12° N 868.15
I.E. 12° SW 868.15

CB#201B
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

LB#210
RIM 872.00
I.E. 8° NE 869.00

LB#202A
RIM 874.75
I.E. 8° W 871.00

ST#204A (CDS2015-4)
RIM 874.00
I.E. 8° S 867.82
I.E. 8° S 867.82
I.E. 8° S 867.82

CB#212
RIM 871.30
I.E. 12° S 867.30

LB#208B
RIM 872.50
I.E. 8° NE 866.50

LB#204C
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

ST#211
RIM 872.00
I.E. 12° N/E 866.24

LB#211A
RIM 872.00
I.E. 8° W 867.00

CB#212
RIM 871.30
I.E. 12° S 867.30

EX. SANITARY

CB#201
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS 873.50
I.E. 8° W 869.75

LB#214
T/CAS 872.50
I.E. 8° S/NE 869.50

ST#201A (CDS2015-4)
RIM 873.40
I.E. 12° SE 866.87
I.E. 12° N 868.15
I.E. 12° SW 868.15

CB#201B
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

LB#210
RIM 872.00
I.E. 8° NE 869.00

LB#202A
RIM 874.75
I.E. 8° W 871.00

ST#204A (CDS2015-4)
RIM 874.00
I.E. 8° S 867.82
I.E. 8° S 867.82
I.E. 8° S 867.82

CB#212
RIM 871.30
I.E. 12° S 867.30

LB#208B
RIM 872.50
I.E. 8° NE 866.50

LB#204C
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

ST#211
RIM 872.00
I.E. 12° N/E 866.24

LB#211A
RIM 872.00
I.E. 8° W 867.00

CB#212
RIM 871.30
I.E. 12° S 867.30

EX. SANITARY

CB#201
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS 873.50
I.E. 8° W 869.75

LB#214
T/CAS 872.50
I.E. 8° S/NE 869.50

ST#201A (CDS2015-4)
RIM 873.40
I.E. 12° SE 866.87
I.E. 12° N 868.15
I.E. 12° SW 868.15

CB#201B
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

LB#210
RIM 872.00
I.E. 8° NE 869.00

LB#202A
RIM 874.75
I.E. 8° W 871.00

ST#204A (CDS2015-4)
RIM 874.00
I.E. 8° S 867.82
I.E. 8° S 867.82
I.E. 8° S 867.82

CB#212
RIM 871.30
I.E. 12° S 867.30

LB#208B
RIM 872.50
I.E. 8° NE 866.50

LB#204C
RIM 872.00
I.E. 8° SW/NE 868.40

LB#204D
RIM 872.00
I.E. 8° SW 869.00

LB#208A
RIM 872.00
I.E. 8° SW 868.60
I.E. 12° NE 868.35

ST#211
RIM 872.00
I.E. 12° N/E 866.24

LB#211A
RIM 872.00
I.E. 8° W 867.00

CB#212
RIM 871.30
I.E. 12° S 867.30

EX. SANITARY

CB#201
RIM 872.40
I.E. 8° E 868.60
I.E. 18° NE/SW 866.28
I.E. 12° N 868.40

CB#203
RIM 871.30
I.E. 18° NE/SW 868.06
I.E. 12° E 867.30

CB#204
RIM 871.15
I.E. 8° E 866.45
I.E. 18° NE/SW 865.86

ST#205
T/CAS 872.05
I.E. 15° W 865.46
I.E. 18° NE 865.48
I.E. 18° NE 865.48

CB#206 (CS-4)
T/C 871.25
I.E. 12° E/W 865.72
I.E. 12° S 866.75

CB#207
T/C 871.75
I.E. 12° N 867.25

CB#208
T/C 871.25
I.E. 10° E 865.79
I.E. 12° S 865.79
I.E. 8° N 867.05
I.E. 12° W 865.79

CB#209
T/C 871.75
I.E. 12° N/W 865.87

CB#210
T/C 872.55
I.E. 12° NE 866.38

CB#213 (CDS2015-4)
T/C 871.80
I.E. 12° SE 867.30

LB#213A
T/CAS

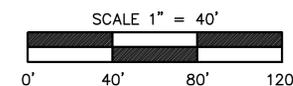
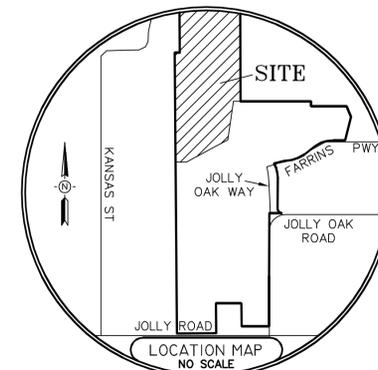
CONSTRUCTION PLANS FOR: Elevation Ph 4

MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

234,341 S.F.
(DETENTION AREA)

MAX. ALLOWED IMPERVIOUS AREA = 70%
PROPOSED PERVIOUS/IMPERVIOUS AREAS:
TOTAL PROPERTY = 1,699,859 S.F.
TOTAL PERVIOUS = 938,214 S.F.
- 1/2 OF DETENTION = 234,341/2 = (-117,170 S.F.)
NET PERVIOUS = 821,044 S.F. = 48.30%
NET IMPERVIOUS = 878,815 SF = 51.70%

1,699,859 S.F.
39.02 AC.



- EX. INVENTORY:**
- SANITARY MANHOLE #1
T/CAS 873.59
12" CONC. N - 861.54
6" CONC. SW - 861.77
 - CATCH BASIN #1
INLET - 875.49
 - CATCH BASIN #2
INLET - 873.59
 - STORM MANHOLE #3
TOC - 872.67
 - LB#28A
12" CONC. NE - 866.78
18" CONC. WEST - 864.89
12" CONC. NE - 866.78
18" CONC. EAST - 864.89
 - CATCH BASIN #4
INLET - 871.75
12" CONC. NORTH - 867.59
12" CONC. SOUTH - 867.75
 - CATCH BASIN #5
INLET - 871.31
12" CONC. SW - 867.31
12" CONC. SOUTH - 867.57
 - STORM MANHOLE #6
TOC - 872.15
42" CONC. NW - 864.08
18" CONC. EAST - 864.19
36" CONC. SOUTH - 864.14
12" CONC. SE - 865.53
 - CATCH BASIN #9
(BEDHIVE)
INLET - 873.75
18" CONC. SW - 865.14
 - SANITARY MANHOLE #9
TOC - 872.15
12" CONC. WEST - 860.87
12" CONC. SOUTH - 861.00
12" CONC. NE - 862.30
 - STORM MANHOLE #10
RM - 874.50
12" RCP NE - INACCESSIBLE
18" RCP NE - 864.93
42" RCP EAST - 864.10
12" RCP SE - 864.19
42" RCP NW - 864.08
 - SANITARY MANHOLE #10
TOC - 872.50
12" RCP NORTH - 861.19
12" RCP NORTH - 861.19
8" CLAY EAST - 861.34
 - SANITARY MANHOLE #12
TOC - 873.75
12" CONC. NORTH - 860.28
12" CONC. EAST - 860.45
8" PVC SOUTH - 861.42
 - STORM MANHOLE #13
42" SC - 862.79
18" RCP SW - INACCESSIBLE
42" RCP NW - 862.77
 - CATCH BASIN #14
TOC - 873.00
12" CONC. NE - 864.17
12" NW 867.00
12" NE 868.00
 - SANITARY MANHOLE #15
TOC - 873.82
8" PVC NORTH - 861.83
8" PVC SOUTH - 862.10
 - SANITARY MANHOLE #16
TOC - 880.83
12" CONC. NORTH - 861.99
12" CONC. SOUTH - 862.05
 - CATCH BASIN #17
INLET - 874.10
8" TILE NW - 840.45
 - CATCH BASIN #20
INLET - 878.59
12" CONC. SOUTH - 873.84
18" CONC. WEST - 873.77
 - CATCH BASIN #21
INLET - 876.78
18" CONC. EAST - 870.90
8" PVC SE - 872.90
12" PVC WEST - 871.10
 - CATCH BASIN #22
INLET - 880.02
12" CONC. SE - 875.70
12" CONC. WEST - 875.77
 - CATCH BASIN #23
INLET - 880.16
12" CONC. EAST - 875.81
 - CATCH BASIN #29
INLET - 875.03
12" CONC. EAST - 869.35
12" CONC. NW - 869.20
 - CATCH BASIN #30
INLET - 870.06
12" CONC. NORTH - 867.31
24" CONC. NE - 867.31
12" CONC. EAST - 867.41
24" CONC. SOUTH - 867.42
 - SANITARY MANHOLE #31
TOC - 871.35
12" CONC. NORTH - 859.48
12" CONC. SOUTH - 859.52
- EX. STORM (PHASE 1, 2, & 3)**
- CS#127
T/W 873.25
12" CONC. N - 868.75
12" CONC. SW - 868.75
12" CONC. SE - 869.25
 - CS#128
T/W 873.50
12" CONC. E/W 868.49
12" CONC. N - 869.50
 - LB#28A
T/CAS 874.00
12" CONC. SE 870.00
 - CS#129
T/W 872.80
12" CONC. NORTH - 867.97
12" CONC. NE - 867.49
12" CONC. SOUTH - 868.50
 - CS#130
T/W 873.45
12" NW/E 867.06
12" W 869.30
 - LB#200
T/CAS 871.00
12" SW 867.60
 - CS#202
RM 872.40
12" CONC. SW - 868.60
12" NE/SW 866.28
12" CONC. SW - 868.40
 - CS#203
RM 871.30
12" NE/SW 868.06
12" CONC. SW - 867.30
 - CS#204
RM 871.15
12" CONC. SW - 866.45
12" NE/SW 865.86
 - ST#205
T/CAS 872.05
12" W 865.48
12" NE 865.48
12" S 865.48
 - CS#206 (CS-4)
T/C 871.25
12" CONC. SW - 865.72
12" S 866.75
 - CS#207
T/C 871.75
12" W 867.25
 - CS#208
T/C 871.25
12" CONC. SW - 865.79
12" S 865.79
12" W 865.79
 - CS#210
T/C 872.55
12" CONC. SW - 866.38
 - CS#213 (CDS2015-4)
T/C 871.80
12" SE 867.30
 - LB#213A
T/CAS 873.50
12" W 869.75
 - LB#214
T/CAS 872.50
12" S/NE 869.50
 - ST#201A (CDS2015-4)
RM 873.40
12" SE 866.87
12" W 868.15
12" SW 868.15
 - CS#201B
RM 872.70
12" S 866.70
 - CS#201C
RM 872.30
12" SW 866.60
12" S 866.35
 - LB#2010
RM 872.00
12" NE 869.00
 - LB#202A
RM 874.75
12" W 871.00
 - ST#201A (CDS2015-4)
RM 872.00
12" CONC. NORTH - 867.31
12" CONC. NE - 867.31
12" CONC. EAST - 867.41
24" CONC. SOUTH - 867.42
 - CS#212
RM 871.30
12" S 867.30

- BENCHMARKS:**
- BENCHMARK #1 ELEVATION: 882.25 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 - BENCHMARK #2 ELEVATION: 881.86 (NAVD 88)
I HAVE NO IDEA - OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 - BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRINS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.
 - BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRINS PARKWAY, 50'± EASTERLY OF WATER LILY WAY.
 - BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
60D NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35'± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).

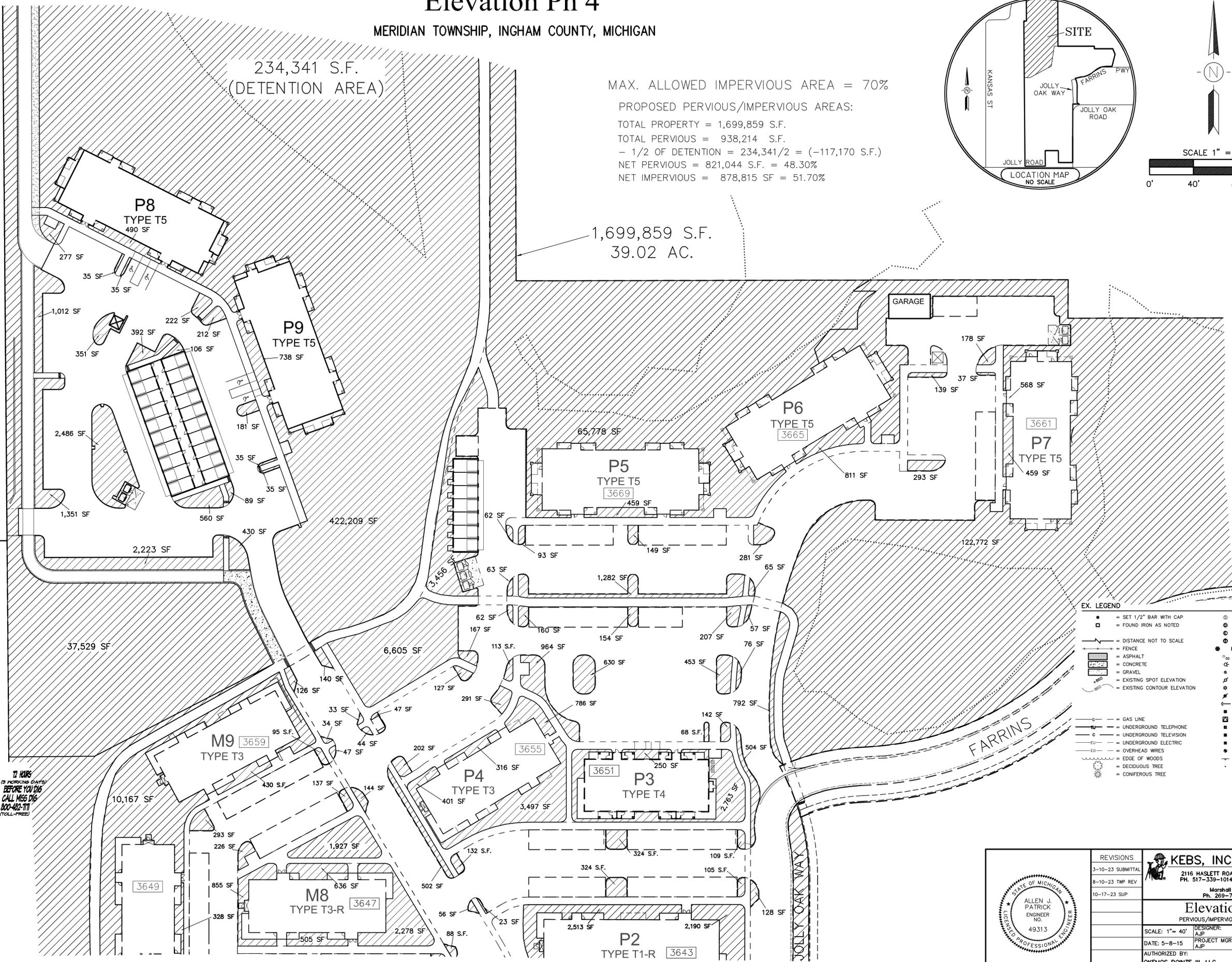
NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT

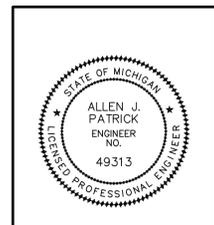
NOTE: WATER SHALL HAVE 10" HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.



- LEGEND**
- EXT. CONTOURS
 - EXT. WATER MAIN
 - EXT. SANITARY SEWER
 - EXT. STORM SEWER
 - EXT. ELEVATIONS
 - PROPOSED WATER MAIN
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM SEWER
 - MANHOLE (NEW)
 - PROPOSED C.B. MANHOLE (EX.)
 - UTILITY EASEMENT
 - CENTER LINE OF ROAD
 - ROAD RIGHT OF WAY
 - PROPERTY LINE
 - FIRE HYDRANT
 - WATER VALVE
 - THRUST BLOCK
 - PROPOSED TOP OF CURB ELEV.

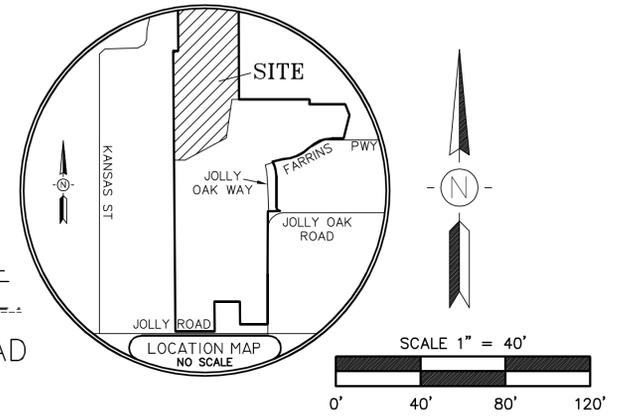


- EX. LEGEND**
- SET 1/2" BAR WITH CAP
 - FOUND IRON AS NOTED
 - DISTANCE NOT TO SCALE
 - FENCE
 - ASPHALT
 - CONCRETE
 - GRAVEL
 - EXISTING SPOT ELEVATION
 - EXISTING CONTOUR ELEVATION
 - SANITARY MANHOLE
 - DRAINAGE MANHOLE
 - ELECTRIC MANHOLE
 - TELEPHONE MANHOLE
 - CATCHBASIN
 - SANITARY CLEANOUT
 - CONCRETE
 - FIRE HYDRANT
 - VALVE
 - UTILITY POLE
 - LIGHT POLE
 - GUY POLE
 - GUY WIRE
 - UTILITY PEDESTAL
 - TRANSFORMER
 - ELECTRIC METER
 - GAS METER
 - WATER METER
 - SOIL BORING
 - SIGN
 - POST



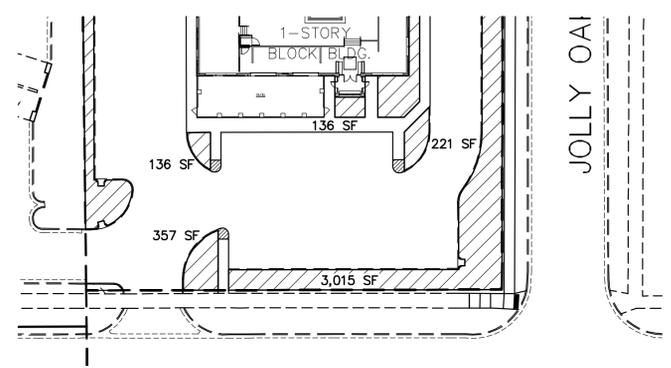
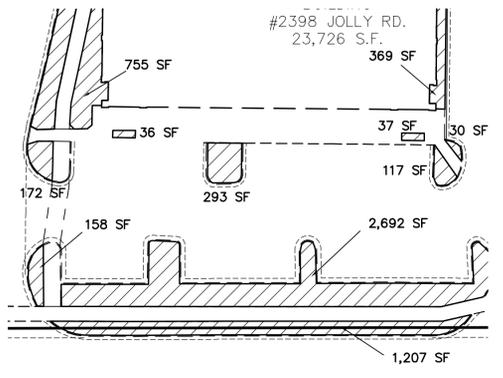
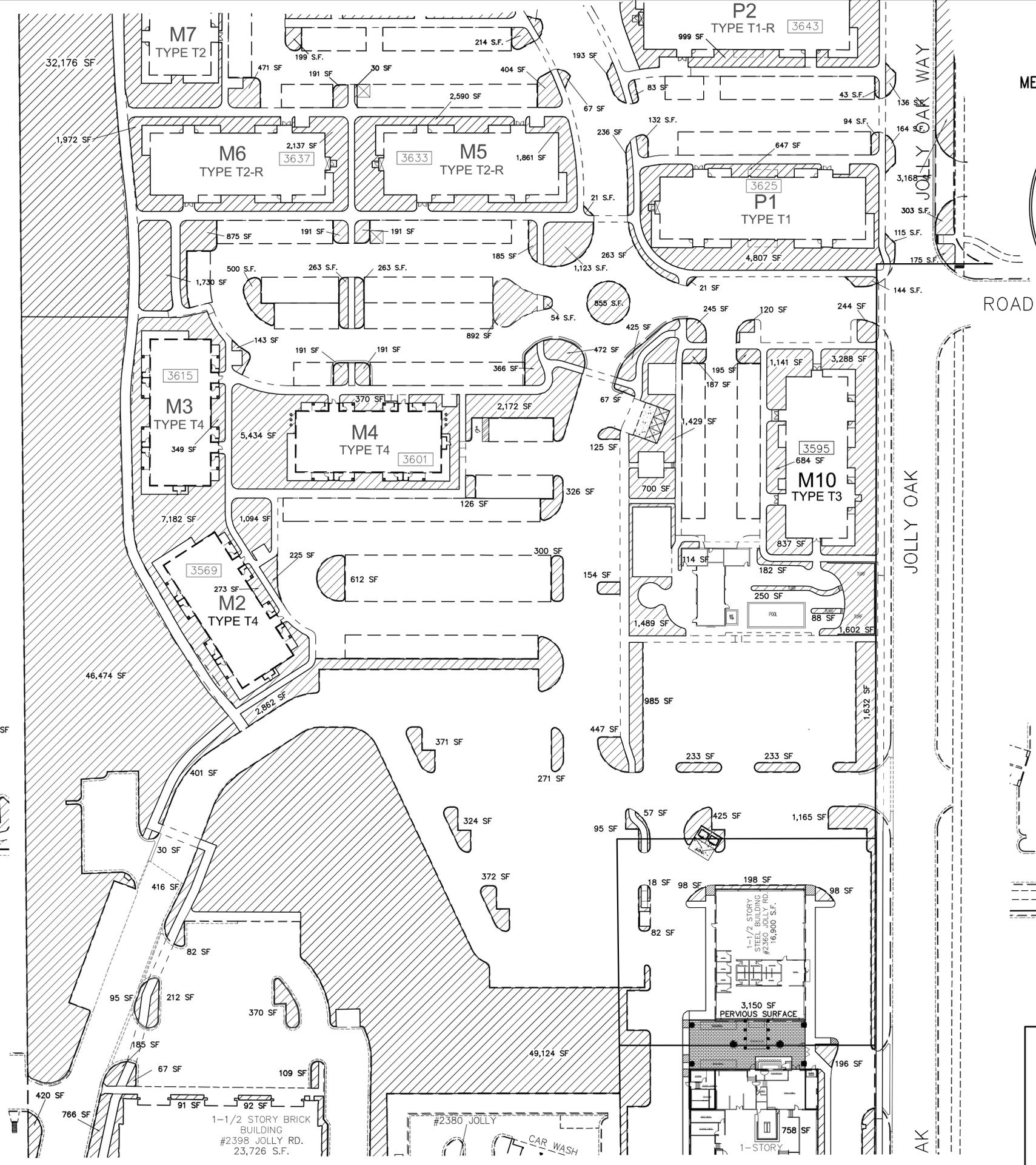
REVISIONS 3-10-23 SUBMITTAL 8-10-23 TMP REV 10-17-23 SUP		KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	
Elevation Ph 4 PERVIOUS/IMPERVIOUS PLAN NORTH		APPROVED BY: AJP DATE: 5-8-15 PROJECT MGR. AJP AUTHORIZED BY: OKEMOS POINTE III, LLC JOB #: 93644	

CONSTRUCTION PLANS FOR:
Elevation Ph 4
 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN



MAX. ALLOWED IMPERVIOUS AREA = 70%
 PROPOSED PERVIOUS/IMPERVIOUS AREAS:
 TOTAL PROPERTY = 1,699,859 S.F.
 TOTAL PERVIOUS = 938,214 S.F.
 - 1/2 OF DETENTION = 234,341/2 = (-117,170 S.F.)
 NET PERVIOUS = 821,044 S.F. = 48.30%
 NET IMPERVIOUS = 878,815 SF = 51.70%

BENCHMARKS:
 BENCHMARK #1 ELEVATION: 882.25 (NAVD 88)
 I HAVE NO IDEA- OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 BENCHMARK #2 ELEVATION: 881.86 (NAVD 88)
 I HAVE NO IDEA- OFFSITE WITH NO DESCRIPTION IN FIELD NOTES.
 BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
 CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT,
 SOUTH SIDE OF FERRINS PARKWAY, ACROSS FROM UNFINISHED ROAD TO
 THE NORTH.
 BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
 CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRINS
 PARKWAY, 50'± EASTERLY OF WATER LILY WAY.
 BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
 600 NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST
 SIDE OF WATER LILY WAY, 35'± NORTH OF THE CENTERLINE OF JOLLY
 OAK ROAD (TO THE EAST).



NOTE: ALL PROPOSED SANITARY EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT
 NOTE: ALL PROPOSED WATER MAIN EXCEPT FOR LEADS SHALL HAVE A 20' EASEMENT
 NOTE: WATER SHALL HAVE 10" HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

LEGEND

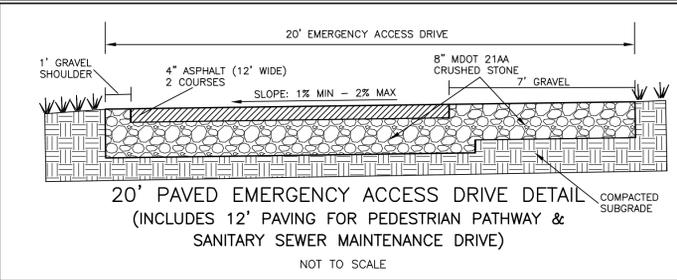
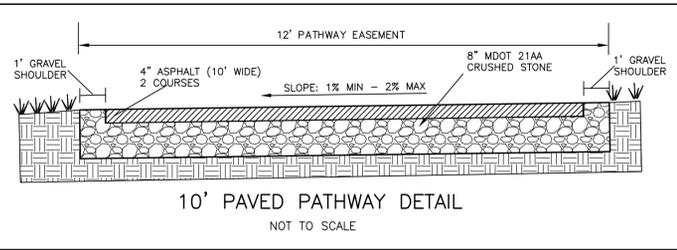
---	EXT. CONTOURS
---	EXT. WATER MAIN
---	EXT. SANITARY SEWER
---	EXT. STORM SEWER
---	EXT. ELEVATIONS
---	PROPOSED WATER MAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
---	MANHOLE (NEW)
---	PROPOSED C.B. MANHOLE (EX.)
---	UTILITY EASEMENT
---	CENTER LINE OF ROAD
---	ROAD RIGHT OF WAY
---	PROPERTY LINE
---	FIRE HYDRANT
---	WATER VALVE
---	THRUST BLOCK
---	PROPOSED TOP OF CURB ELEV.



EX. LEGEND

●	= SET 1/2" BAR WITH CAP	⊙	= SANITARY MANHOLE
□	= FOUND IRON AS NOTED	⊙	= DRAINAGE MANHOLE
---	= DISTANCE NOT TO SCALE	⊙	= ELECTRIC MANHOLE
---	= FENCE	⊙	= TELEPHONE MANHOLE
---	= ASPHALT	⊙	= CATCHBASIN
---	= CONCRETE	⊙	= SANITARY CLEANOUT
---	= GRAVEL	⊙	= FIRE HYDRANT
---	= EXISTING SPOT ELEVATION	⊙	= UTILITY POLE
---	= EXISTING CONTOUR ELEVATION	⊙	= LIGHT POLE
---	= GAS LINE	⊙	= GUY POLE
---	= UNDERGROUND TELEPHONE	⊙	= GUY WIRE
---	= UNDERGROUND TELEVISION	⊙	= UTILITY PEDESTAL
---	= OVERHEAD ELECTRIC	⊙	= TRANSFORMER
---	= EDGE OF WOODS	⊙	= ELECTRIC METER
---	= DECIDUOUS TREE	⊙	= GAS METER
---	= CONIFEROUS TREE	⊙	= WATER METER
		⊙	= SOIL BORING
		⊙	= SIGN
		⊙	= POST

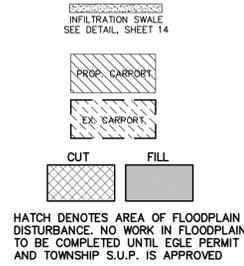
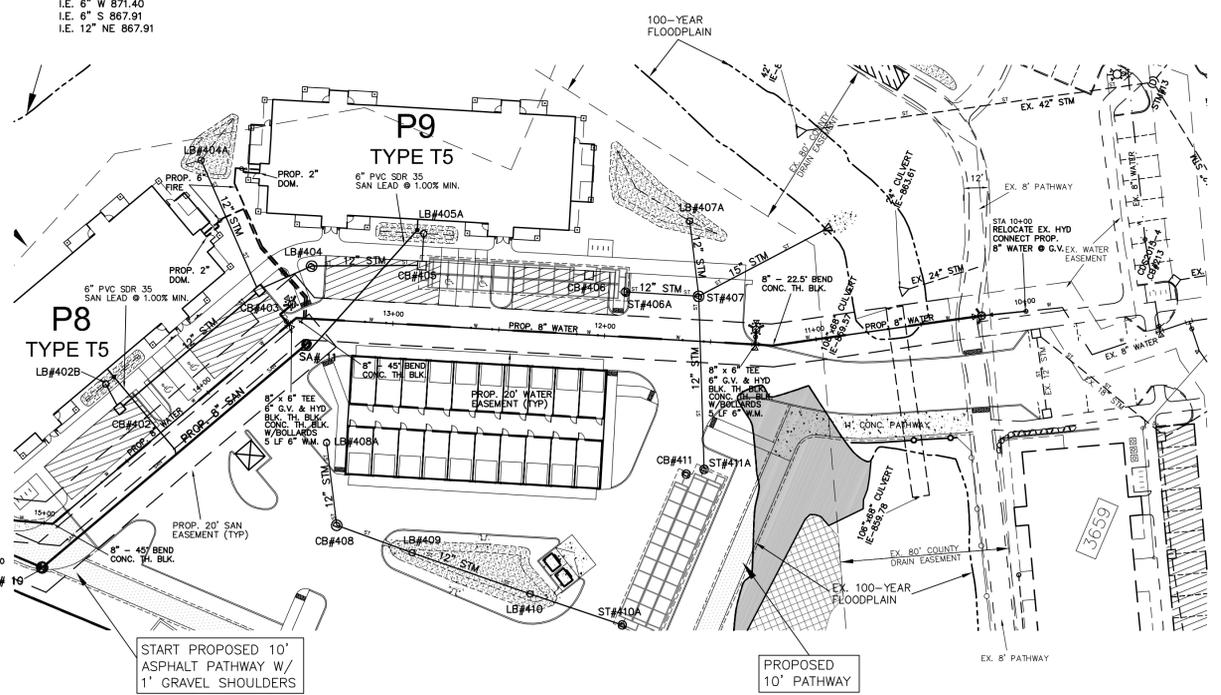
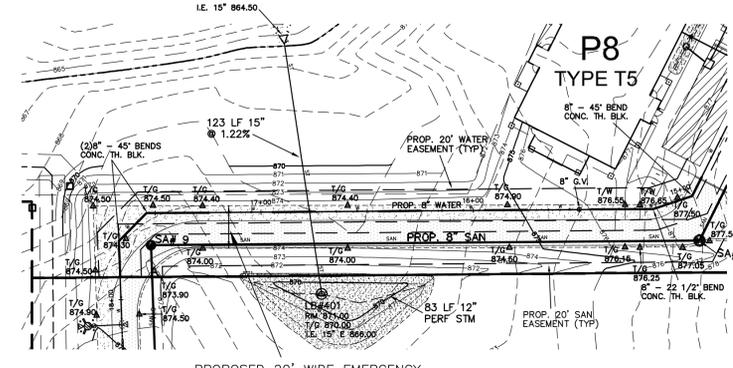
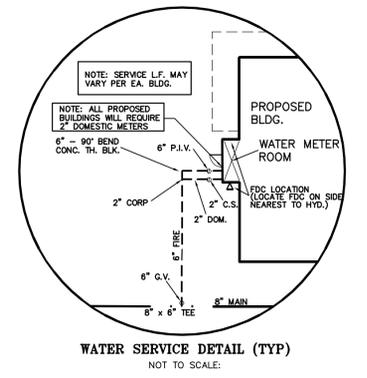
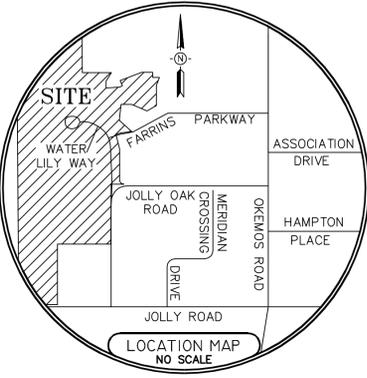
	REVISIONS 3-10-23 SUBMITTAL 8-10-23 TWP REV 10-17-23 SUP	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	E-93644 SURVEY#88667.TOP
	SCALE: 1" = 40' DATE: 5-8-15 AUTHORIZED BY: OKEMOS POINTE III, LLC		DESIGNER: AJP PROJECT MGR: AJP APPROVED BY: AJP SHEET 9 OF 14 JOB #: 93644



PROPOSED STORM INVENTORY:

LB#401 RIM 871.00 T/G 870.00 I.E. 15° E 866.00	CB406 RIM 874.65 I.E. 12° NW/SE 869.30	LB410 RIM 874.25 T/G 873.25 I.E. 12° N/S 869.45
CB#402 RIM 876.50 T/G 877.00 I.E. 12° SE/NE 872.00	ST406A RIM 875.25 I.E. 6° N 871.86 I.E. 6° SW 871.78 I.E. 6° SW 868.36 I.E. 12° SE 868.36	ST410A RIM 875.40 I.E. 12° N 869.20 I.E. 12° E 868.86 I.E. 12° S 870.95
LB#402B RIM 877.00 T/G 876.50 I.E. 12° SW 872.25	ST407 RIM 873.45 I.E. 12° NW/SW/NE 867.49 I.E. 15° SE 867.49	CB411 RIM 874.20 IE 12° W 868.82
CB#403 RIM 875.05 I.E. 12° NW/SE/NE 871.05	LB407A RIM 871.00 T/G 870.25 I.E. 12° SW 867.75	ST411A RIM 874.40 I.E. 6° S 871.33 I.E. 6° W 871.40 I.E. 6° S 867.91 I.E. 12° NE 867.91
LB#404 RIM 875.25 I.E. 12° NW/SE 870.91	ST408 RIM 875.15 I.E. 12° NE/S 871.15 I.E. 12° SW 871.25	
LB404A RIM 874.25 T/G 873.75 I.E. 12° SW 871.25	CB405 RIM 874.80 I.E. 12° NW/SE/NE 869.25 I.E. 12° SW 871.41	
CB#405 RIM 874.80 I.E. 12° NW/SE/NE 869.25 I.E. 12° SW 871.41	LB409 RIM 874.25 T/G 873.25 I.E. 12° N/S 869.75	
LB#405A RIM 875.00 I.E. 12° SW 870.50		

NOTE: WATER SHALL HAVE 10' HORIZONTAL SEPARATION & 18" VERTICAL SEPARATION FROM ALL SEWERS.

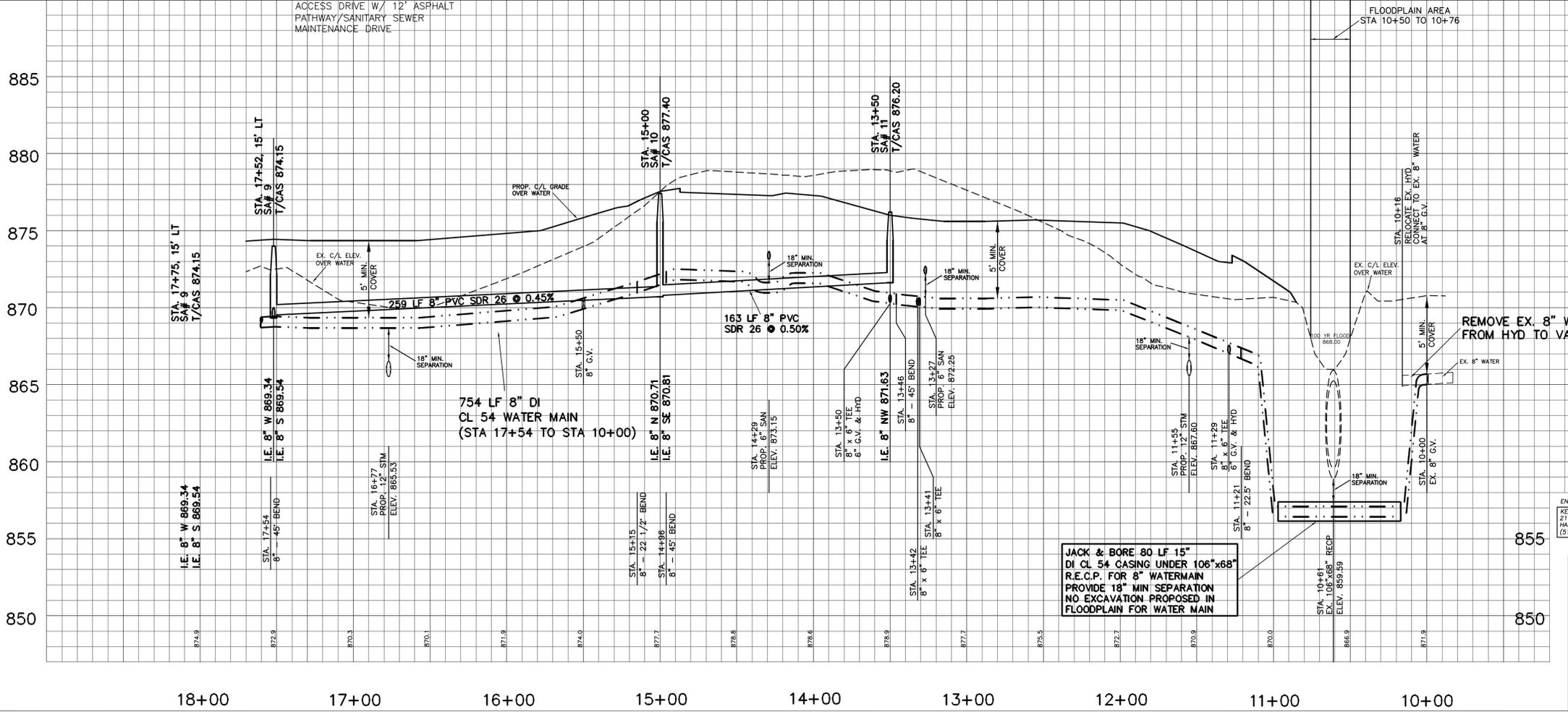


PROPOSED 20' WIDE EMERGENCY ACCESS DRIVE W/ 12' ASPHALT PATHWAY/SANITARY SEWER MAINTENANCE DRIVE

START PROPOSED 10' ASPHALT PATHWAY W/ 1' GRAVEL SHOULDERS

PROPOSED 10' PATHWAY

HATCH DENOTES AREA OF FLOODPLAIN DISTURBANCE. NO WORK IN FLOODPLAIN TO BE COMPLETED UNTIL EGE PERMIT AND TOWNSHIP S.U.P. IS APPROVED



BENCHMARKS

BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
CHISEL "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRIS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.

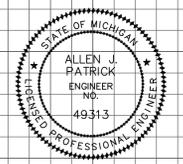
BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
CHISEL "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRIS PARKWAY, 50± EASTERLY OF WATER LILY WAY.

BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
600 NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).



LEGEND

---	EXT. CONTOURS
---	EXT. WATER MAIN
---	EXT. SANITARY SEWER
---	EXT. STORM SEWER
---	EXT. ELEVATIONS
---	PROPOSED WATER MAIN
---	PROPOSED SANITARY SEWER
---	PROPOSED STORM SEWER
---	PROPOSED (NEW) MANHOLE (EX.)
---	UTILITY EASEMENT
---	CENTER LINE OF ROAD
---	PROPERTY LINE
---	FIRE HYDRANT
---	WATER VALVE
---	THRUST BLOCK
---	PROPOSED TOP OF CURB ELEV.



ENGINEER
FEERS, INC.
2116 HASLETT RD.
HASLETT, MICHIGAN 48840
(517) 339-1014

DEVELOPER
OKEMOS POINTE III, LLC
P.O. BOX 523
GRAND LEDGE, MI 48837
PH:(517) 290-4650

Meridian Charter Township
ingham county, michigan

UTILITIES

Elevation Ph 4

PLAN & PROFILE
MERIDIAN TOWNSHIP

DESIGNER: AJP CHECKED BY: AJP

REVISIONS:

DATE:	BY:	COMMENTS:
3-10-23	AJP	SUBMITTAL
8-10-23	AJP	TWP REV
10-17-23	AJP	TWP SUP

SCALE:
1" = 40' HORIZ.
1" = 4' VERT.

SHEET:
11 OF 11

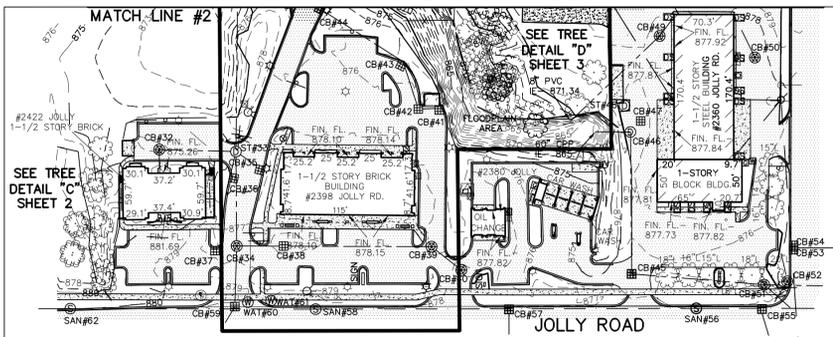
93644
FILE NAME

FOR: WEST PAC CAMPUS COMMUNITIES

SURVEYOR'S NOTES:

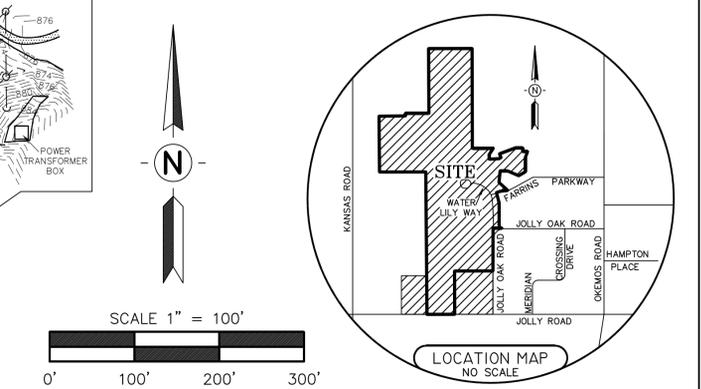
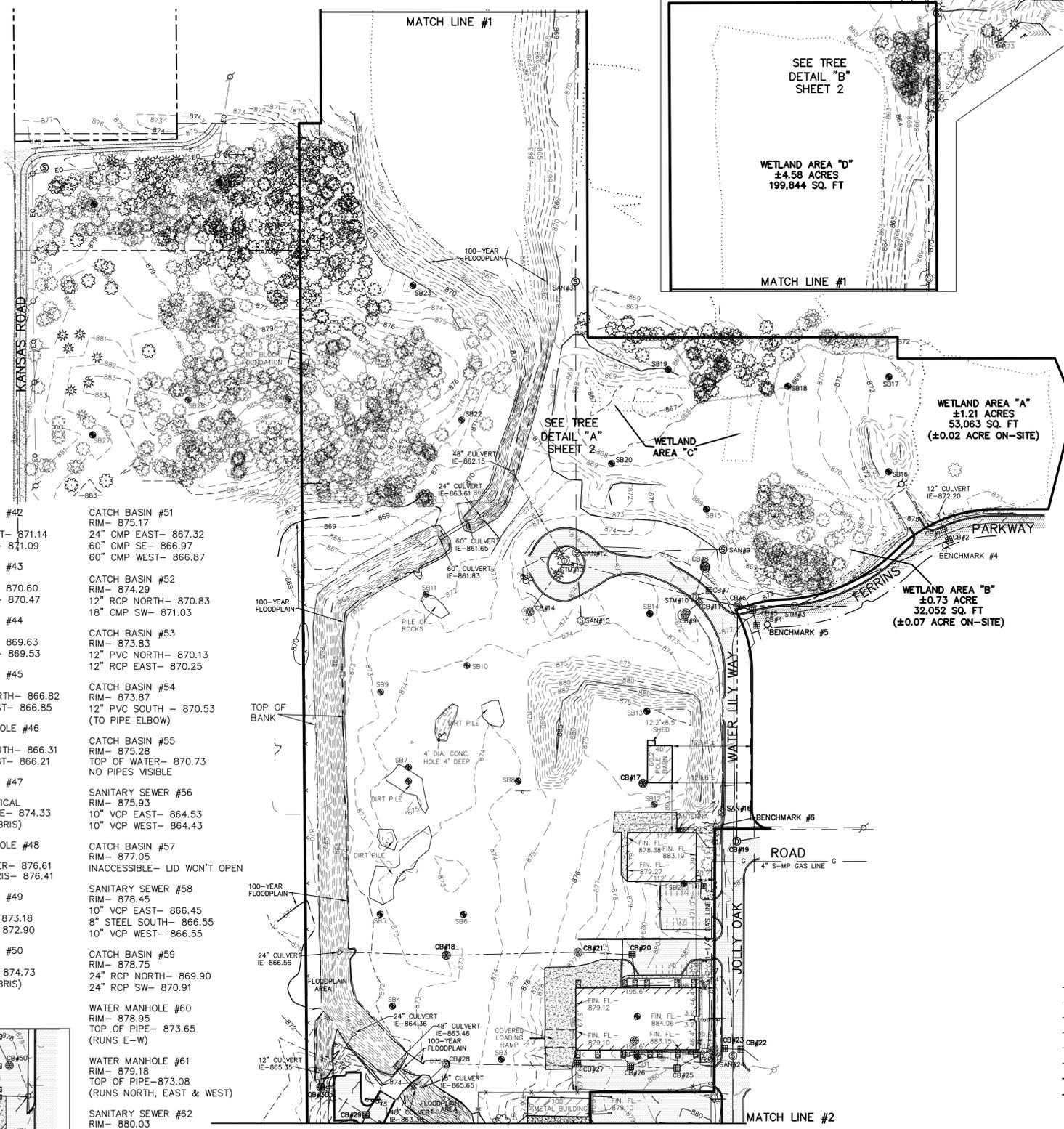
1. This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in February 2015.
2. All bearings and distances on the survey are record and measured unless otherwise noted. Bearings are based on Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the Lansing C.O.R.S.
3. All dimensions are in feet and decimals thereof.
4. No building tie dimensions are to be used for establishing the property lines.
5. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the Charter Township of Meridian, Ingham County, Michigan, Community Panel No. 260093 0170 D, dated August 16, 2011.
6. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction.

- | | | |
|--|--|--|
| CATCH BASIN #1
RIM- 875.65
12" RCP SE- 872.22
12" RCP NW- 872.20 | CATCH BASIN #14
(BEEHIVE)
RIM- 871.71
12" RCP NE- 864.17 | CATCH BASIN #28
(BEEHIVE)
RIM- 872.84
12" RCP EAST- 868.99
18" RCP SW- 868.64 |
| CATCH BASIN #2
RIM- 875.58
12" RCP NW- 872.28 | SANITARY MANHOLE #15
RIM- 873.82
8" PVC NORTH- 861.83
8" PVC SOUTH- 862.10 | CATCH BASIN #29
RIM- 875.05
12" RCP EAST- 869.35
12" RCP WNW- 869.20 |
| STORM MANHOLE #3
RIM- 872.65
12" RCP NE- 866.84
18" RCP WEST- 864.95
12" RCP NE- 866.84
18" RCP EAST- 864.95 | SANITARY MANHOLE #16
RIM- 880.92
12" RCP NORTH- 862.13
12" RCP SOUTH- 862.19 | CATCH BASIN #30
RIM- 870.06
12" RCP NORTH- 867.31
24" RCP NE- 867.31
12" RCP EAST- 867.41
24" RCP SOUTH- 867.42 |
| CATCH BASIN #4
RIM- 871.83
12" RCP NORTH- 867.70
12" RCP SOUTH- 867.86 | CATCH BASIN #18
(BEEHIVE)
RIM- 872.11
12" RCP EAST- 867.51
24" RCP WEST- 867.43 | SANITARY MANHOLE #31
RIM- 871.36
12" RCP NORTH- 859.48
12" RCP SOUTH- 859.52 |
| CATCH BASIN #5
RIM- 871.60
12" RCP NW- 867.38
12" RCP SOUTH- 867.64 | CATCH BASIN #20
RIM- 878.86
12" RCP SOUTH- 873.84
18" RCP WEST- 873.71 | CATCH BASIN #32
RIM- 873.87
12" RCP EAST- 869.25
6" PVC SOUTH- 870.87
6" PVC SW- 869.30 |
| CATCH BASIN #6
RIM- 870.73
42" RCP NW- 864.18
18" RCP EAST- 864.26
36" RCP SOUTH- 864.24
12" RCP SE- 865.63 | CATCH BASIN #21
RIM- 876.78
18" RCP EAST- 870.90
8" PVC SE- 872.90
12" PVC WEST- 871.10 | STORM MANHOLE #33
RIM- 875.92
24" RCP NORTH- 867.78
12" RCP SE- 870.36
24" RCP SOUTH- 867.82
12" RCP SW- 870.42
12" RCP WEST- 869.07 |
| CATCH BASIN #7
(BEEHIVE)
RIM- 871.36
18" RCP SW- 865.28 | CATCH BASIN #22
RIM- 880.02
12" RCP SE- 875.70
12" RCP WEST- 875.77 | CATCH BASIN #34
RIM- 877.58
CAN'T OPEN- LID CRACKED
24" NORTH- INACCESSIBLE |
| CATCH BASIN #8
(BEEHIVE)
RIM- 870.92
18" RCP SW- 865.14 | CATCH BASIN #23
RIM- 880.16
12" RCP EAST- 875.81 | CATCH BASIN #35
RIM- 875.70
12" RCP NW- 870.85 |
| CATCH BASIN #9
RIM- 870.39
12" RCP NE- 866.45 | SANITARY MANHOLE #24
RIM- 880.42
?? NORTH- 862.91
?? SOUTH- 862.92 | CATCH BASIN #36
RIM- 875.60
12" RCP NE- 870.51 |
| STORM MANHOLE #10
RIM- 871.58
12" RCP NE- INACCESSIBLE
18" RCP NE- 864.93
30" RCP EAST- 864.10
12" RCP SE- 866.18
30" RCP NW- 864.08 | CATCH BASIN #25
RIM- 880.11
8" PVC NORTH- ±878.00
8" PVC NE- ±877.94
12" RCP WEST- ±877.55
INVERTS INACCESSIBLE - CALCULATED FROM ELEVATIONS MEASURED TO TOP OF PIPES | CATCH BASIN #37
RIM- 877.52
12" RCP EAST- 873.56
6" PVC WNW- 873.73 |
| CATCH BASIN #11
RIM- 871.21
12" RCP SW- 866.14
12" RCP NW- 866.11 | CATCH BASIN #26
RIM- 879.27
8" PVC NE- 876.36
12" RCP NORTH- 875.69
12" RCP WEST- 875.65
8" PVC NW- 876.32 | CATCH BASIN #38
RIM- 876.35
12" RCP EAST- 872.64
12" RCP WEST- 872.61 |
| SANITARY MANHOLE #12
RIM- 874.79
12" RCP NORTH- 860.28
12" RCP EAST- 860.45
8" PVC SOUTH- 861.42 | CATCH BASIN #27
RIM- 877.86
8" PVC NORTH- 875.04
12" RCP EAST- 873.78
12" RCP WEST- 873.63 | CATCH BASIN #39
RIM- 876.68
6" PVC SE- 873.63
12" RCP WEST- 873.44 |
| STORM MANHOLE #13
RIM- 876.67
?? SE- 862.79
12" RCP SW- INACCESSIBLE
48" RCP NW- 862.77 | CATCH BASIN #40
RIM- 876.48
6" PVC NW- 874.70 | CATCH BASIN #41
RIM- 875.95
12" RCP WEST- 872.41 |
| | CATCH BASIN #42
RIM- 876.39
12" RCP EAST- 871.14
6" RCP NW- 871.09 | CATCH BASIN #43
RIM- 875.16
12" RCP SE- 870.60
12" RCP NW- 870.47 |
| | CATCH BASIN #44
RIM- 875.08
12" RCP SE- 869.63
12" RCP NW- 869.53 | CATCH BASIN #45
RIM- 875.07
60" CMP NORTH- 866.82
60" CMP EAST- 866.85 |
| | STORM MANHOLE #46
RIM- 876.61
60" CMP SOUTH- 866.31
60" CMP WEST- 866.21 | CATCH BASIN #47
RIM- 877.52
TOP OF VERTICAL
PVC PIPE- 874.33
(FULL OF DEBRIS) |
| | STORM MANHOLE #48
RIM- 876.61
TOP OF WATER- 876.61
TOP OF DEBRIS- 876.41 | CATCH BASIN #49
RIM- 877.26
8" PVC NE- 873.18
8" PVC SW- 872.90 |
| | CATCH BASIN #49
RIM- 877.26
8" PVC NE- 873.18
8" PVC SW- 872.90 | CATCH BASIN #50
RIM- 877.53
4" PVC NW- 874.73
(FULL OF DEBRIS) |
| | CATCH BASIN #50
RIM- 878.75
24" RCP NORTH- 869.90
24" RCP SW- 870.91 | SANITARY SEWER #58
RIM- 878.45
10" VCP EAST- 866.45
8" STEEL SOUTH- 866.55
10" VCP WEST- 866.55 |
| | WATER MANHOLE #60
RIM- 878.95
TOP OF PIPE- 873.65
(RUNS E-W) | CATCH BASIN #59
RIM- 878.75
24" RCP NORTH- 869.90
24" RCP SW- 870.91 |
| | WATER MANHOLE #61
RIM- 879.18
TOP OF PIPE- 873.08
(RUNS NORTH, EAST & WEST) | WATER MANHOLE #60
RIM- 878.95
TOP OF PIPE- 873.65
(RUNS E-W) |
| | SANITARY SEWER #62
RIM- 880.03
10" VCP EAST- 867.83
10" VCP WEST- 867.91 | WATER MANHOLE #61
RIM- 879.18
TOP OF PIPE- 873.08
(RUNS NORTH, EAST & WEST) |



EXISTING FEATURES PLAN

Elevation



LEGAL DESCRIPTION:
REZONING DESCRIPTION:
 A parcel of land in the Southwest 1/4 of Section 33, T4N, R1W, Meridian Township, Ingham County, Michigan, the boundary of said parcel described as: Commencing at the Southwest corner of said Section 33; thence N89°46'20"E along the South line of said Section 33 a distance of 858.00 feet; thence N00°36'06"W parallel with the West line of Section 33 a distance of 480.25 feet to the point of beginning of this description; thence continuing N00°36'06"W parallel with said West line 1516.31 feet; thence N89°46'12"E 35.84 feet; thence N00°27'14"W 642.58 feet to the East-West 1/4 line of said Section 33; thence N89°44'23"E along said East-West 1/4 line 433.70 feet to the West line of Fieldstone Village Condominium, Subdivision Plan No. 184, Ingham County Records; thence S00°18'07"E along said West line and the West line of Coyote Creek Condominium, Subdivision Plan No. 82, Ingham County Records, a distance of 989.98 feet; thence along the South line of said Coyote Creek Condominium the following three courses: N89°45'08"E 503.25 feet, South 34.97 feet and N89°45'09"E 255.61 feet to the West line of Unit 1 of Okemos Pointe Office Park Condominium, Subdivision Plan No. 267, Ingham County Records; thence along said West line the following two courses: S22°44'37"E 82.61 feet and S14°02'26"W 172.95 feet to the North line of Ferrins Parkway; thence along said North line the following four courses: S89°51'41"W 85.18 feet, Southwesterly 180.54 feet on a curve to the left, said curve having a radius of 232.50 feet, a delta angle of 44°29'30" and a chord length of 176.04 feet bearing S67°37'04"W, Southwesterly 206.25 feet on a curve to the right, said curve having a radius of 277.50 feet, a delta angle of 42°35'09" and a chord length of 201.54 feet bearing S66°39'56"W and Southwesterly 77.04 feet on a curve to the left, said curve having a radius of 197.50 feet, a delta angle of 22°20'57" and a chord length of 76.55 feet bearing S76°47'04"W to the East line of Water Lily Way; thence along said East line the following three courses: Southeasterly 106.18 feet on a curve to the right, said curve having a radius of 205.00 feet, a delta angle of 29°40'31" and a chord length of 104.99 feet bearing S14°50'20"E, S00°00'04"E 221.47 feet and Southeasterly 47.24 feet on a curve to the left, said curve having a radius of 30.00 feet, a delta angle of 90°13'36" and a chord length of 42.51 feet bearing S45°06'52"E to the North line of Jolly Oak Road; thence S89°46'20"W along the extension of said North line 90.12 feet to the West line of Jolly Oak Road; thence S00°00'04"E along said West line 425.00 feet; thence S89°46'10"W 382.90 feet; thence S00°48'30"E along a line parallel with the West line of Lots 1 and 2 of the plot of "Jolly-Okemos Industrial Park" as recorded in Liber 27 of Plats, Pages 20-21, Ingham County Records 145.60 feet; thence N44°25'45"W 274.03 feet; thence S89°23'28"W 89.27 feet to the point of beginning; said parcel containing 33.73 acres, more or less; said parcel subject to all easements and restrictions if any.

BENCHMARKS:
 BENCHMARK #4 ELEVATION: 877.96 (NAVD 88)
 CHISELED "X" ON FLANGE BOLT ON SOUTH SIDE OF FIRE HYDRANT, SOUTH SIDE OF FERRINS PARKWAY, ACROSS FROM UNFINISHED ROAD TO THE NORTH.
 BENCHMARK #5 ELEVATION: 873.79 (NAVD 88)
 CHISELED "X" ON FLANGE BOLT ON THE SOUTH SIDE OF FERRINS PARKWAY, 50± EASTERLY OF WATER LILY WAY.
 BENCHMARK #6 ELEVATION: 881.99 (NAVD 88)
 60D NAIL IN THE NORTHEAST SIDE OF A UTILITY POLE, ON THE WEST SIDE OF WATER LILY WAY, 35± NORTH OF THE CENTERLINE OF JOLLY OAK ROAD (TO THE EAST).

LEGEND

● = SET 1/2" BAR WITH CAP	⊙ = SANITARY MANHOLE
□ = FOUND IRON AS NOTED	⊕ = DRAINAGE MANHOLE
— = DEED LINE	⊖ = ELECTRIC MANHOLE
— = DISTANCE NOT TO SCALE	Ⓣ = TELEPHONE MANHOLE
— = FENCE	⊗ = CATCHBASIN
— = ASPHALT	⊙ = SANITARY CLEANOUT
— = CONCRETE	⊕ = FIRE HYDRANT
— = GRAVEL	⊖ = VALVE
— = EXISTING SPOT ELEVATION	⊙ = UTILITY POLE
— = EXISTING CONTOUR ELEVATION	⊕ = LIGHT POLE
— = SANITARY SEWER	⊖ = GUY POLE
— = STORM SEWER	⊙ = GUY WIRE
— = GAS LINE	⊕ = WATER LINE
— = UNDERGROUND TELEPHONE	⊖ = TRANSFORMER
— = UNDERGROUND ELECTRIC	⊙ = ELECTRIC METER
— = OVERHEAD WIRES	⊕ = GAS METER
— = EDGE OF WOODS	⊖ = WATER METER
— = DECIDUOUS TREE	⊙ = SOIL BORING
— = CONIFEROUS TREE	⊕ = SIGN
	⊖ = POST

REVISIONS	COMMENTS	DATE	BY	SECTION
3/30/15	ORIGINAL			33, T4N, R1W
8/28/19	PHASE 2 SUBMITTAL			
9-25-19	TWP REV			
12-12-19	IDCC SUBMITTAL			
3-16-22	TWP REV			
4-11-22	IDCC REV			

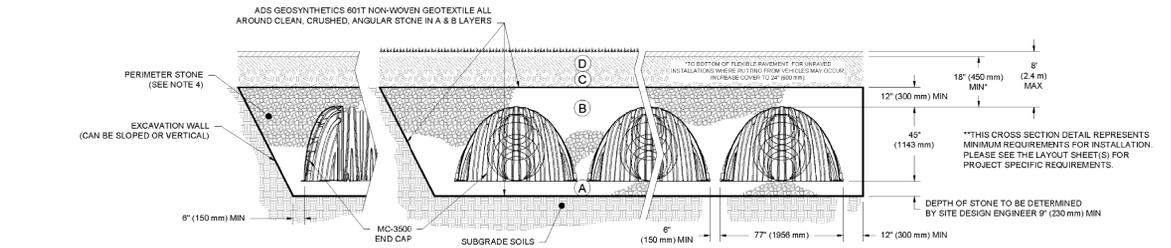
KEBS, INC. ENGINEERING AND LAND SURVEYING 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	DRAWN BY: SLH FIELD WORK BY: AH SHEET 12 OF 14	JOB NUMBER: 88667.TOP
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ERICK R. FRIESTROM
 PROFESSIONAL SURVEYOR
 DATE NO. 53497

ACCEPTABLE FILL MATERIALS: STORMTECH MC-3500 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER	N/A	PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRINGENT MATERIAL AND PREPARATION REQUIREMENTS.
C	INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 2" (50 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.	AASHTO M145 ¹ A-1, A-2.4, A-3 OR AASHTO M43 ² 3, 357, 4, 487, 5, 56, 57, 6, 67, 68, 7, 78, 8, 80, 9, 10	BEGIN COMPACTIONS AFTER 2" (50 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 12" (300 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS.
B	EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE	AASHTO M43 ² 3, 4	NO COMPACTION REQUIRED.
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	AASHTO M43 ² 3, 4	PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE ^{2,3}

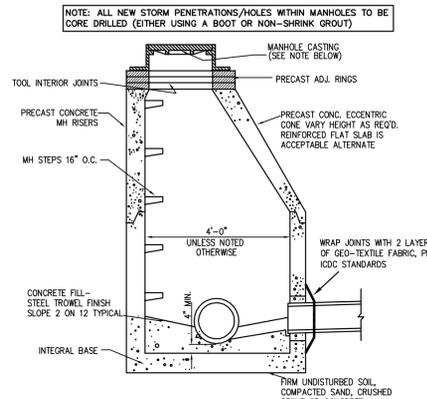
PLEASE NOTE:
 1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 4" (100 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.
 3. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.
 4. ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.



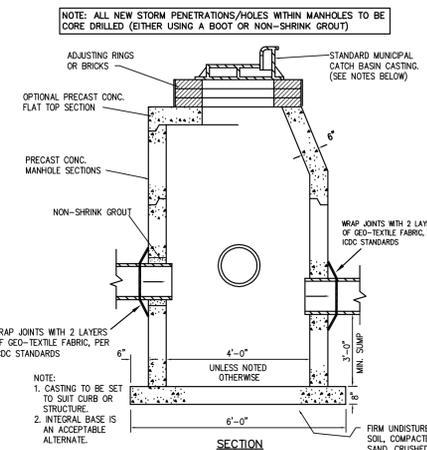
NOTES:

- CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" CHAMBER CLASSIFICATION 45x78 DESIGNATION SS.
- MC-3500 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- REQUIREMENTS FOR HANDLING AND INSTALLATION:
 - TO MAINTAIN THE WIDTH OF CHAMBERS DURING SHIPPING AND HANDLING, CHAMBERS SHALL HAVE INTEGRAL, INTERLOCKING STACKING LUGS.
 - TO ENSURE A SECURE JOINT DURING INSTALLATION AND BACKFILL, THE HEIGHT OF THE CHAMBER JOINT SHALL NOT BE LESS THAN 3".
 - TO ENSURE THE INTEGRITY OF THE ARCH SHAPE DURING INSTALLATION, A) THE ARCH STIFFNESS CONSTANT AS DEFINED IN SECTION 9.2.9 OF ASTM F2418 SHALL BE GREATER THAN OR EQUAL TO 500 LBS/FT² AND B) TO RESIST CHAMBER DEFORMATION DURING INSTALLATION AT ELEVATED TEMPERATURES ABOVE 72° F / 23° C, CHAMBERS SHALL BE PRODUCED FROM REFLECTIVE GOLD OR YELLOW COLORS.

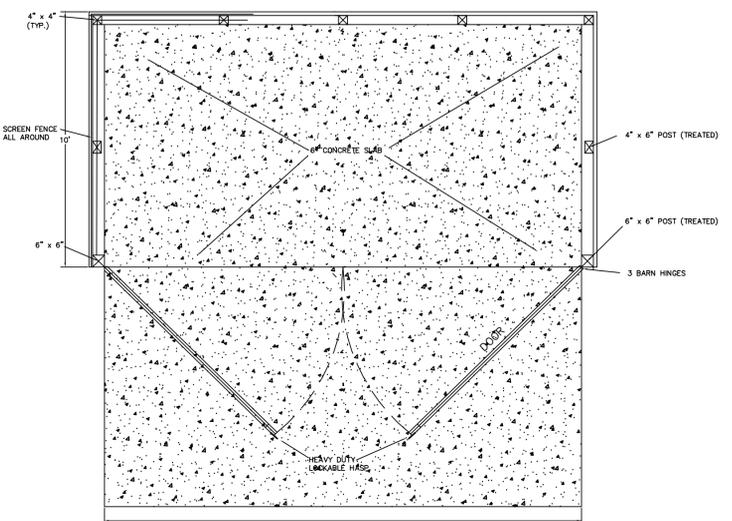
MC-3500
 STANDARD CROSS SECTION
 DATE: 08/22/2014
 PROJECT: 10/17/2023
 CHECKED: KLU
 DRAWN: J.P.
 1 SHEET OF 1



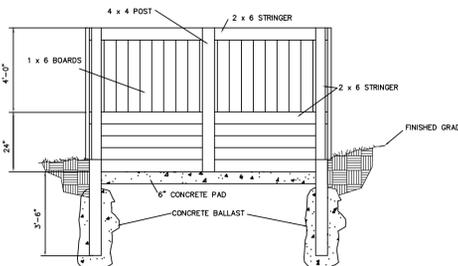
STANDARD STORM MANHOLE
 NO SCALE
 TO BE USED ONLY WHERE SPECIFIED AS 4' OR 5' DIAM. (MH)



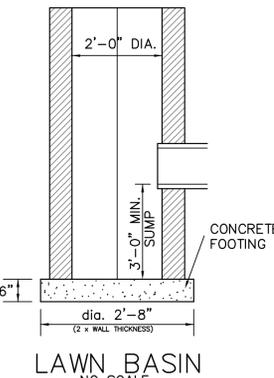
STANDARD CATCH BASIN
 NO SCALE
 TO BE USED ONLY WHERE SPECIFIED AS 4' OR 5' DIAM. (CB)



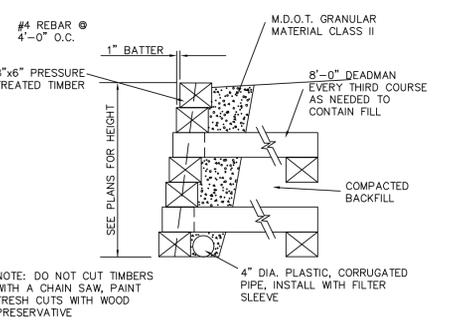
NOTE: gates must swing completely open and have 2" min ground clearance w/mechanism to keep gates open.
 height 8 yd. container - 7 min.
 height 4 or 6 yd. container - 6 min.
 45 min. straight away approach



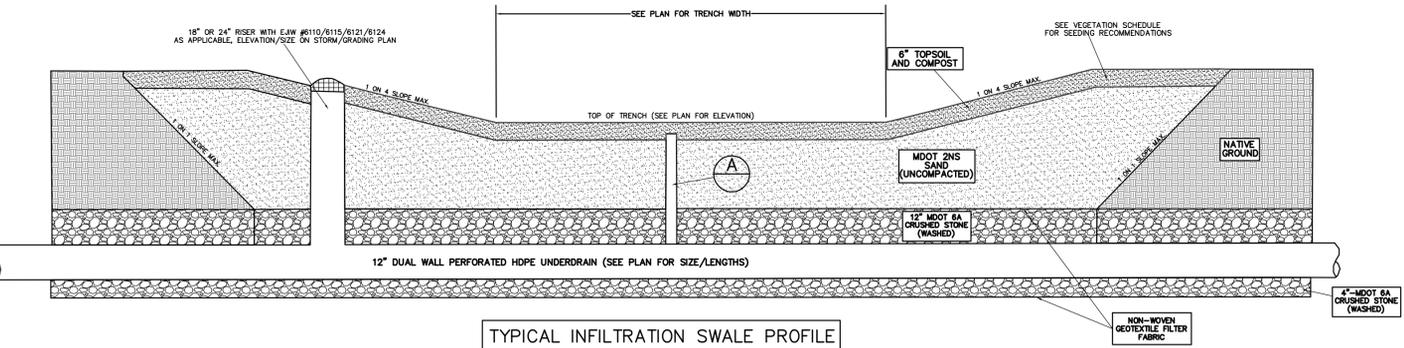
SOLID WASTE STATION
 NO SCALE



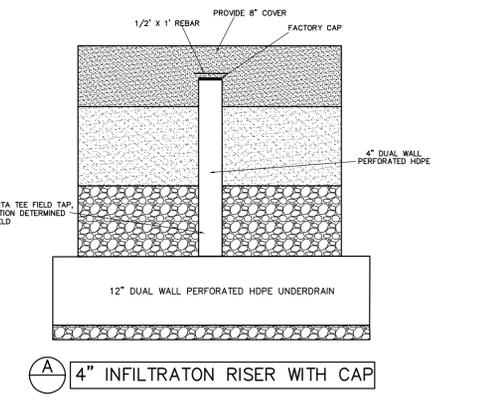
LAWN BASIN
 NO SCALE



TIMBER WALL DETAIL
 NO SCALE

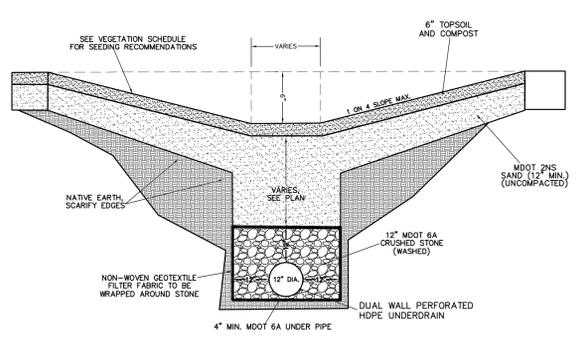


TYPICAL INFILTRATION SWALE PROFILE

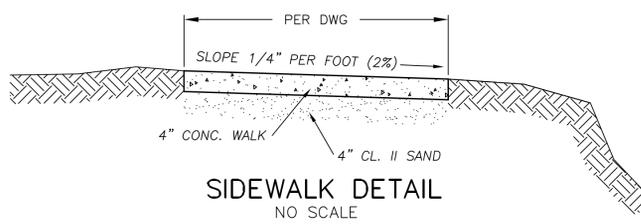


4" INFILTRATION RISER WITH CAP

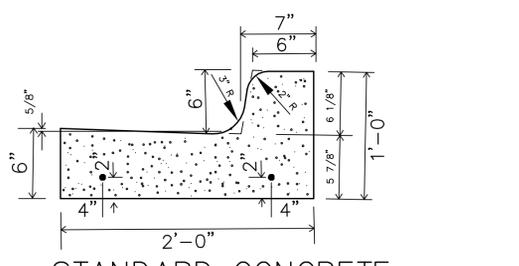
SEED MIX:
 25% TITANIUM LS TURF-TYPE TALL FESCUE
 20% SPEEDWAY TURF-TYPE TALL FESCUE
 20% EINSTEIN TURF-TYPE TALL FESCUE
 20% SPEEDWAY TALL FESCUE
 15% ANNUAL RYEGRASS



TYPICAL INFILTRATION SWALE CROSS-SECTION



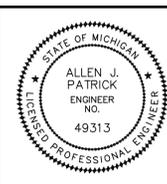
INTEGRAL SIDEWALK AND CURB DETAIL
 NO SCALE



STANDARD CONCRETE CURB & GUTTER
 NO SCALE

CONSTRUCTION NOTES:

- TOPSOIL COMPOSITION: <5% CLAY, 5-30% SILT, 65-80% SAND, 4-6% ORGANIC
- COMPOST TO BE BLENDED WITH TOPSOIL IN A RATION OF 1 TO 1 (50% EACH)
- SEEDING, TALL FESCUE (APPLY AT A MINIMUM RATE OF 4.35 LBS/ACRE)
- INLET GRATES TO BE SCREWED TO THE HDPE RISER USING 2 STAINLESS STEEL SELF TAPPING SCREWS LOCATED 180 DEGREES APART FROM EACH OTHER



REVISIONS		KEBS, INC.	
3-10-23	SUBMITTAL	2116 HASLETT ROAD, HASLETT, MI 48840	PH. 517-339-1014 FAX. 517-339-8047
8-10-23	TWP REV	Marshall Office	Ph. 269-781-9800
10-17-23	SUP	Elevation Ph 4	
		DETAIL SHEET	
SCALE: NONE	DESIGNER: AJP	APPROVED BY: AJP	
DATE: 3-7-19	PROJECT MGR: AJP	SHEET 13 OF 14	
AUTHORIZED BY: OKEMOS POINT III, LLC		JOB #: 93644	

E8 PERMANENT SEEDING SPECIFICATIONS

When

- To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem.
- Within 5 days of final grade.

Why

- To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing.

Where

- Used on construction and earth change sites which require permanent vegetative stabilization.

How

- Review SESC plan and construction phasing to identify areas in need of permanent vegetative stabilization.
- Select perennial grass and ground cover for permanent cover.
- Seed mixes vary. However, they should contain native species.
- Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content.
- Soil tests should be performed to determine the nutrient and pH levels in the soil. The pH may need to be adjusted to between 6.5 and 7.0.
- Prepare a 3-5" deep seedbed, with the top 3-4" consisting of topsoil.
- Slopes steeper than 1:3 should be roughened.
- Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills.
- Mulch immediately after seeding.
- Dormant seed mixes are for use after the growing season, using seed which lies dormant in the winter and begins growing as soon as site conditions become favorable.



PERMANENT SEEDING SPECIFICATIONS (E8)

How (cont.)

- Protect seeded areas from pedestrian or vehicular traffic.
- Divert concentrated flows away from the seeded area until vegetation is established.

Maintenance

- Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.
- Add supplemental seed as necessary.

Limitations

- Seeds need adequate time to establish.
- May not be appropriate in areas with frequent traffic.
- Seeded areas may require irrigation during dry periods.
- Seeding success is site specific, consider mulching or sodding when necessary.

PERMANENT SEEDING SPECIFICATION
 SEED ALL DISTURBED AREAS WITH THE FOLLOWING SEED MIXTURE OR APPROVED EQUAL.
 MICHIGAN GREEN - 15% BLUEGRASS, 40% FESCUE, 45% RYEGRASS
 APPLY AT A RATE OF 5 LBS./1000 SF

-APPLY SILT STOP OR APPROVED TACKIFIER TO SEED MIX.



PERMANENT SEEDING (E8)

Planting Zones:	Lower Peninsula (South of 120N) Zone 1	Lower Peninsula (North of 120N) Zone 2	Upper Peninsula Zone 3
Seeding Window Permanent Seeding	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20
Seeding Window Dormant Seeding	11/15 - Freeze	11/01 - Freeze	11/01 - Freeze

Source: Adapted from MDOT Interim 2003 Standard Specifications for Construction

	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
Seeding Dates (with Irrigation or Mulch)	4/1 - 8/1	5/1 - 9/20	5/1 - 9/10
Seeding Dates (w/o Irrigation or Mulch)	4/1 - 5/20 8/10 - 10/1	5/1 - 6/10 8/1 - 9/20	5/1 - 6/15 8/1 - 9/20
Dormant Seeding Dates	11/1 - Freeze	10/25 - Freeze	10/25 - Freeze

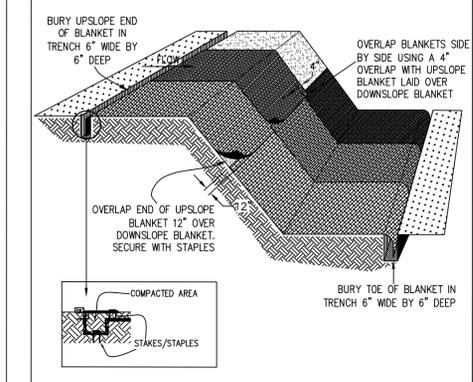
Source: Adapted from USDA NRCS Technical Guide #342 (1999)

* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.



E9 MULCH BLANKETS



- NOTES:
- PLACE MULCH BLANKET PARALLEL TO FLOW AND ANCHOR SECURELY.
 - WHEN BLANKETS ARE USED IN FLOWING DITCH, BLANKETS SHOULD NOT OVERLAP IN DITCH CENTER PARALLEL TO FLOW.
 - STAPLES INSTALLED/SECURED ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 - WHERE POSSIBLE, CONSTRUCT WITH BIODEGRADABLE MATERIAL.



E9 MULCH BLANKETS SPECIFICATIONS

When

- When seeded areas are subject to erosive surface flows, severe wind, or to protect non-vegetated slopes or areas during the winter.

Why

- Protects seeded areas and slopes against erosion from rain or wind. Holds soil moisture to allow for seed germination and reduces wind desiccation of germinated seeds.

Where

- Use on exposed slopes, newly seeded areas, new ditch bottoms, and other areas subject to erosion.

How

- Prepare subgrade to proper grade and compaction requirements.
- Remove ruts, roots, soil clods, or other debris from surface subject to mulch blanket installation.
- Spread or drill seed.
- Consult with erosion control material supplier to select mulch blanket based on slope gradient, expected surface run-off, and protection term necessary (long or short term).
- Position selected mulch blanket as close as possible to intended use location.
- Install blanket at top of slope, first anchoring toe in trench 6" wide X 6" deep, progressing down-slope or down-gradient with approximately 12" of blanket extended beyond the up-slope portion of the trench.
- Anchor the blanket with staples/stakes placed approximately 12" apart in the bottom of the trench. Backfill and compact the trench after securing.
- Apply seed to compacted soil and fold the 12" portion of the blanket over compacted area and secure with a row of staples/stakes placed 12" apart across the width of the blanket.
- Unroll the blankets down or horizontally across the slope.



E9 MULCH BLANKETS SPECIFICATIONS (cont.)

How (cont.)

- Overlap blanket edges by a minimum of 4" and blanket ends by a minimum of 12". Overlaps should be in the direction of expected flow with the up-slope blanket placed over the down-slope blanket edge.
- Secure down-slope end of blanket with staples/stakes and trench in.

Maintenance

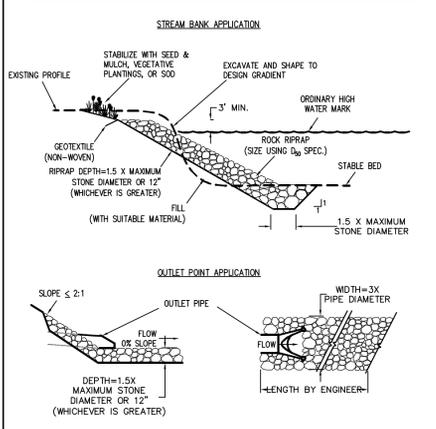
- Check after a rain event to ensure the blanket is still in place.
- Keep eroded soil, vehicular and pedestrian traffic, and concentrated runoff away from the blanketed area.

Limitations

- Mulch blankets and anchors may inhibit mowing.



E12 RIPRAP



RIPRAP SPECIFICATIONS (E12)

When

- When concentrated water flows have the potential to create scour, down-cutting, or lateral cutting.

Why

- To prevent loss of land or damage to utilities or structures. In aquatic applications, riprap is used to control channel meander and maintain capacity, protect against wave attack, and reduce sediment load.

Where

- In natural or constructed channels with areas susceptible to erosion from the action of water, ice, or debris, or to damage by livestock or vehicular traffic.
- In shoreline areas where the erosion problem may be solved through simple structural measures.
- On slopes with profiles measuring 1:1.5 or less.

How

- Review subject site to identify areas subject to concentrated flows or wave/current attack.
- The appropriateness and extent of riprap placement is site specific and should be determined in the field.
- The area under review for riprap placement must be shaped and contoured appropriately by grading prior to material placement.
- Non-woven geotextile fabric should be installed prior to riprap placement, with upper end and toe end of fabric buried or anchored to prevent movement.
- Riprap placement should be started at a stabilized location and ended at a stabilized or contoured point.
- Material selected for riprap should be hard, angular, and resistant to weathering. Appropriate material size depends on expected water energy and intended function of the material.



E12 RIPRAP SPECIFICATIONS (cont.)

How (cont.)

- Riprap mixture should be an even mixture of stone sizes based on the average, or D_{50} . This means 50% of the stone, by size, will be larger than the diameter specified, and 50% will be smaller than the size specified. The diameter of the largest stone should not be more than 1.5 times the D_{50} stone size.
- See table on the following page for typical riprap stone sizes.
- Rock shall be placed so that larger rocks are uniformly distributed and in contact with one another. Smaller rocks should fill the voids.
- When in contact with moving water, riprap will tie into a stable bank at the downstream end and will be keyed into the bank at the upstream end. Riprap should extend 3' ft. above the ordinary high water mark or to the top of the bank on short slopes. Extend riprap a minimum 10 ft. beyond active erosion area.

Maintenance

- All installations should be inspected immediately after the first rainfall to confirm the stability of the placed material. Follow-up inspections should occur regularly and provisions made for prompt repair if needed.

Limitations

- Area is cleared prior to the addition of riprap, therefore no areas are preserved with native vegetation.

SIZE OF TYPICAL RIPRAP STONES

Weight (lbs.)	Average Spherical Diameter (in.) D_{50}	Typical Rectangular Stone Length (in.)	Typical Rectangular Stone Width (in.)
50	10	18	10
100	15	21	12
150	18	24	14
200	21	27	16
300	24	30	18
400	27	33	20
500	30	36	22
1000	36	42	24
1500	42	48	28
2000	48	54	32
4000	60	66	40
6000	72	78	48
8000	84	90	56

Source: Adapted from USDA NRCS



S51 SILT FENCE SPECIFICATIONS

When

- A temporary measure for preventing sediment movement.

Why

- Used to prevent sediment suspended in runoff from leaving an earth change area.

Where

- Use adjacent to critical areas, wetlands, base of slopes, and watercourses.

How

- Install parallel to a contour.
- The silt fence should be made of woven geotextile fabric.
- Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2 (v:h).
- Dig a 6" trench along the area where the fence is to be installed.
- Place 6" of the silt fence bottom flap into the trench.
- Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence.
- Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12".
- Staple the geotextile fabric to the wooden stakes.
- Join sections of silt fence by wrapping ends together (See drawing).

Maintenance

- Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately.
- If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site.
- The fence should be re-installed if water is seeping underneath it or if the fence has become ineffective.
- Silt fence should be removed once vegetation is established and up-slope area has stabilized.



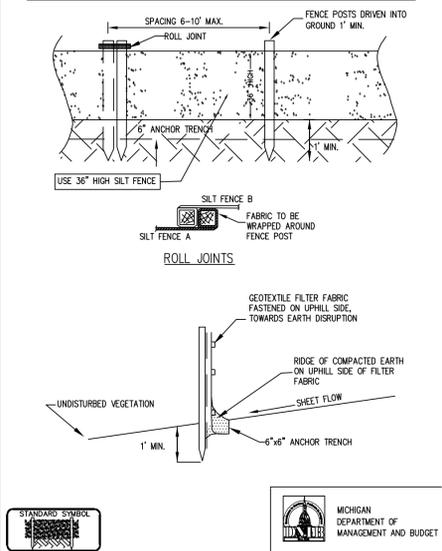
S51 SILT FENCE SPECIFICATIONS (cont.)

Limitations

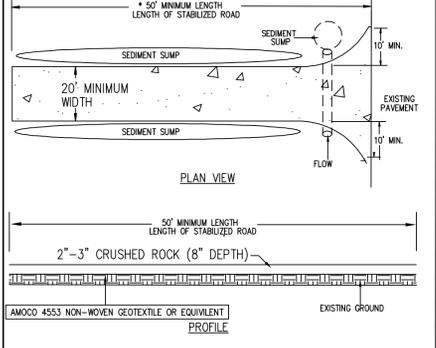
- Silt fence may cause temporary ponding and could fail if too much water flows through the area.
- Do not use in areas with concentrated flows.
- Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed.



S51 SILT FENCE



S53 STABILIZED CONSTRUCTION ACCESS



NOTES:

- Establish stabilized construction entrance prior to the initiation of site construction activities.
- Care should be taken to prevent material movement into adjacent wetlands/waterbodies.
- Care should be taken to maintain existing roadside drainage via culvert installation, with sediment sump placed downflow of culvert.



STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS (S53)

Maintenance (cont.)

- Sediment deposited on public rights-of-way shall be removed immediately and returned to the construction site.
- If soils are such that washing of tires is required, it shall be done in a wash rock area, stabilized with stone, immediately prior to the construction access stabilized corridor.
- At the project completion, rock access road should be removed and disposed of unless utilized as subgrade for final road.
- Effectiveness limited, sediment may be tracked onto roads requiring additional action.



STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS (S53)

When

- Construction traffic is expected to leave a construction site.
- Stabilization of interior construction roads is desired.

Why

- To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation.

Where

- Stabilized construction entrances shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor.

How

- Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project.
- Installation of this practice should be the responsibility of the site clearing or excavating contractor.
- Access location should be cleared of woody vegetation.
- Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone.
- Access size should be a minimum of 50'. (30' for single residence lot).
- Access width should be 12" minimum, flared at the existing road to provide a turning radius.
- Crushed aggregate (2" to 3"), or reclaimed or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor.

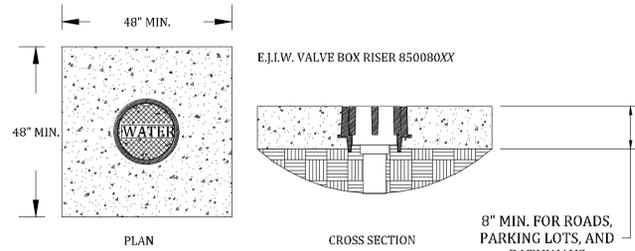
Maintenance

- Periodic inspection and needed maintenance shall be provided after each rain event.
- Stabilized entrances shall be repaired and rock added as necessary.

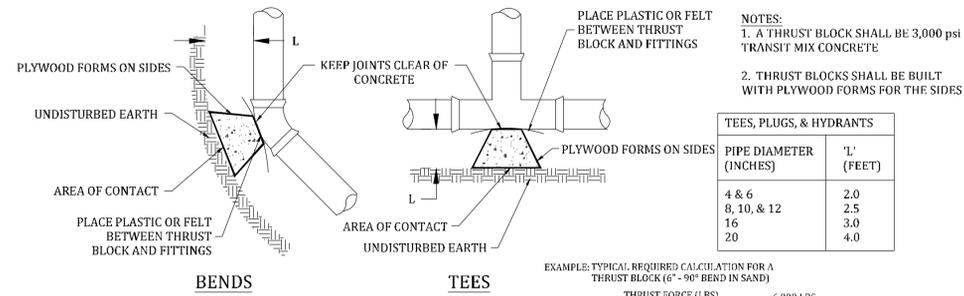


E-93644-PH4-SESC-STORMDETAILS
 E-93644
 SURVEY#88667.TOP

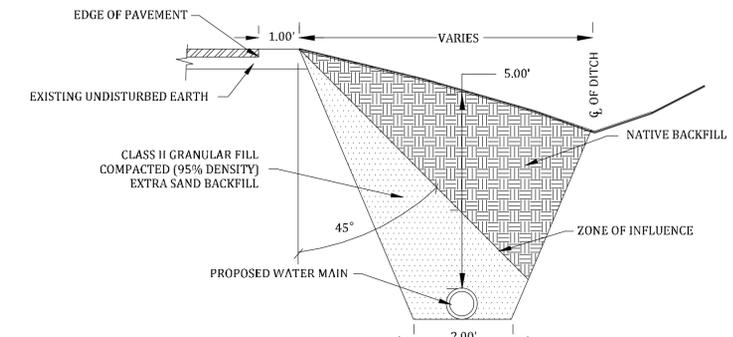
	REVISIONS 3-10-23 SUBMITTAL 8-10-23 TWP REV 10-17-23 SUP	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800	
	Elevation Ph 4 SESC DETAIL SHEET		
	SCALE: NONE DATE: 3-7-19 AUTHORIZED BY: OKEMOS POINTE III, LLC	DESIGNER: A.J.P. PROJECT MGR. A.J.P. JOB #: 93644	APPROVED BY: A.J.P. SHEET 14 OF 14 JOB #: 93644



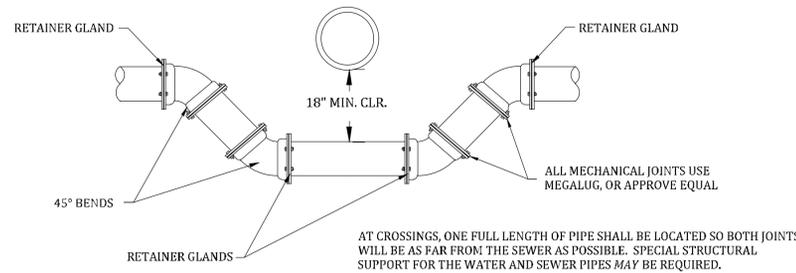
VALVES & CURB STOP BOXES IN CONCRETE



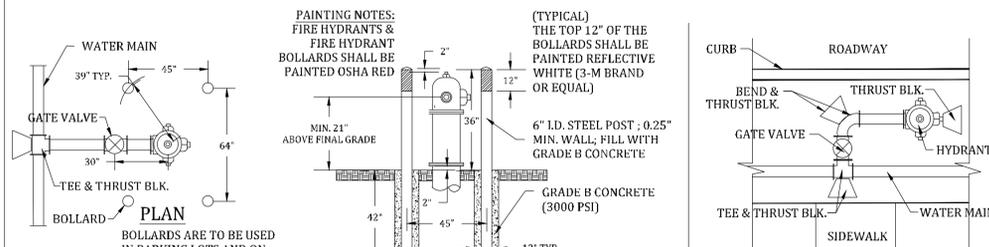
THRUST BLOCK PLAN VIEWS



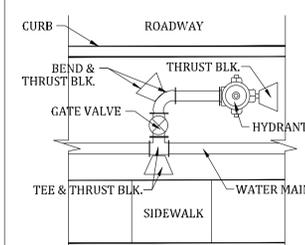
TYPE-1 TRENCH CROSS SECTION



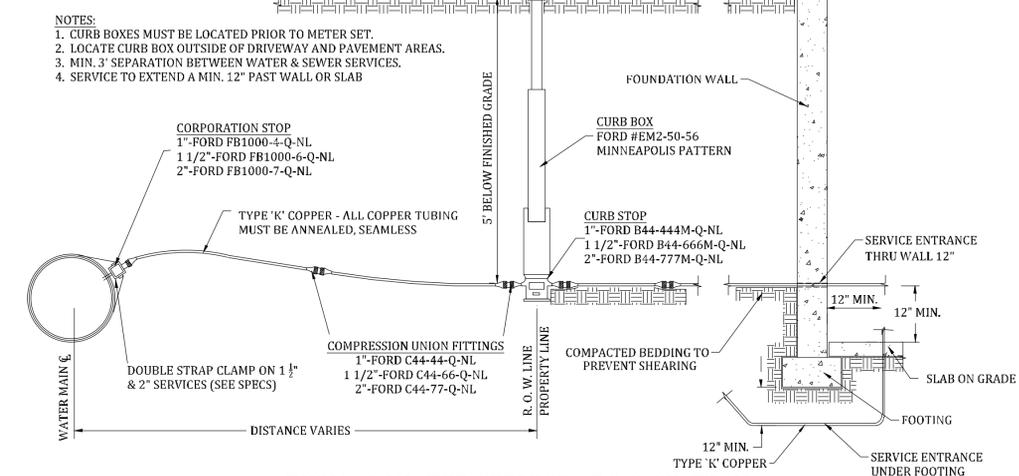
LOWERING WATER MAIN CROSS SECTION



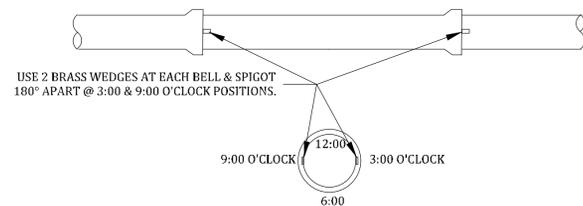
BOLLARDS AROUND FIRE HYDRANT



ALTERNATE LAYOUT FOR CONFINED AREAS



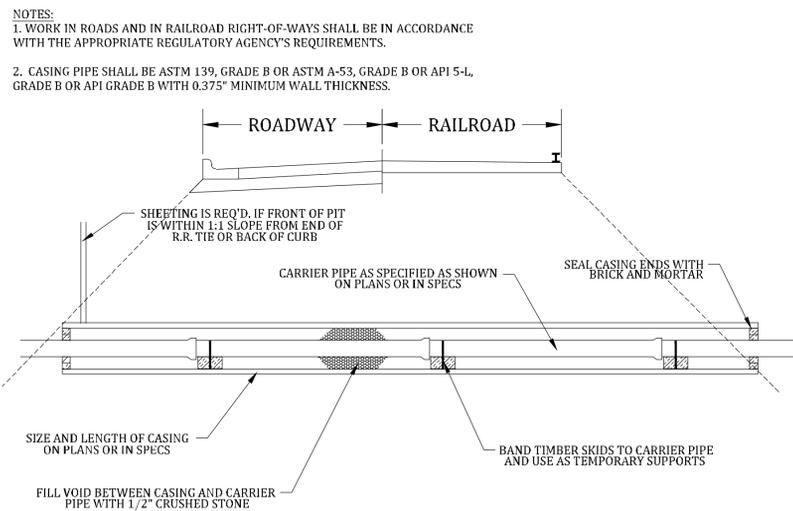
TYPICAL WATER SERVICE CROSS SECTION



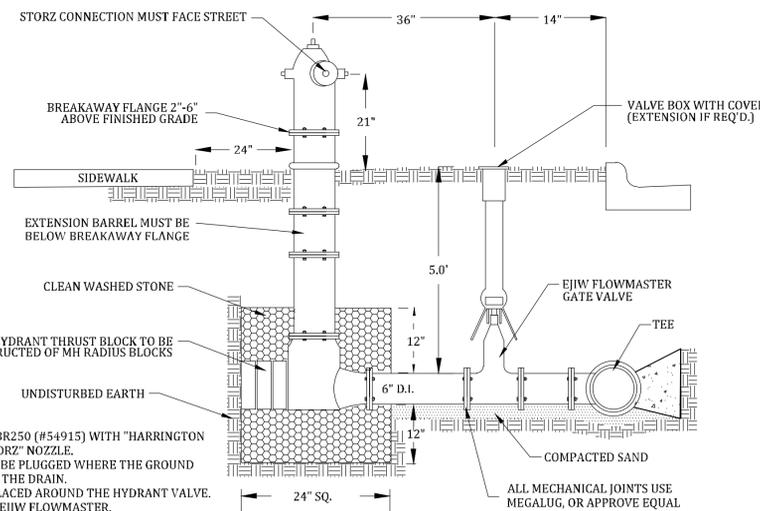
WATER MAIN JOINT DETAILS

GENERAL NOTES:

1. ALL WATER PIPES, PING FITTINGS, PLUMBING FITTINGS AND FIXTURES THAT ARE USED FOR POTABLE WATER MUST COMPLY WITH NEW LEAD-FREE REQUIREMENT AND MUST BEAR THE MARK NSF/ANSI STANDARD 61, ANNEX G OR NSF-61-G.
2. ALL VALVES SHALL BE EJIW FLOWMASTER GATE VALVES, OPEN LEFT.
3. POLYETHYLENE ENCASUREMENT IS REQUIRED AROUND ALL PIPES, FITTINGS, AND VALVES. THE ENCASUREMENT SHALL BE V-BIO@ ENHANCED POLYETHYLENE ENCASUREMENT, INSTALLED PER THE MANUFACTURER'S INSTRUCTIONS.



CASING INSTALLATION DETAIL FOR ROADS & RAILROADS
CASING AND CARRIER PIPE TO BE INSTALLED BY METHOD OTHER THAN OPEN CUT

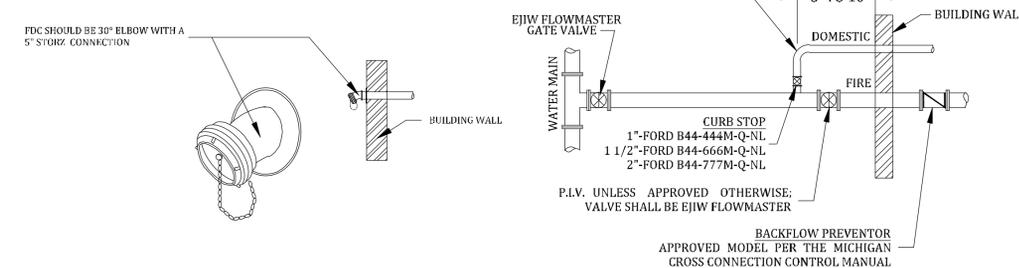


NOTES:

1. HYDRANT TO BE EJIW 5BR250 (#54915) WITH "HARRINGTON INTEGRAL HYDRANT STORZ" NOZZLE.
2. HYDRANT DRAIN SHALL BE PLUGGED WHERE THE GROUND WATER LEVEL IS ABOVE THE DRAIN.
3. STONE SHALL NOT BE PLACED AROUND THE HYDRANT VALVE.
4. GATE VALVES SHALL BE EJIW FLOWMASTER.

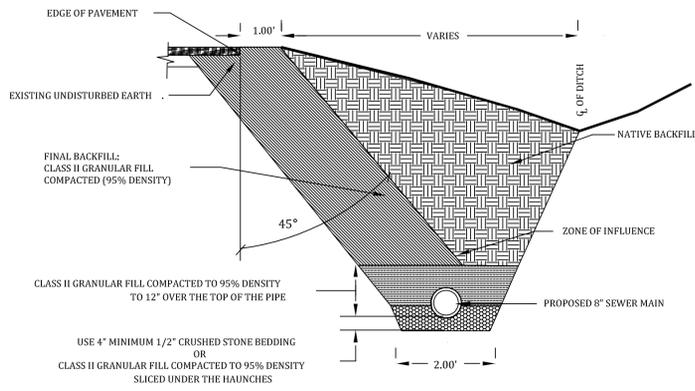
TYPICAL HYDRANT ASSEMBLY DETAIL

NOTE: ALL WATER PIPES, PING FITTINGS, PLUMBING FITTINGS AND FIXTURES THAT ARE USED FOR POTABLE WATER MUST COMPLY WITH NEW LEAD-FREE REQUIREMENT AND MUST BEAR THE MARK NSF/ANSI STANDARD 61, ANNEX G OR NSF-61-G.



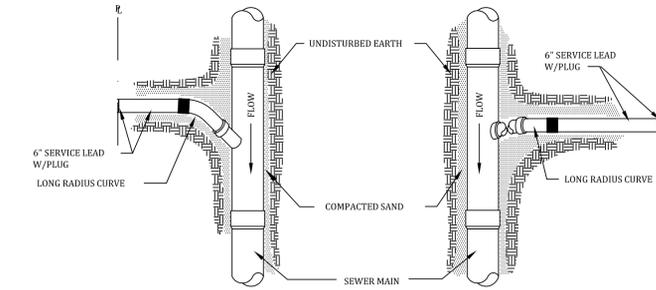
FIRE PROTECTION VALVING PLAN VIEW

Meridian Charter Township Ingham County, Michigan Public Works Department		REVISIONS:		
		DATE:	BY: COMMENTS:	
		01/13/07	JG	Add Fire Hydrant Bollards
STANDARD DETAILS FOR WATER DISTRIBUTION SYSTEM		03/31/09	JG	Clarify Curb Stop Models
		01/12/10	JG	Clarify PIV
		10/22/12	JG	Clarify Water Service Make & Size
		06/13/14	JG	Clarify Curb Box Manufacturer & Model
		10/13/17	JG	Water Crossing Note - Full Length Pipe
		01/10/20	NN	Reorganize
		04/02/21	NN	Add 30° Elbow & Storz to FDC
		06/11/21	NN	General Notes incl. GV & V-Bio Encasement
		SCALE: NTS	PAGE: * OF *	FILE: Water Detail Sheet 2021.dwg
		DRAWN BY:	CHECKED BY:	



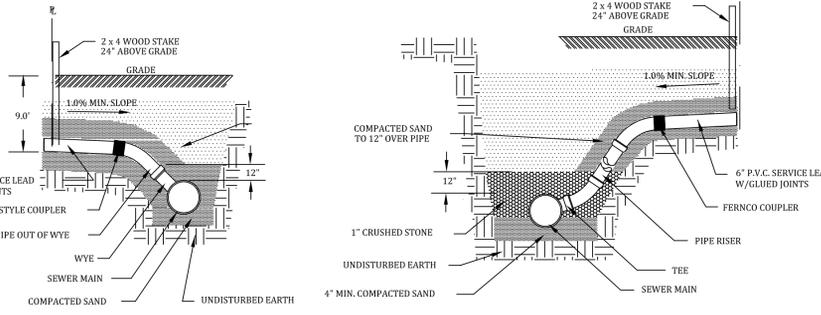
CLASS-B TRENCH DETAIL

- NOTES:**
- LEADS AND RISERS SHALL BE CONSTRUCTED OF MATERIALS AS SPECIFIED AND OF SIZES AS SHOWN ON THE PLANS.
 - DEPTH AT PROPERTY LINE SHALL BE 9' UNLESS OTHERWISE SHOWN ON THE PLANS.
 - IF CONCRETE PIPE IS USED, AN ASBESTOS CEMENT BELLS TO BE CAST IN THE WALL OF THE PIPE FOR USE AS A TIE BRANCH.
 - FERRO-STYLE FLEXIBLE COUPLINGS SHALL BE USED WHEN CONNECTING THE HOUSE TO THE STUB.
 - MIN. 3" SEPARATION BETWEEN WATER & SEWER SERVICES.
 - ALL REFERENCES TO STONE BEDDING SHALL MEAN CRUSHED STONE.



PLAN WITHOUT RISER

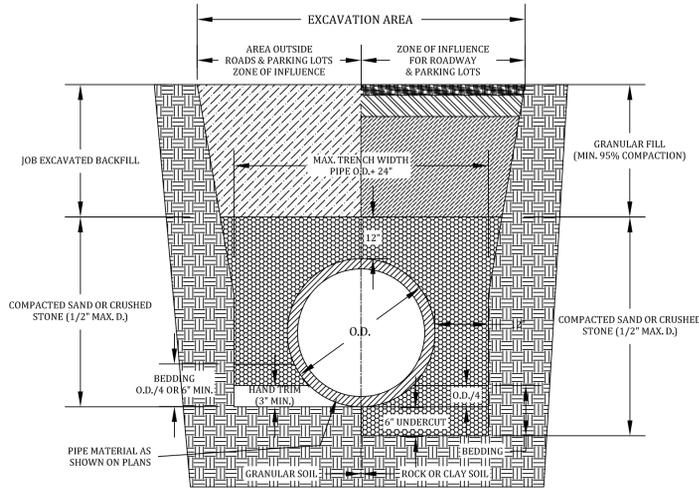
PLAN WITH RISER



SECTION WITHOUT RISER

SECTION WITH RISER

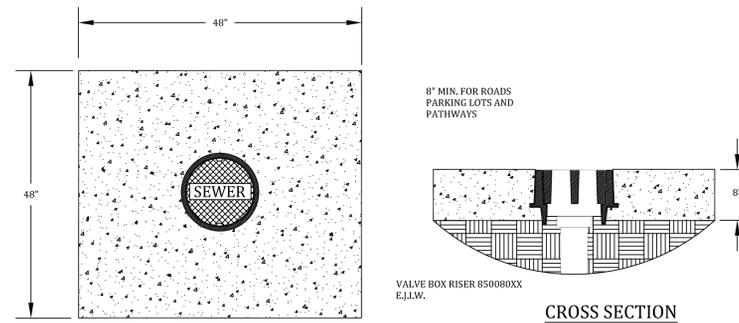
SERVICE/CONNECTION DETAIL



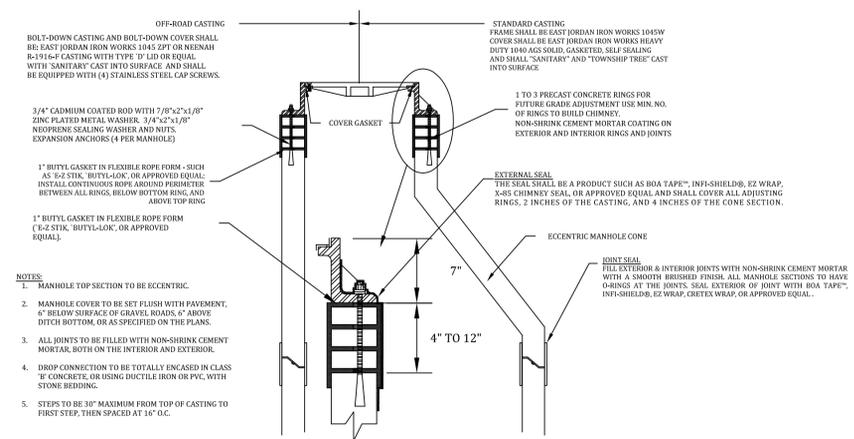
TYPICAL TRENCH DETAIL (SDR26 PVC ONLY)

THE PVC (SDR-26) PIPE MATERIAL SHALL CONFIRM TO ASTM D 2241, WITH BELL AND SPIGOT JOINTS IN ACCORDANCE WITH ASTM F 47. PIPE INSTALLATION SHALL BE IN ACCORDANCE WITH ASTM D 2321. ALL PIPE SHALL BE MARKED TO PROVIDE ASTM DESIGNATIONS, SDR NUMBER, MANUFACTURER'S NAME AND PIPE DIAMETER.

THE CONTRACTOR SHALL TEST THE MAIN FOR DEFLECTION BY PULLING A MANDREL THROUGH THE SEWER AFTER ALL BACKFILL HAS BEEN PLACED AND COMPACTED OVER THE PIPE. THE MAXIMUM ALLOWABLE DEFLECTION SHALL NOT EXCEED 5% OF THE PIPE'S INSIDE DIAMETER. THE OUTSIDE DIAMETER OF THE TEST MANDREL SHALL BE EQUAL TO THE TO THE INSIDE DIAMETER OF THE PIPE LESS 5%. THE INITIAL TEST SHALL BE PERFORMED AT LEAST 30 DAYS AFTER PIPE INSTALLATION. A SECOND TEST SHALL BE PERFORMED AFTER 10 MONTHS OF PIPE INSTALLATION.

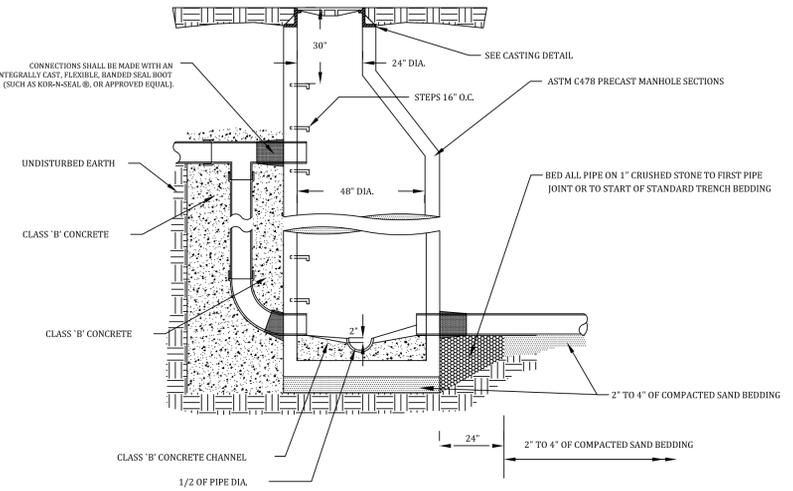


CLEANOUT BOXES IN CONCRETE

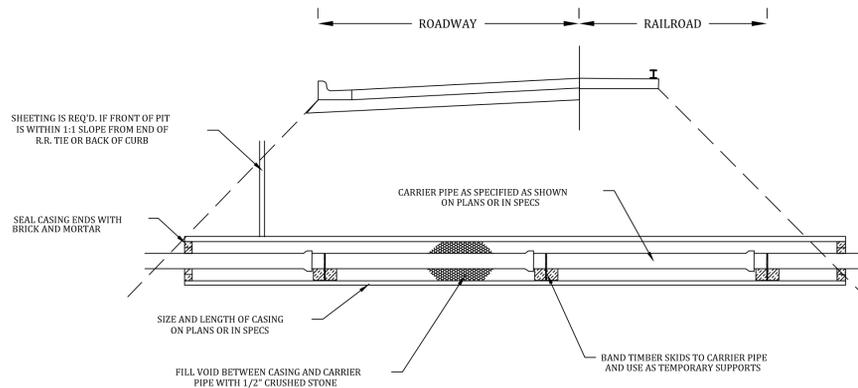


MANHOLE CASTING DETAIL

- NOTES:**
- MANHOLE TOP SECTION TO BE ECCENTRIC.
 - MANHOLE COVER TO BE SET FLUSH WITH PAVEMENT, 6\"/>

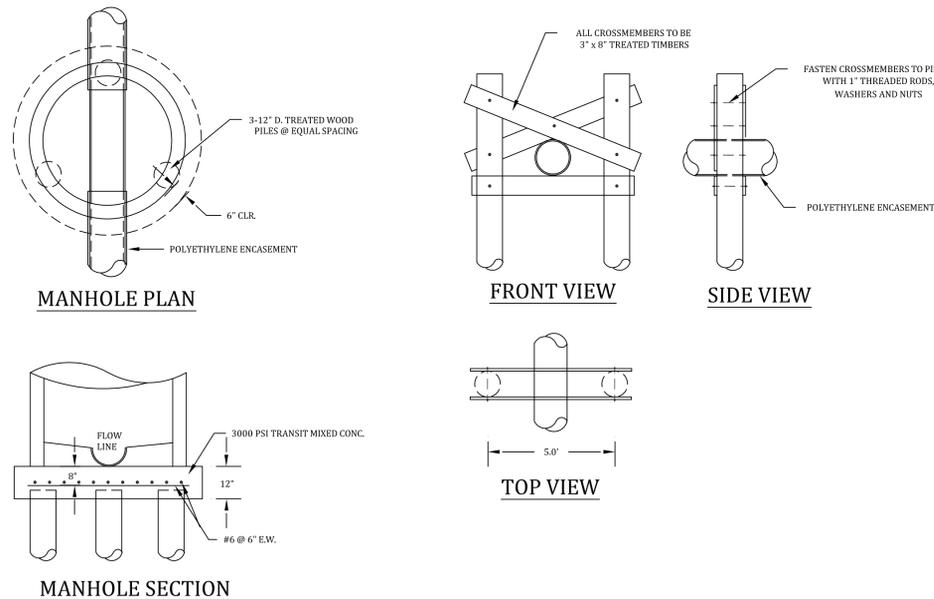


MANHOLE-SECTION DETAIL

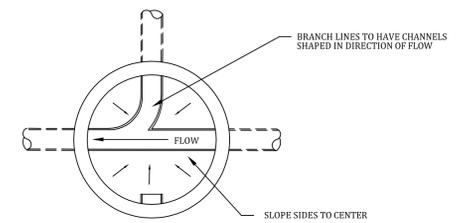


CASING INSTALLATION DETAIL FOR ROADS & RAILROADS

- NOTES:**
- WORK IN ROAD OR RAILROAD RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH THE APPROPRIATE REGULATORY AGENCY'S REQUIREMENTS.
 - CASING PIPE SHALL MEET THE GRADE B REQUIREMENTS OF ASTM 139, ASTM A-53, OR API 5-L, WITH 0.375\"/>



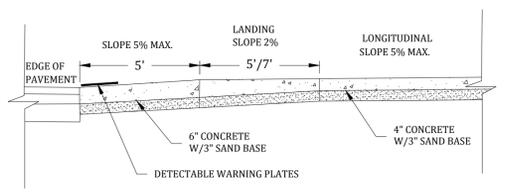
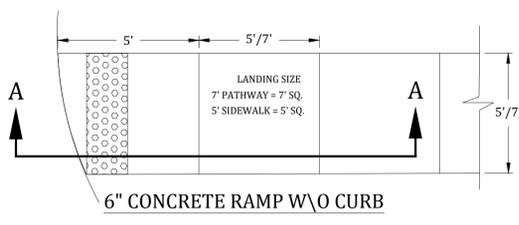
PILING DETAILS



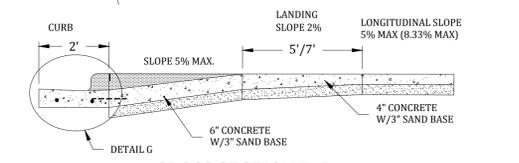
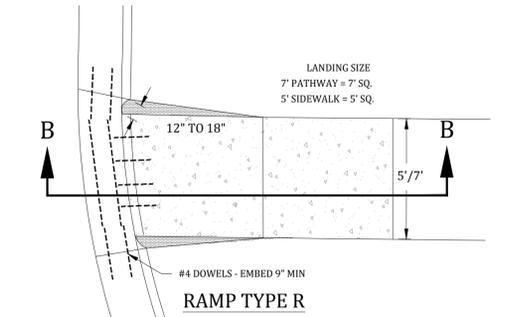
MANHOLE FLOWLINE PLAN

NOTE: USE A HALF PIPE AS A FORM FOR A CONCRETE FLOW CHANNEL.

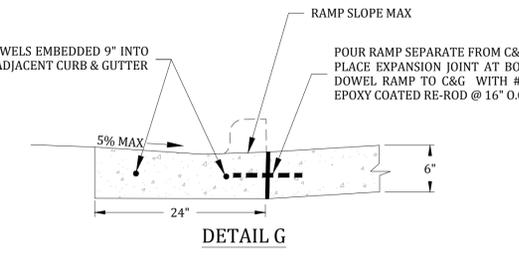
Meridian Charter Township		REVISIONS:	
Ingham County, Michigan		DATE:	BY:
Public Works Department		04/1996	JG
		07/02/99	JG
		01/13/00	JG
		05/12/08	JG
		07/31/12	JG
		05/15/15	JG
		01/10/20	NN
		03/09/21	NN
		03/23/21	NN
STANDARD DETAILS FOR SANITARY SEWER SYSTEM		SCALE:	COMMENTS:
		NTS	Computer Generated
			Add Bolts to Casting Detail
			Add SDR 26 Detail
			Add "Wrapidseal" & Grout to Casting Detail
			Clarified "Crushed Stone"
			Add Cleanout in Concrete
			Reorganize
			Butyl btwn Rings
			Additional Chimney/Join Seal
DRAWN BY: MK 03/1983		CHECKED BY: JB 03/1983	FILE:
			Sewer Detail Sheet
			2018.dwg
			PAGE:
			4 OF 4



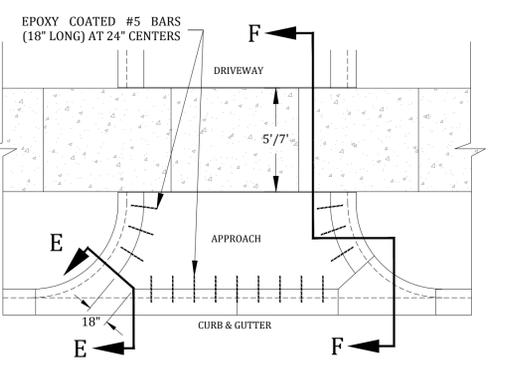
CROSS SECTION A-A



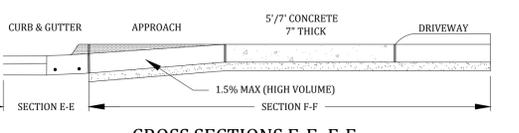
CROSS SECTION B-B



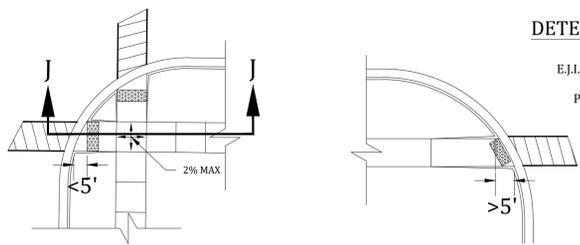
DETAIL G



TYP. COMMERCIAL DRIVEWAY PLAN

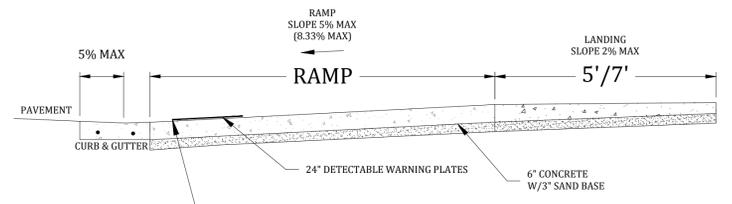


CROSS SECTIONS E-E, F-F



RAMPS LOCATED IN RADIUS

RAMP LOCATED IN RADIUS

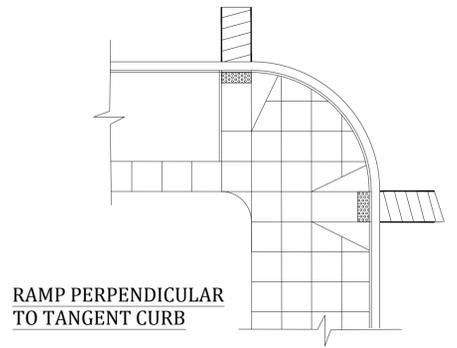


SECTION J-J

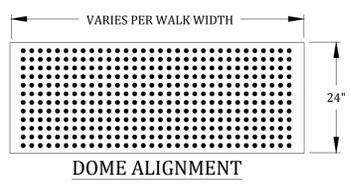
GRADE BREAKS AT THE TOP AND BOTTOM OF PERPENDICULAR CURB RAMPS SHALL BE PERPENDICULAR TO THE DIRECTION OF TRAVEL. AT LEAST ONE END OF THE BOTTOM GRADE BREAK SHALL BE AT THE BACK OF CURB.

DETECTABLE WARNING DETAILS

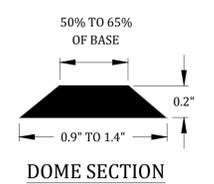
E.J.L.W. 7005 DETECTABLE WARNING PLATE
SIZES AVAILABLE 12", 18" & 24"
PLATES MUST BE ASPHALTIC COATED



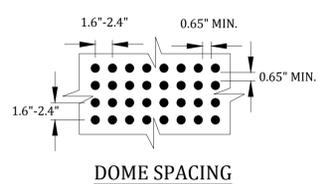
RAMP PERPENDICULAR TO TANGENT CURB



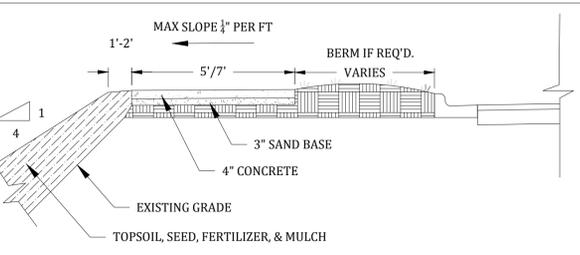
DOMES ALIGNMENT



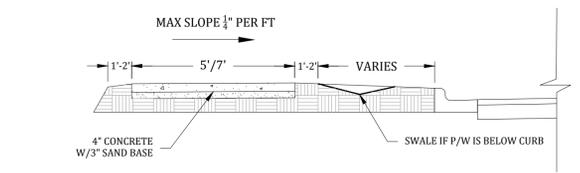
DOMES SECTION



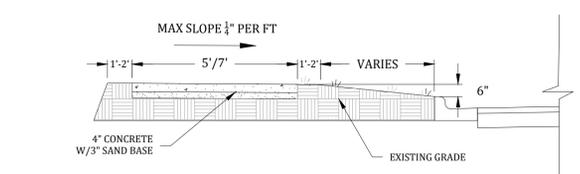
DOMES SPACING



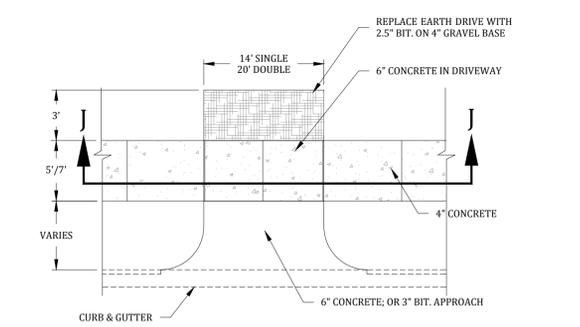
EMBANKMENT & BERM CROSS SECTION



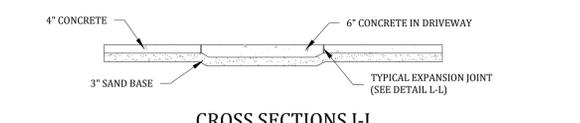
SWALE CROSS SECTION



TYPICAL CROSS SECTION

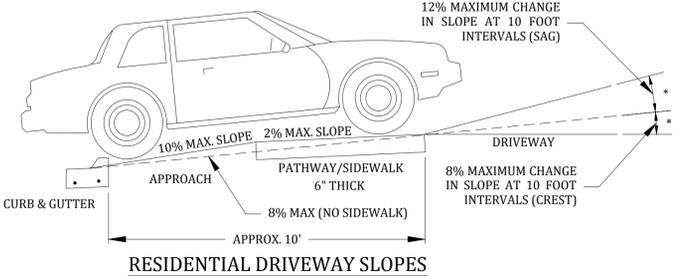


TYP. RESIDENTIAL DRIVEWAY PLAN

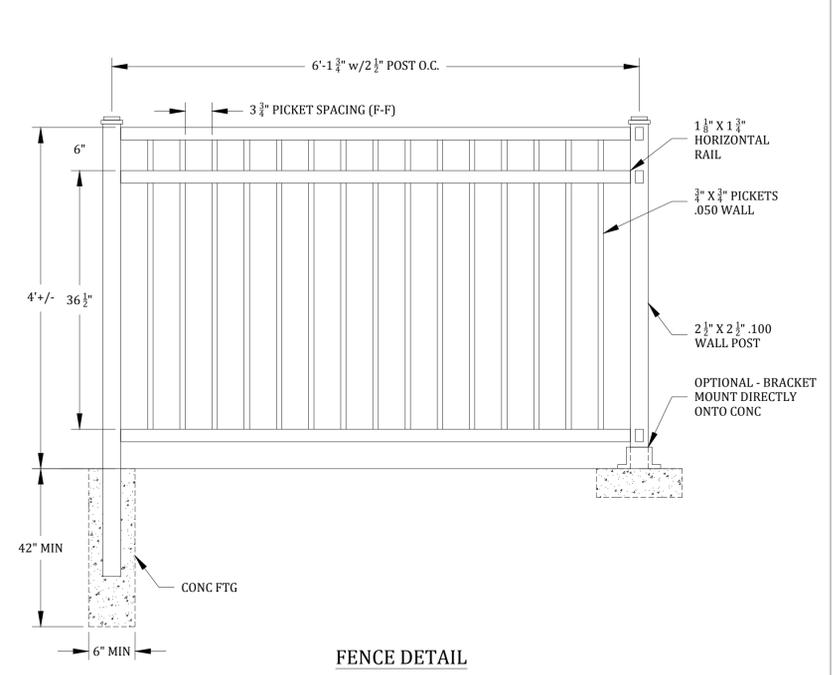


CROSS SECTIONS J-J

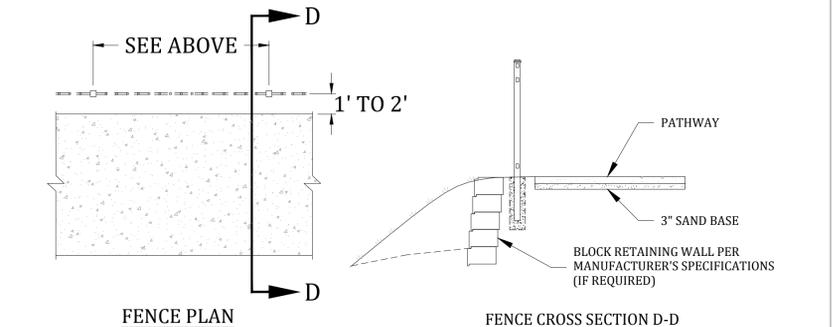
- GENERAL NOTES
1. SIDEWALKS/PATHWAYS SHALL BE 4" THICK CONCRETE EXCEPT AT DRIVEWAYS.
 2. SIDEWALKS/PATHWAYS THRU DRIVES SHALL BE: 6" (RESIDENTIAL); 7" (MULTI-RESIDENTIAL & COMMERCIAL)
 3. 3" OF COMPACTED SAND BASE SHALL BE PLACED UNDER ALL SIDEWALKS/PATHWAYS.
 4. ALL BITUMINOUS APRONS SHALL BE 2 1/2" THICK UNLESS NOTED OTHERWISE
 5. PROPERTY IRONS SHALL BE MAINTAINED BY THE CONTRACTOR.
 6. ALL EXISTING CONCRETE AND BITUMINOUS TO BE REMOVED SHALL BE SAWCUT. ALL CONCRETE AND BITUMINOUS REMOVAL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
 7. ALL AGGREGATE BASE SHALL BE 22A, 4" THICK.
 8. ALL TREE AND BUSH REMOVAL SHALL BE CONSIDERED PART OF SUB-GRADE PREPARATION.
 9. LOCATION OF NEW PLANT MATERIAL SHALL BE AS DIRECTED BY THE ENGINEER, AND SHALL BE INSTALLED IN ACCORDANCE WITH GUIDELINES ESTABLISHED BY THE A.A.O.N.
 10. ALL PLANT MATERIAL NOT MARKED FOR REMOVAL SHALL BE PROTECTED.
 11. BITUMINOUS DRIVES SHALL BE SAWCUT 18" ON EITHER SIDE OF PROPOSED PATHWAY.



RESIDENTIAL DRIVEWAY SLOPES



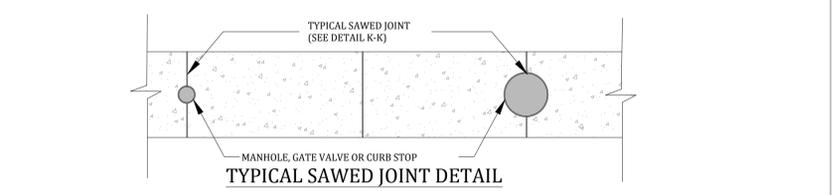
FENCE DETAIL



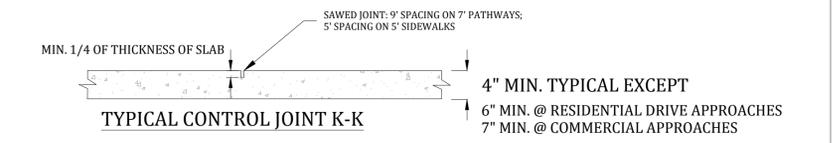
FENCE PLAN

FENCE CROSS SECTION D-D

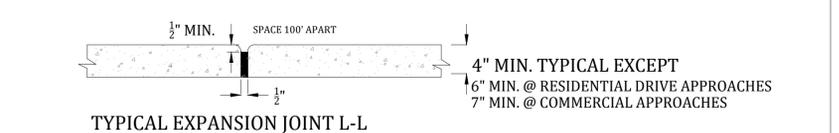
NOTE: FENCE POSTS CAN BE ANCHORED TO THE PATHWAY, THEN PATHWAY MUST BE WIDENED TO EIGHT FEET



TYPICAL SAWED JOINT DETAIL



TYPICAL CONTROL JOINT K-K



TYPICAL EXPANSION JOINT L-L

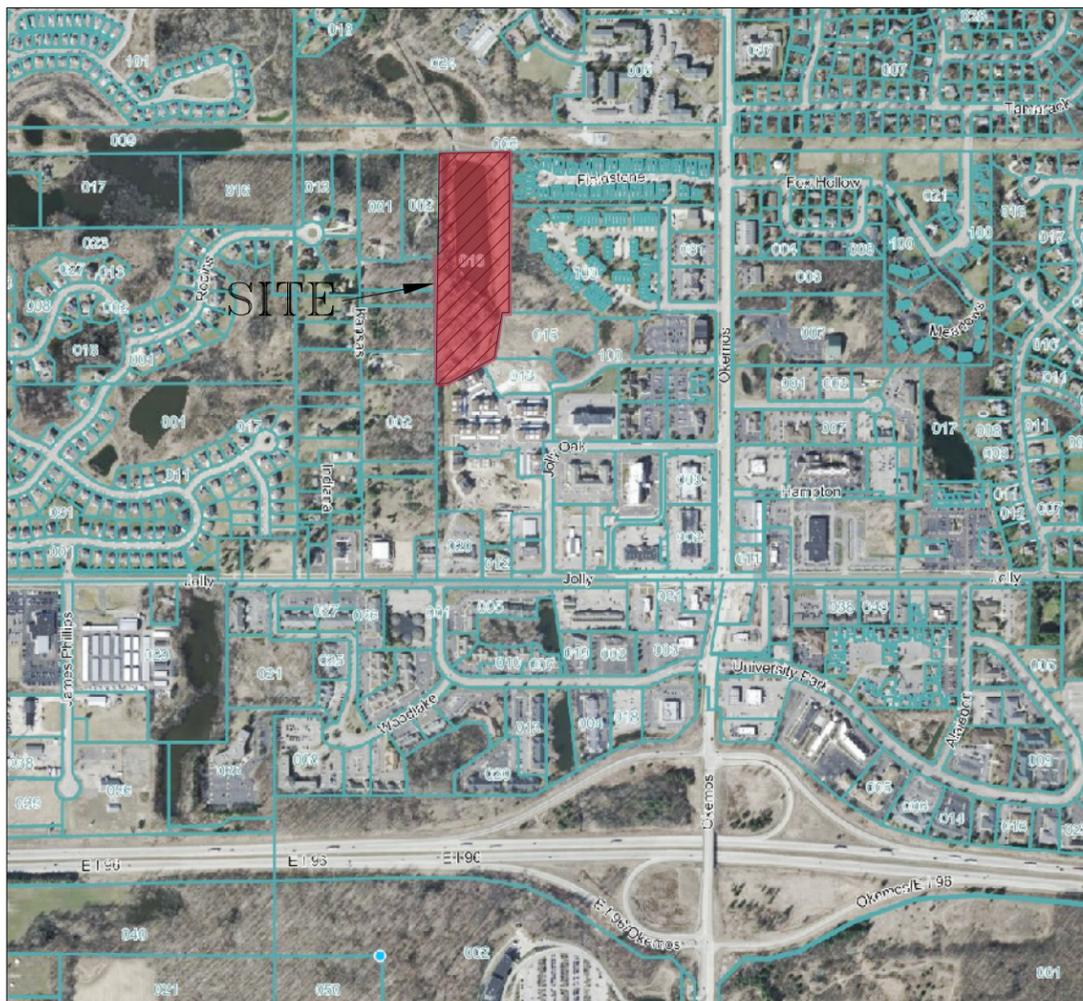
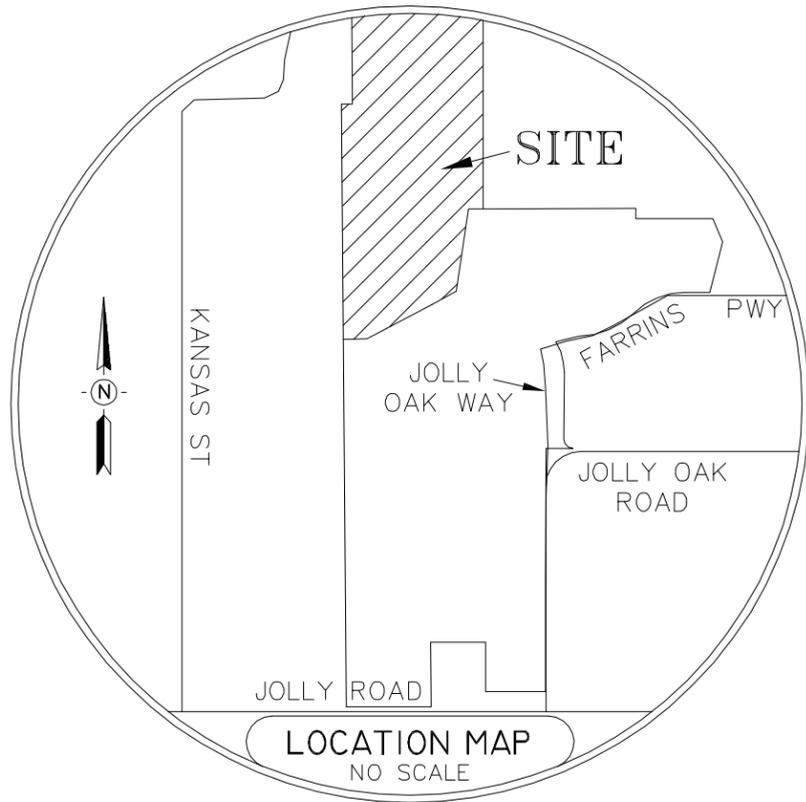
Meridian Charter Township
Ingham County, Michigan
ENGINEERING

5' SIDEWALK & 7' PATHWAY
DETAIL SHEET

REVISIONS:		
DATE:	BY:	COMMENTS:
04/30/03	JG	ADD REBAR TO CURB & GUTTER
08/01/05	JG	CLARIFY RAMP DETAILS
12/20/06	JG	FENCE POST IN PVC PIPE W/SAND
12/29/08	JG	RAMPS W/ DETECTABLE WARNING PLATES
08/14/09	NN	LANDING CROSS SECTIONS
03/18/16	JG	DOWEL DETAIL FOR NEW/EX CONCRETE
01/22/18	NN	SPEC & DETAIL SHEET OVERHAUL
04/12/19	NN	FENCE & RET. WALL REVISION
12/03/20	NN	FENCE REVISION

DRAWN BY: JG 08/01/05 CHECKED BY: YI 08/01/05

SCALE: NONE PAGE: - OF - PAGE: PATHWAY DETAIL SHEET 2021.DWG



PHASE 4 LEGAL DESCRIPTION:

A parcel of land in the Southwest 1/4 of Section 33, T4N, R1W, Meridian Township, Ingham County, Michigan, the boundary of said parcel described as: Commencing at the Southwest corner of said Section 33; thence N89°46'20"E along the South line of said Section 33 a distance of 858.00 feet; thence N00°36'06"W parallel with the West line of Section 33 a distance of 1217.85 feet to the point of beginning of this description; thence continuing N00°36'06"W parallel with said West line 778.71 feet; thence N89°46'12"E 35.84 feet; thence N00°27'14"W 642.58 feet to the East-West 1/4 line of said Section 33; thence N89°44'23"E along said East-West 1/4 line 433.70 feet to the West line of Fieldstone Village Condominium, Subdivision Plan No. 184, Ingham County Records; thence S00°18'07"E along said West line and the West line of Coyote Creek Condominium, Subdivision Plan No. 82, Ingham County Records, a distance of 989.98 feet; thence S89°45'08"W 49.74 feet; thence S08°19'09"W 276.80 feet; thence S61°38'16"W 333.53 feet; thence S89°23'54"W 78.22 feet to the point of beginning.



KEBS, INC.

2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

Marshall Office
Ph. 269-781-9800

REVISIONS

10-17-23 SUBMITTAL

SCALE: SEE PLAN

PROJECT MGR.
A. PATRICK

APPROVED BY: A.J.P.

DRAWN BY: A.J.P.

DATE: 10-1-23

ELEVATION PHASE 4

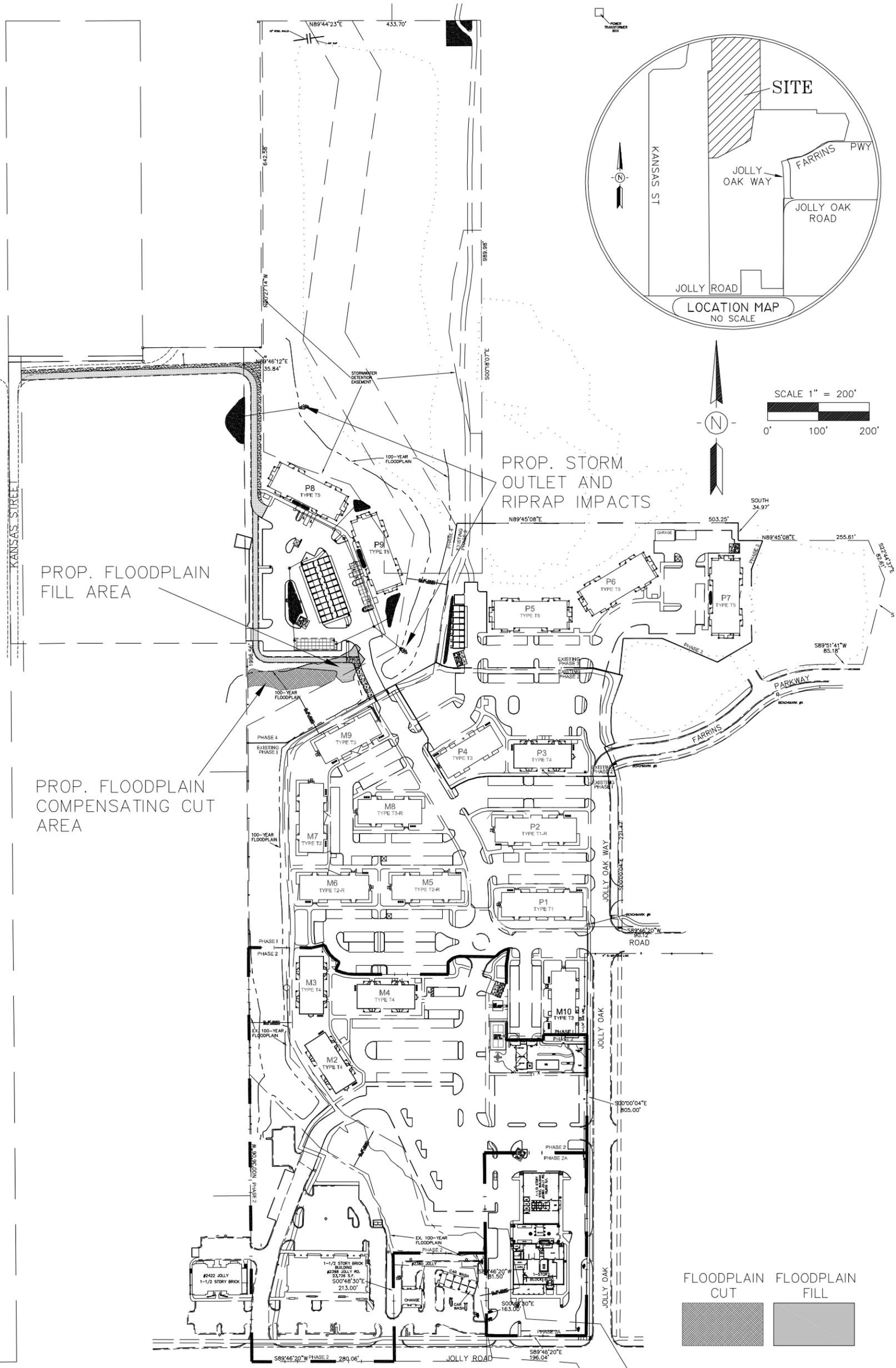
SITE LOCATION MAP

AUTHORIZED BY:

OKEMOS POINTE III, LLC

JOB #:

E-93644



KEBS, INC.

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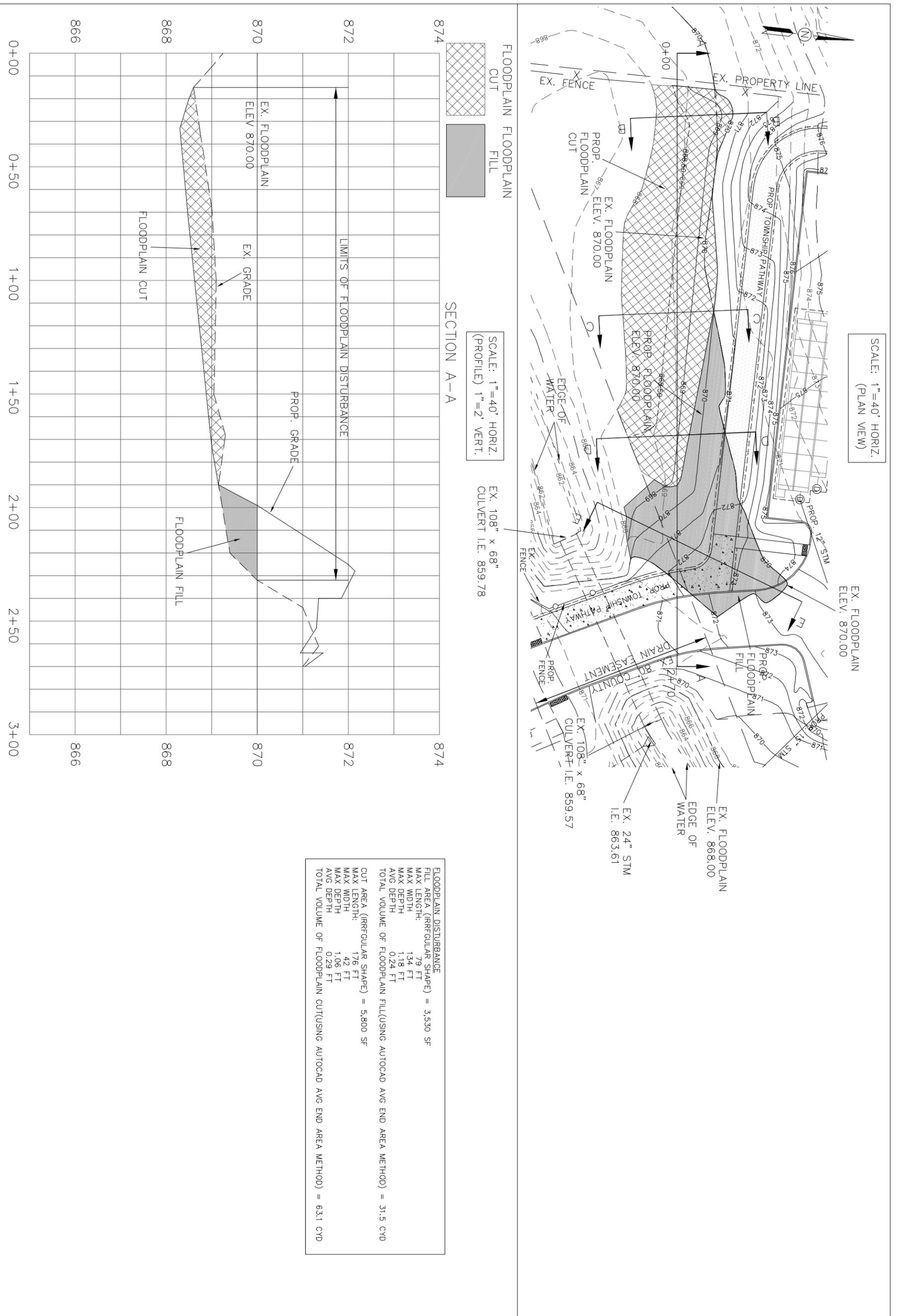
DATE: 10-1-23

ELEVATION PHASE 4

FLOODPLAIN DISTURBANCE
SITE PLAN

AUTHORIZED BY:
OKEMOS POINTE III, LLC

JOB #:
E-93644

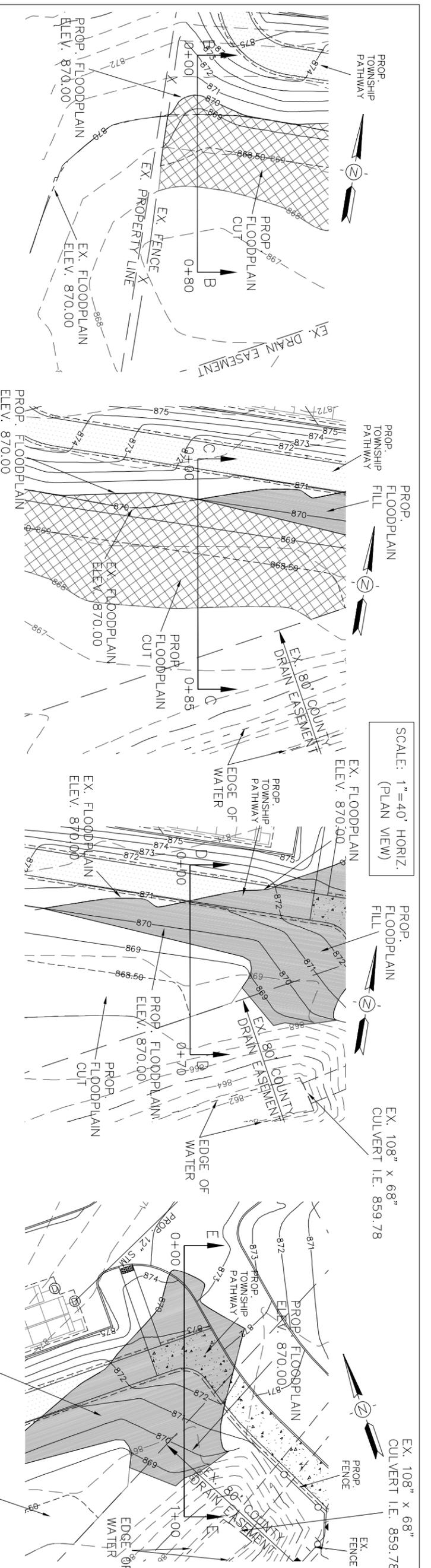


SCALE: 1" = 40' HORIZ.
(PLAN VIEW)

SCALE: 1" = 40' HORIZ.
(PROFILE) 1" = 2' VERT.

FLOODPLAIN DISTURBANCE	
FILL AREA (IRREGULAR SHAPE)	= 3,530 SF
MAX LENGTH:	79 FT
MAX WIDTH:	134 FT
MAX DEPTH:	1.18 FT
AVG DEPTH:	0.24 FT
TOTAL VOLUME OF FLOODPLAIN FILL (USING AUTOCAD AVG END AREA METHOD)	= 31.5 CYD
CUT AREA (IRREGULAR SHAPE)	= 5,800 SF
MAX LENGTH:	176 FT
MAX WIDTH:	42 FT
MAX DEPTH:	1.06 FT
AVG DEPTH:	0.29 FT
TOTAL VOLUME OF FLOODPLAIN CUT (USING AUTOCAD AVG END AREA METHOD)	= 63.1 CYD

 <p>KEBS, INC. 2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 Marshall Office Ph. 269-781-9800</p>	<p>REVISIONS</p> <p>10-17-23 SUBMITTAL</p>	<p>SCALE: SEE PLAN</p> <p>PROJECT MGR. A. PATRICK</p> <p>APPROVED BY: A.J.P.</p> <p>DRAWN BY: A.J.P.</p> <p>DATE: 10-1-23</p>	<p>ELEVATION PHASE 4 FLOODPLAIN DISTURBANCE CROSS SECTION A-A</p>		<p>SHEET 3 OF 5</p>
			<p>AUTHORIZED BY:</p> <p>OKEMOS POINTE III, LLC</p>	<p>JOB #:</p> <p>E-93644</p>	

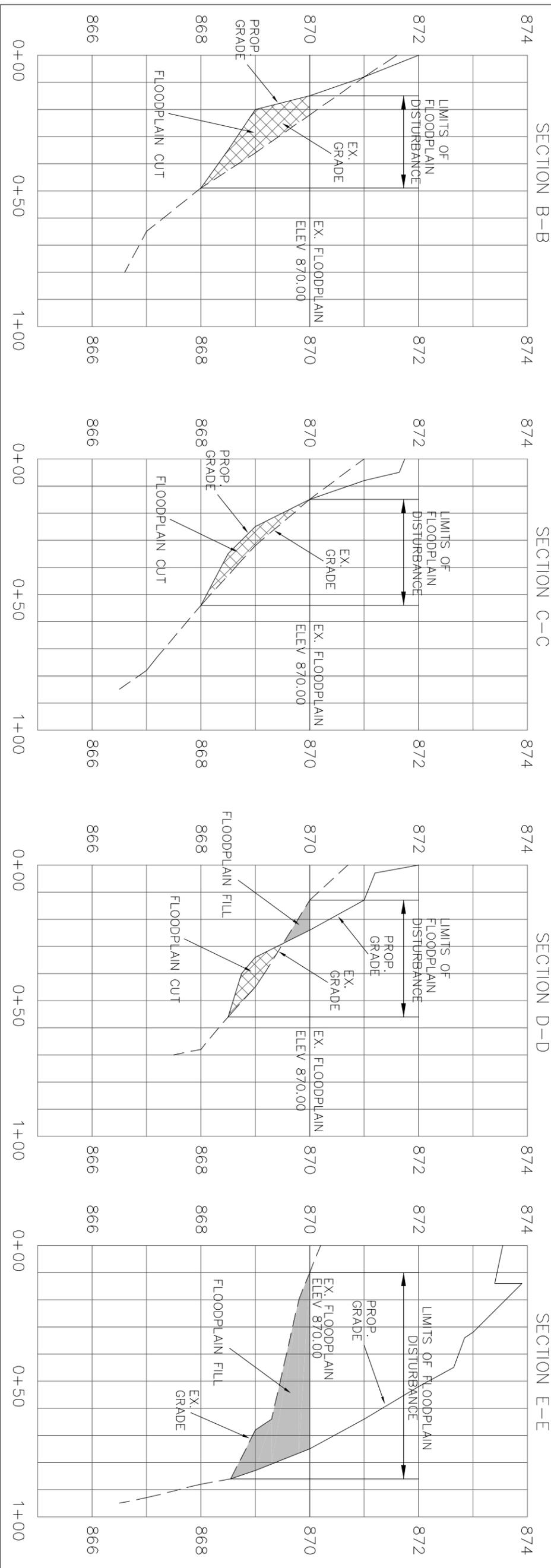


SCALE: 1"=40' HORIZ.
(PLAN VIEW)

EX. 108" x 68"
CULVERT I.E. 859.78

EX. 108" x 68"
CULVERT I.E. 859.78

SCALE: 1"=40' HORIZ.
(PROFILE) 1"=2' VERT.



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REVISIONS
10-17-23 SUBMITTAL

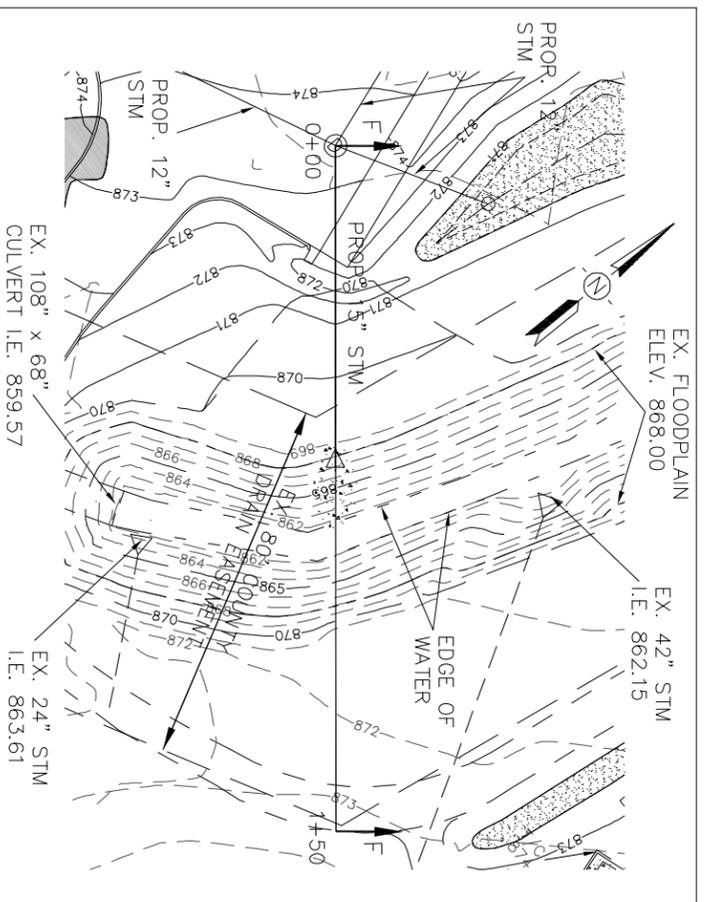
SCALE: SEE PLAN
PROJECT MGR.
A. PATRICK
APPROVED BY: A.J.P.
DRAWN BY: A.J.P.
DATE: 10-1-23

ELEVATION PHASE 4

- FLOODPLAIN DISTURBANCE
- CROSS SECTION B-B
- CROSS SECTION C-C
- CROSS SECTION D-D
- CROSS SECTION E-E

AUTHORIZED BY:
OKEMOS POINTE III, LLC

JOB #:
E-93644



SCALE: 1"=40' HORIZ.
(PLAN VIEW)

FLOODPLAIN IMPACT: STORM OUTLETS

ST#407 15" END SECTION:
 AREA: 2' LONG x ±6' WIDE = 12 SFT DISTURBANCE
 VOLUME: 12 SF x (1.33'/2 AVG DEPTH) = 8 CFT -> 0.30 CYD EXCAVATION TO PLACE STORM PIPE
 NET = 0 CYD FILL

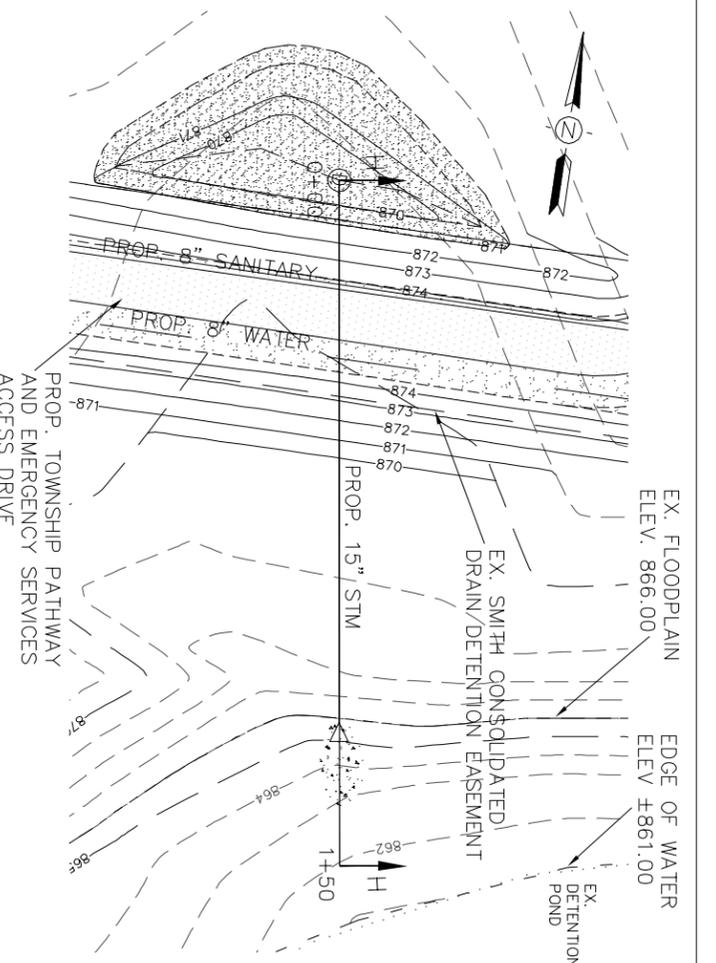
LB#401 15" END SECTION:
 AREA: 7' LONG x ±6' WIDE = 42 SFT DISTURBANCE
 VOLUME: 42 SF x (1.74'/2 AVG DEPTH) = 36.5 CFT -> 1.35 CYD EXCAVATION TO PLACE STORM PIPE
 NET = 0 CYD FILL

FLOODPLAIN IMPACT: RIPRAP

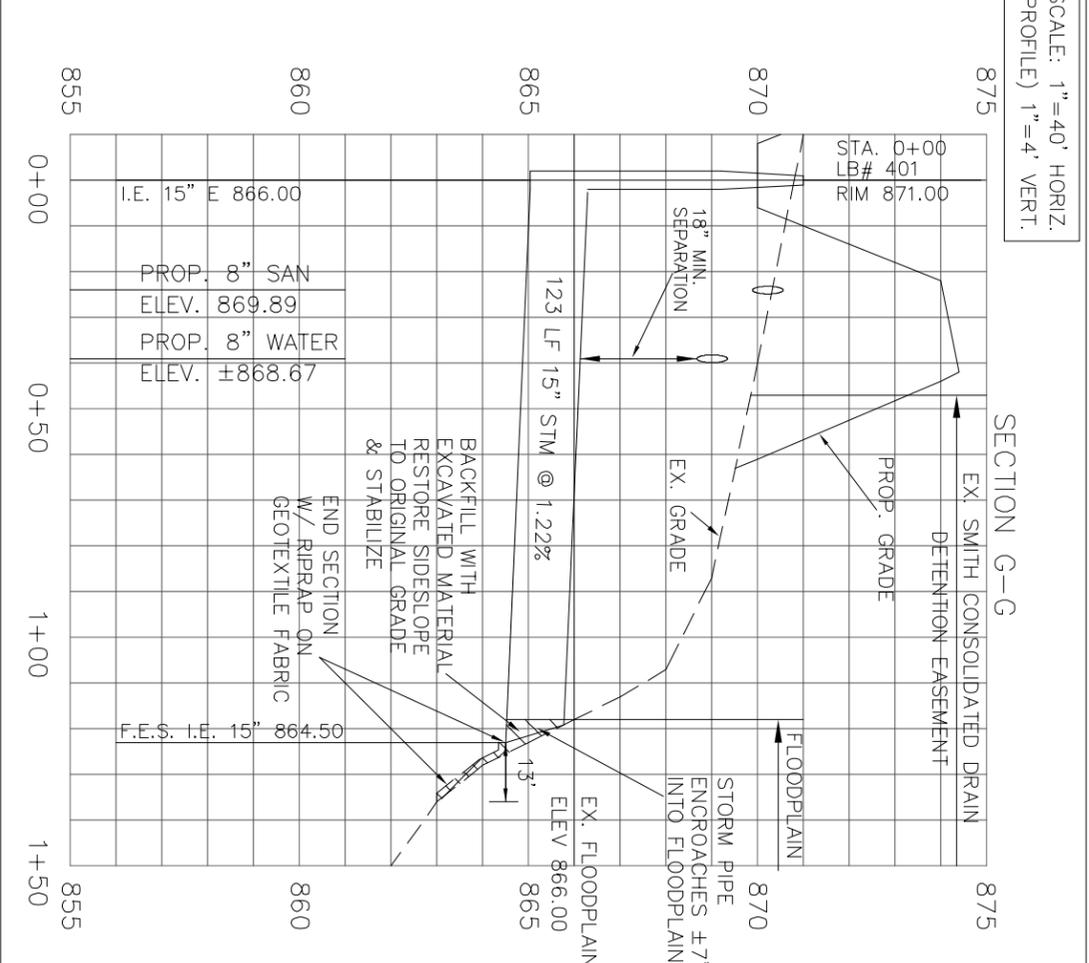
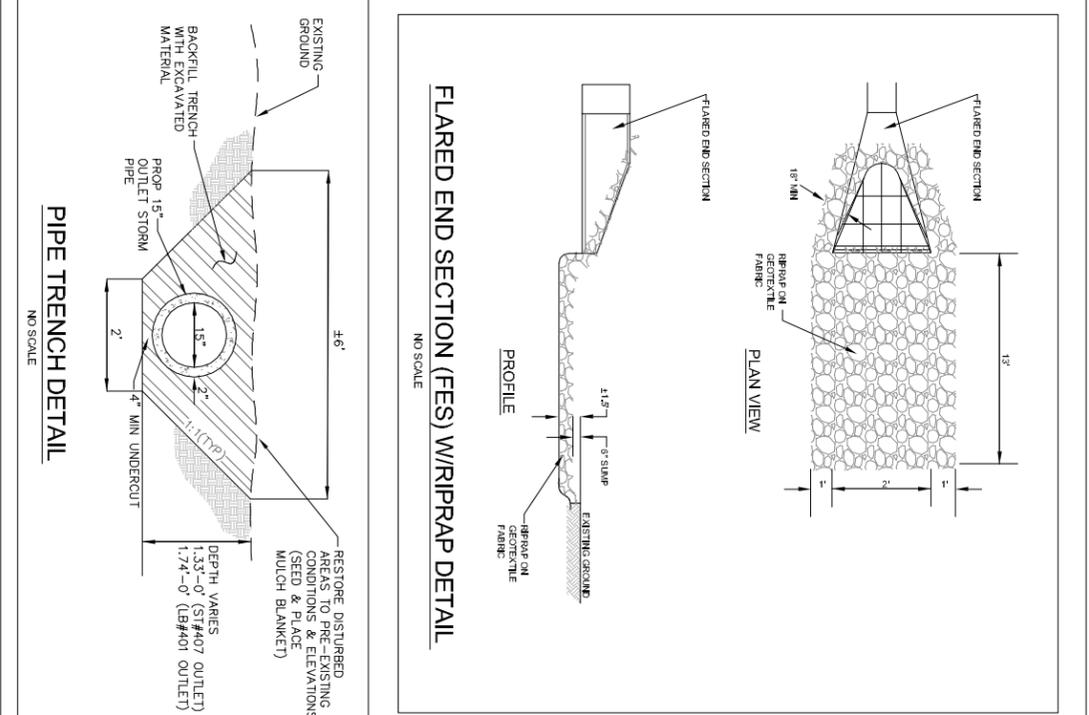
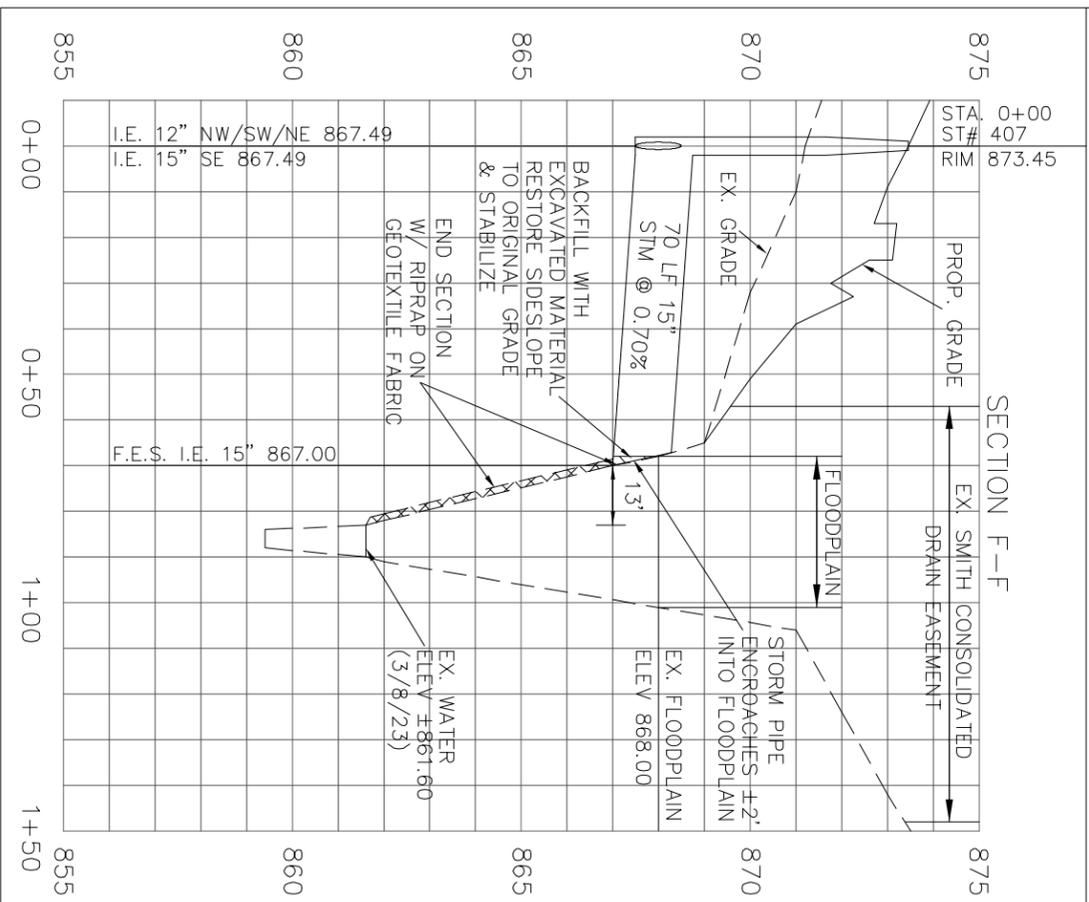
ST#407 15" END SECTION:
 AREA: 13' LONG x 4' WIDE = 52 SFT DISTURBANCE
 VOLUME: 52 SF x (1.5' DEPTH) = 78 CFT -> 2.89 CYD EXCAVATION
 NET = 0.96 CYD CUT

LB#401 15" END SECTION:
 AREA: 13' LONG x 4' WIDE = 52 SFT DISTURBANCE
 VOLUME: 52 SF x (1.5' DEPTH) = 78 CFT -> 2.89 CYD EXCAVATION
 NET = 0.96 CYD CUT

TOTAL NET: 0.96 + 0.96 = 1.92 CYD FLOODPLAIN CUT



SCALE: 1"=40' HORIZ.
(PROFILE) 1"=4' VERT.



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Marshall Office
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REVISIONS

10-17-23 SUBMITTAL

SCALE: SEE PLAN

PROJECT MGR.
A. PATRICK

APPROVED BY: A.J.P.

DRAWN BY: A.J.P.

DATE: 10-1-23

ELEVATION PHASE 4

FLOODPLAIN DISTURBANCE
 CROSS SECTION F-F
 CROSS SECTION G-G

AUTHORIZED BY:
OKEMOS POINTE III, LLC

JOB #:
E-93644

SHEET 5 OF 5

Digital EGLE/USACE Joint Permit Application (JPA) for Inland Lakes and Streams, Great Lakes, Wetlands, Floodplains, Dams, Environmental Areas, High Risk Erosion Areas and Critical Dune Areas

version 1.40

(Submission #: HPY-F5EW-EP22G, version 1)

Details

Submission ID HPY-F5EW-EP22G
Submission Reason New
Status Draft

Form Input

Instructions

[To download a copy or print these instructions, please click this link \(recommended\).](#)

Contact Information

Applicant Information (Usually the property owner)**First Name Last Name**Patrick *Smith***Organization Name***Okemos Pointe III, LLC***Phone Type Number Extension**

Mobile 9709871413

Email

psmith@westpacinv.com

Address

P.O. Box 523

Grand Ledge, MI 48837

Is the Property Owner different from the Applicant?

No

Has the applicant hired an agent or cooperating agency (agency or firm assisting applicant) to complete the application process?

No

Are there additional property owners or other contacts you would like to add to the application?

Yes

Additional Contact Information (1 of 1)**Contact Role(s)**

Consultant

Contact Information**Prefix***NONE PROVIDED***First Name Last Name**Allen *Patrick***Title***NONE PROVIDED***Organization Name***KEBS, Inc.***Phone Type Number Extension**

Business 5173391014

Email

ajpatrick@kebs.com

Address

2116 Haslett Rd

Haslett, MI 48840

Project Location**EGLE Site Reference Number (Pre-Populated)**

4449589780470104733

Project Location

42.68652638308654,-84.43809995160642

Project Location Address

3655 Jolly Oak Rd

Okemos, MI 48864

County

Ingham

Is there a Property Tax ID Number(s) for the project area?

Yes

Please enter the Tax ID Number(s) for the project location

33-02-02-33-302-016

Is there Subdivision/Plat and Lot Number(s)?

No

Is this project within Indian Lands?

No

Local Unit of Government (LUG)

Meridian Township

Directions to Project Site

North on Okemos Rd 800 ft from Jolly Rd, turn west onto Jolly Oak Rd, 1,300 ft west to round-a-bout in Elevation development, north at round-a-bout 500 ft to crossing of Smith Consolidated Drain

Background Information

Has the Michigan Department of Environment, Great Lakes, and Energy (EGLE) and/or United States Army Corps of Engineers (USACE) conducted a pre-application meeting/inspection for this project?

No

Has the EGLE completed a Wetland Identification Program (WIP) assessment for this site?

No

Environmental Area Number (if known):

NONE PROVIDED

Has the United States Army Corps of Engineers (USACE) completed either an approved or preliminary jurisdictional determination for this site?

No

Were any regulated activities previously completed on this site under an EGLE and/or USACE permit?

Yes

List the permit numbers.

2E4-28K3-HG8V

Describe the regulated activities that were previously permitted.

Wetland disturbance and 2 storm sewer outfalls

Have any activities commenced on this project?

No

Is this an after-the-fact application?

No

Are you aware of any unresolved violations of environmental law or litigation involving the property?

No

Is there a conservation easement or other easement, deed restriction, lease, or other encumbrance upon the property?

No

Are there any other federal, interstate, state, or local agency authorizations associated with this project?

Yes

List all other federal, interstate, state, or local agency authorizations.

Agency	Type of Approval	Number	Date Applied	Approved/Denied /Undetermined
Meridian Township	Floodplain SUP	NONE PROVIDED	10/17/2023	Undetermined
Ingham County Drain	Stormwater discharge design	NONE PROVIDED	03/31/2023	Undetermined
Meridian Townshipi	Soil Erosion	NONE PROVIDED	NONE PROVIDED	Undetermined

Comments

NONE PROVIDED

Permit Application Category and Public Notice Information

Indicate the type of permit being applied for.

Individual Permit for all other projects

This type of permit application requires that you include contact information for the adjacent landowners to this project. If you are only entering in a small number of bordering parcel owners contact information, please select "Enter list of recipients". If there is a rather large number of affected property owners such as a project that significantly affects lake levels, please upload a spreadsheet of the property owners. Please include names and mailing addresses.

Enter list of recipients.

This project may require public noticing. Please list the adjacent landowners to the project, along with any of the others that may apply:

Contact Type	Contact Person	Mailing Address	City	State	Zip Code
Adjacent Landowner	Rick & Charmaine Murphy	2414 Kansas Rd	Okemos	MI	48864
Adjacent Landowner	Forsberg Family LLC	2422 Jolly Rd, Suite 200	Okemos	MI	48864

Contact Type	Contact Person	Mailing Address	City	State	Zip Code
Adjacent Landowner	Steven Freemire	3622 Kansas Rd	Okemos	MI	48864
Adjacent Landowner	Okemos Pointe I, LLC	2410 Jolly Rd, Suite 440	Okemos	MI	48864
Adjacent Landowner	Okemos Pointe II SPE, LLC	P.O. Box 523	Grand Ledge	MI	48864
Adjacent Landowner	Okemos Pointe III, LLC	P.O. Box 523	Grand Ledge	MI	48864
Adjacent Landowner	Coyote Creek Condominium Association	950 CORPORATE OFFICE DR, STE 200	Milford	MI	48381
Adjacent Landowner	Consumers Energy CO, EP10 - Property Tax	One Energy Plaza	Jackson	MI	49201
Adjacent Landowner	Fieldstone Condominiums	2260 Fieldstone Dr	Okemos	MI	48864

Project Description

Project Use: (select all that apply - Private, Commercial, Public/Government/Tribal, Receiving Federal/State Transportation Funds, Non-profit, or Other)

Commercial

Project Type (select all that apply):

Development-Condominium/Subdivision-Residential

Project Summary (Purpose and Use): Provide a summary of all proposed activities including the intended use and reason for the proposed project.

The purpose of the project is to construct 2 residential apartment buildings, associated parking and drives, and extension of a township pathway. The project is the 4th and final phase of a multi-use development that includes commercial buildings and apartment buildings.

Project Construction Sequence, Methods, and Equipment: Describe how the proposed project timing, methods, and equipment will minimize disturbance from the project construction, including but not limited to soil erosion and sedimentation control measures.

Conventional construction methods are proposed including placement of SESC measures, land clearing, site grading, utility installation, storm sewer installation with outlet pipes, building and parking installation, and restoration of all impacted areas in accordance with the final approved plans. Construction is anticipated to start January 2024 with installation of temporary soil erosion measures and clearing/grubbing.

Project Alternatives: Describe all options considered as alternatives to the proposed project, and describe how impacts to state and federal regulated waters will be avoided and minimized. This may include other locations, materials, etc.

Development of the property requires utilizing the existing 108" x 68" elliptical culvert in the Smith Consolidated Drain as an entrance drive. Construction of the entrance drive will require fill in the existing floodplain. Extension of an existing Meridian Township pedestrian pathway through the project site to connect to another pathway NW of Francis Street will also require fill in the existing floodplain.

Alternatives:

- Development layouts were originally planned with 3 apartment buildings in the project area with parking and drives located within the existing floodplain. The layout was revised to eliminate a building, reduce parking totals, remove parking from the floodplain, and limit floodplain impacts to the entrance drive and Meridian Township pathway.
- Pathway configurations through the middle of the site were considered to limit floodplain disturbance, but separation of the pathway from parking and drives pushed other construction and grading into the floodplain. The current proposed pathway route was chosen to utilize the setback area between the west property line and the proposed parking/buildings for a more efficient layout that reduced south grading into the floodplain.
- Additional floodplain and drain easements for access and maintenance on the NE/East side of the proposed development precluded the pathway from being routed on the east side

Project Compensation: Describe how the proposed impacts to state and federal regulated waters will be compensated, OR explain why compensatory mitigation should not be required for the proposed impacts. Include amount, location, and method of compensation (i.e., bank, on-site, preservation, etc.)

The proposed floodplain fill(31.5 CYD) for the entrance drive and township pathway is proposed to be compensated with floodplain excavation(63.1 CYD) immediately adjacent to the impacted area.

The 2 storm outfalls, east and north, of the project site will be constructed to match the existing slope and grade of the drain banks. 7.43 CYD of material will be excavated from the floodplain and only 5.51 CYD of material will be placed in the floodplain to construct the storm outfalls and associated riprap(2 CYD per outfall).

Upload any additional information as needed to provide information applicable to your project regarding project purpose sequence, methods, alternatives, or compensation.

NONE PROVIDED

Comment

NONE PROVIDED

Resource and Activity Type

SELECT THE ACTIVITIES from the list below that are proposed in your project (check ALL that apply). If you don't see your project type listed, select "Other Project Type". These activities listed require additional information to be gathered later in the application.

Intake or Outfall Structures

The Proposed Project will involve the following resources (check ALL that apply).

100-year Floodplain

Major Project Fee Calculation Questions

Is filling of 10,000 cubic yards or more proposed (cumulatively) within wetlands, streams, lakes, or Great Lakes?

No

Is dredging of 10,000 cubic yards (cumulatively) or more proposed within streams, lakes, or Great Lakes? (wetlands not included)

No

Is new dredging or adjacent upland excavation in suspected contamination areas proposed by this application?

No

Is a subdivision, condominium, or new golf course proposed?

Yes

Intake or Outfall Structures

Is the intake structure associated with an authorized outfall structure?

NONE PROVIDED

Number of intakes or outfalls:

2

Pipe Description

Unique Identifier	Pipe Diameter (inches):	Invert Elevation:
LB#401 FES	15	864.50
ST#407 FES	15	867.00

Type of intake or outfall stabilization:

Riprap

Has the water been treated (outfall only)?

Yes

Floodplain

Proposed Activity

Fill

Excavation/Cut

100-Year Floodplain Elevation

Please provide a name for the stream, river, channel, or waterbody:	100-Year Floodplain Elevation (feet)	Datum	Source of Datum
Smith Consolidated Drain	870.00 - 866.00	NAVD88	onsite benchmark

Upload Documents for Datum Source

NONE PROVIDED

Comment

NONE PROVIDED

Excavation/Cut volume below the 100-year floodplain elevation (cubic yards)

70.53

Fill volume below the 100-year floodplain elevation (cubic yards)

37.01

Source of Fill Material:

On-site

Off-site

Type of Fill

Other: excavated material from pipe trench

Sand

Gravel

Calculations Upload

5 - 93644 - OUTLET CROSS SECTIONS.pdf - 10/17/2023 01:50 PM

Comment

NONE PROVIDED

Is this project located in the floodway?

No

Were one or more Hydraulic Analyses completed for this project?

No

Local Unit of Government (LUG) Acknowledgement Letter Upload

NONE PROVIDED

Comment

NONE PROVIDED

Is there an existing building on site?

No

Upload of Proposed Site Plans

Required on all Site Plan uploads. Please identify that all of the following items are included on your plans that you upload with this application.

Site Plan Features	Existing and Proposed Plan Set
Scale, Compass North, and Property Lines	Yes
Fill and Excavation areas with associated amounts in cubic yards	Yes
Any rivers, lakes, or ponds and associated Ordinary High Water Mark (OHWM)	Yes
Exterior dimensions of Structures, Fill and Excavation areas associated with the proposed project	Yes
Dimensions to other Structures and Lot Lines associated with the project	Yes
Topographic Contour Lines from licensed surveyor or engineer when applicable	Yes

Upload Site Plans and Cross Section Drawings for your Proposed Project

Elevation Phase 4 - Floodplain Disturbance Plans.pdf - 10/17/2023 01:49 PM

Elevation Ph 4 - Site Plans 10-17-23.pdf - 10/17/2023 01:50 PM

Comment

NONE PROVIDED

Additional Required and Supplementary Documents

NONE PROVIDED

Comment

NONE PROVIDED

Fees

Individual Permit Fee:
+\$500.00

Total Fee Amount:

\$500.00

Is the applicant or landowner a State of Michigan Agency?

No

Attachments

Date	Attachment Name	Context	User
10/17/2023 1:50 PM	5 - 93644 - OUTLET CROSS SECTIONS.pdf	Attachment	Allen Patrick
10/17/2023 1:50 PM	Elevation Ph 4 - Site Plans 10-17-23.pdf	Attachment	Allen Patrick
10/17/2023 1:49 PM	Elevation Phase 4 - Floodplain Disturbance Plans.pdf	Attachment	Allen Patrick



To: Members of Planning Commission

From: Timothy R. Schmitt

Date: November 9, 2023

Re: 2023 Master Plan DRAFT - Discussion

As directed by the Planning Commission, Staff circulated the draft 2023 Master Plan update to surrounding communities, utilities, and other agencies, as outlined in State law. We received no official written comments, but did have a conversation with Williamstown Township's planner who commended us on the design and the update in general. Staff has received several additional comments from residents, which are included with this memo.

The last stage before recommendation is the public hearing that is required by State Law. After the public hearing, the Planning Commission can make a recommendation on the plan to the Township Board at any time for adoption of the plan. The Meridian Township Board has previously opted in to being the final adopter of the plan, therefore the Planning Commission's recommendation will be forwarded to the Board for final action.

Staff looks forward to working with the Planning Commission to implement this plan over the next five years. For review, the 2023 Master Plan is on this page: <https://www.meridian.mi.us/about-us/departments/community-planning-development/master-plan>

Staff is asking the Planning Commission to make the following motion after their discussion on the 13th:

Motion to recommend the Township Board approve the Draft Master Plan, in accordance with the requirements of the Michigan Planning Enabling Act.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Sunday, November 6, 2022 7:53:59 PM

Master Plan Feedback Form

Submission #: 2069678
IP Address: 174.210.228.53
Submission Date: 11/06/2022 7:53
Survey Time: 9 minutes, 10 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Mark Redker

Where can we email a response?

Mredker@aol.com

What is your phone number?

5173393988

Write us a mesesage:

We need affordable apartments for low wage earners. We need to halt additional retail and office space. Must backfill current space. No more projects like the downtown Okemos plan. It is a complete failure on both township and the developers. L&L project appears to be problematic as well. The apartment on the end is the only project that is underway elevator shafts are going up workers are working the site.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 4, 2022 2:41:23 PM

Master Plan Feedback Form

Submission #: 2067156
IP Address: 73.18.185.5
Submission Date: 11/04/2022 2:41
Survey Time: 12 minutes, 39 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Charles Kotz

Where can we email a response?

cdkotz73@gmail.com

What is your phone number?

5175252258

Write us a mesesage:

Meridian Township has already surpassed its "carrying capacity", an ecological term that refers to the number of people that a region can support without environmental degradation. The Township needs to recognize that every additional housing development that increases our population, destroys green space, and increases the number of cars on the roads, further detracts from the quality of life for the people that reside here. Work needs to be done to make foot and bicycle travel viable. The Planning Commission and the Board need to create a new vision for the Township, and institute policies that will make the community more livable for all of us that live here. The goal should not be to grow further, but to enhance the experience for those that actually make Meridian Township their home. A moratorium on housing construction that destroys greenspace would be an excellent first step.

Do you have a preferred contact method?

Please reply by phone

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, November 16, 2022 6:56:02 AM

Master Plan Feedback Form

Submission #: 2087031
IP Address: 67.167.160.223
Submission Date: 11/16/2022 6:55
Survey Time: 11 minutes, 59 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

William Seck

Where can we email a response?

wfseck48@yahoo.com

What is your phone number?

5173392287

Write us a mesesage:

Time to look at North/South Cornell Road. Idea of keeping it as a "Natural Beauty road" was at its time a good decision however with increased housing and traffic congestion this road is now too heavily traveled . No shoulder with people still trying to bike and jog on it is problematic. Get a good traffic count and have the police take a quick idea of typical speeds present (especially at rush hours)

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, November 16, 2022 9:44:01 AM

Master Plan Feedback Form

Submission #: 2087186
IP Address: 68.37.123.25
Submission Date: 11/16/2022 9:43
Survey Time: 12 minutes, 55 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Nancy Nagele

Where can we email a response?

nagelenancy@gmail.com

What is your phone number?

5172426323

Write us a mesesage:

All of Tihart and Van Atta roads need to be paved property- Tihart especially is a high use road for cars and school buses and yet is always in terrible condition. It seems to be part old pavement and part dirt and although Ingham county road tries to periodically fix it when asked, it quickly deteriorates again. Drive your car down either of these roads if you dare and you'll wonder why they are not properly maintained by Meridian Township.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, November 16, 2022 9:20:39 AM

Master Plan Feedback Form

Submission #: 2087145
IP Address: 172.58.123.162
Submission Date: 11/16/2022 9:20
Survey Time: 10 minutes, 14 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Jason Stevens

Where can we email a response?

Jasonhockey04@yahoo.com

What is your phone number?

5178620518

Write us a mesesage:

Well you could start by making it easier to arrive in meridian and not harder, stop with the roundabouts and Michigan lefts that mess up drives in,. Lower the gas prices this township is overly priced all the time by 20 or more cents, if you want us to work and visit make it affordable. Don't schedule that much road construction at once you just clog the detours that can't handle the traffic. Neighborhood paving is nice a bit slow but nice improvement, libraries of thr township could use more updating and resources. Please sequence the traffic lights you seem to stop at almost every light instead of being able to flow thru town. All roads should be looked at park lake okemos and Dobie seem most out of sequence

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 18, 2022 12:39:08 PM

Master Plan Feedback Form

Submission #: 2092078
IP Address: 73.145.148.20
Submission Date: 11/18/2022 12:39
Survey Time: 49 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Vin Lyon-callo

Where can we email a response?

Vlyoncallo@gmail.com

What is your phone number?

5172142785

Write us a mesesage:

My only suggestions are to prioritize the environment. Degrowth instead of growth.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, November 21, 2022 7:35:11 AM

Master Plan Feedback Form

Submission #: 2095006
IP Address: 73.145.146.88
Submission Date: 11/21/2022 7:35
Survey Time: 8 minutes, 39 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Kris Parnell

Where can we email a response?

krisgardens@comcast.net

What is your phone number?

5178812845

Write us a mesesage:

My husband and I live on van atta road north of the foster davis preserve. On this road we have helped moved several blandings turtles (which are endangered) across the road. It was a beautiful quiet road when we first moved here and has become noisier with regular daily traffic since they resurfaced it. Now we are more likely to find dead turtles then live turtles we can help across. We live in a beautiful natural area and I hope that we can maintain areas like this in meridian township. There are many developed areas to put homes in the surrounding areas. Why is it necessary to add new sub divisions? Sincerely, Kris Parnell

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Sunday, November 20, 2022 5:09:05 PM

Master Plan Feedback Form

Submission #: 2094597
IP Address: 68.56.115.141
Submission Date: 11/20/2022 5:08
Survey Time: 7 minutes, 4 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Maribeth Fletcher

Where can we email a response?

jmbfletcher@gmail.com

What is your phone number?

5173494572

Write us a mesesage:

As a 48-year resident, I do see a need for affordable housing, but our parks need to be preserved as well as pedestrian bikeways and walkways.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Sunday, November 20, 2022 9:06:03 AM

Master Plan Feedback Form

Submission #: 2094226
IP Address: 68.37.118.223
Submission Date: 11/20/2022 9:05
Survey Time: 54 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Elizabeth Bolger

Where can we email a response?

bette23@comcast.net

What is your phone number?

5178617831

Write us a mesesage:

Looking for the Master Plan survey form that is supposed to be at this link.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, November 19, 2022 4:02:33 AM

Master Plan Feedback Form

Submission #: 2093368
IP Address: 73.145.139.157
Submission Date: 11/19/2022 4:02
Survey Time: 21 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Tamara Buswinka

Where can we email a response?

tamarabuswinka@gmail.com

What is your phone number?

9897144417

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 18, 2022 11:34:35 PM

Master Plan Feedback Form

Submission #: 2093300
IP Address: 172.58.121.74
Submission Date: 11/18/2022 11:34
Survey Time: 6 minutes, 1 second

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Kelly Rush

Where can we email a response?

kellyrush@gmail.com

What is your phone number?

5179741570

Write us a mesesage:

I'd like to see a long-term vision for the area around Lake Lansing near the Quality Dairy/Bluegill Grill/Mayfair Bar section. This seems like the perfect location for a MUPUD that incorporates some type of boardwalk design, so that foot-traffic becomes a more prominent part of the makeup of that space. This could incorporate parts of Shaw St, Lake Lansing Rd, and Marsh Rd. and would continue to provide housing options while also increasing retail space, but in a way that is respectful to the character of that part of the community. Also, I'd like to see better planning for Saginaw, from Costco (west) to MSUFCU area (east). There appears to be no real plan for this space, and it's beginning to fill up with random commercial interests, without any real thought to what that strip's purpose should be.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 18, 2022 9:03:01 PM

Master Plan Feedback Form

Submission #: 2093196
IP Address: 68.56.67.187
Submission Date: 11/18/2022 9:02
Survey Time: 4 minutes, 28 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Anne Hansknecht

Where can we email a response?

annehans@comcast.net

What is your phone number?

5177496858

Write us a mesesage:

Redo Hillbrook park to have 6 pball courts as well as the backboard & hoop area. More paved parking. Suggest putting in pickleball at Wonch Park as that would help serve more of the Twp and ease more of the pressure on lack of courts currently.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 18, 2022 3:10:18 PM

Master Plan Feedback Form

Submission #: 2092475
IP Address: 216.163.62.37
Submission Date: 11/18/2022 3:06
Survey Time: 3 minutes, 14 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Nick Krueger

Where can we email a response?

nreedkrueger54@yahoo.com

What is your phone number?

5176059510

Write us a mesesage:

Township needs to focus on accessibility in all neighborhoods and parks. Township should focusing on making sure all residents can safely walk for exercise and to commute to a destination. The neighborhood closest to three schools is partially set up with sidewalks making many young residents to walk on streets with poor lighting. This is a safety concern from a resident living on Orlando Dr.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 18, 2022 11:44:54 AM

Master Plan Feedback Form

Submission #: 2091945
IP Address: 73.145.133.194
Submission Date: 11/18/2022 11:44
Survey Time: 30 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Siri Rainone

Where can we email a response?

sirirainone@gmail.com

What is your phone number?

7173184173

Write us a mesesage:

Would love to receive information, or offer input.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, November 17, 2022 4:20:56 PM

Master Plan Feedback Form

Submission #: 2090698
IP Address: 174.210.232.246
Submission Date: 11/17/2022 4:20
Survey Time: 7 minutes, 53 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Kip Conley

Where can we email a response?

kip.conley@gmail.com

What is your phone number?

2488609659

Write us a mesesage:

While it seems like there has been a movement towards building new construction in Meridian township, I feel there has been a lack of diversity in approved proposals. Most construction sites that you pass driving through the township seem to be oriented around the elderly or assisted living. If you are trying to attract young families, other ideas should be taken into consideration. Areas that bring people in are local eateries, small business for shopping, and community meeting places for events and gatherings. Sun King in Indianapolis and Little Fleet are prime examples of locations that offer residents small business mixed with a unique area for the community to meet. It is nice to have great parks, but there needs to be more done to draw in younger families that want to raise families, not just for retirees.

Do you have a preferred contact method?

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, November 22, 2022 9:26:34 AM

Master Plan Feedback Form

Submission #: 2097262
IP Address: 35.21.132.223
Submission Date: 11/22/2022 9:26
Survey Time: 32 minutes, 20 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Justin Rabineau

Where can we email a response?

rabinea1@msu.edu

What is your phone number?

9064408711

Write us a mesesage:

Meridian Township needs to eliminate minimum parking standards. Too much of our beautiful township is taken up by a sea of empty parking lots and parking minimums discourage new development by requiring additional costs and space. Abolishing parking mandates will help to meet the stated goals in the Master Plan by allowing for the preservation of open space and natural areas, enhancing the viability of township businesses, and promoting safe and efficient multi-modal transportation.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, November 26, 2022 7:44:41 AM

Master Plan Feedback Form

Submission #: 2101949
IP Address: 68.60.61.166
Submission Date: 11/26/2022 7:44
Survey Time: 58 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Mary Farris

Where can we email a response?

02.casters.nylon@icloud.com

What is your phone number?

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, November 25, 2022 11:37:32 AM

Master Plan Feedback Form

Submission #: 2101282
IP Address: 73.145.146.88
Submission Date: 11/25/2022 11:37
Survey Time: 25 minutes, 48 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Bruce Mortimer

Where can we email a response?

bmortimerdvm@comcast.net

What is your phone number?

5172301953

Write us a mesesage:

I appreciate you taking the time to gather residence input. We currently live on Van Atta next to Davis preserve and have been here about 17 years. We enjoy the semi rural setting and low density of housing that is in the area. Over the years I have seen the population and housing increase around us and slowly encroach. While I know the growth is important to a township the amount of growth should be controlled based on the environmental, infrastructure present, quality of life of current residents and safety(traffic). For every subdivision put in the stress on the environment is huge with loss of habitat, water quality, invasive species introduction and disruption of the natural hydrological flow of the our very important wetlands. Over the years with increasing building I have seen our quiet rural road turn into a gauntlet of speeding cars. I have also noticed an increased amount of wildlife car deaths, especially the increasing number of deaths to endangered Blandings turtles.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, December 8, 2022 11:31:20 AM

Master Plan Feedback Form

Submission #: 2123197
IP Address: 73.191.184.99
Submission Date: 12/08/2022 11:31
Survey Time: 7 minutes, 50 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Melissa Straus

Where can we email a response?

mmstraus@comcast.net

What is your phone number?

5178039522

Write us a mesesage:

Maintain low density, and natural areas. Do not develop Van Atta Road. I am opposed to any road development along our property line.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

Faith Lutheran Church

A Congregation of the Evangelical Lutheran Church in America
4515 Dobie Road, Okemos, MI 48864

December 5, 2022

Mark Blumer, Chair
And Planning Commissioners
Meridian Township Planning Commission
5151 Marsh Road
Okemos, MI 48864

Dear Chair Blumer and Planning Commissioners:

I write to you today as a representative of the Church Council at Faith Lutheran Church, located 4515 Dobie Road, City of Okemos, Township of Meridian. We understand that the Planning Commission is beginning the difficult process of reviewing the Township's "Master Plan," a process which involves outlining the types of growth the commission would like to see in the Township over the next five years. We would like to thank you for your leadership in this no doubt laborious process, and would also like to take this opportunity to give you our input in regard to density changes involving a vacant parcel of land owned by Faith Lutheran, which lies on the northern boundary of our church property.

Our entire parcel is currently listed as Institutional Usage. We believe the current classification results in an underutilization of the subject parcel, in that its current density is much more restrictive than the properties surrounding the parcel. We are requesting that the Commission consider changing the density of the northern portion of our property so as to bring the density into line with the current density of the property adjacent to our northern boundary. In our opinion, such a change would be within the spirit of the Master Plan ideals, and would provide a mutual benefit to our church and to the Township as described below. That proposed density change would:

- Encourage infill on a corridor roadway near activity/commercial centers
- Focus growth back into the Urban Services District to ensure efficient and fiscally responsible use of public services.
- Encourage cluster development/compact residential development close to activity/commercial centers.
- Prevent undesired residential sprawl past the Urban Service boundary on the East end of the Township.

- Provide for additional multi-family housing, which is a recognized need in the Township.
- Provide for moderately-priced rental housing, which is also a recognized need in the Township.

We appreciate your hard work on behalf of the Township, as well as your willingness to listen to those in the community most affected by the decisions you make. We look forward to working with you on this issue of great importance both to our church and to our community, and we wish you luck as you begin the process of updating the Township Master Plan. If you have any questions or comments, please do not hesitate to contact our church directly at (517) 349-0620, or to contact Cecelia Kramer of the Church Parcel Committee at (517)-898-0097. Thank you for your time, and have a blessed day.

Sincerely,



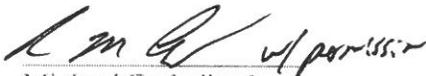
Ryan Edberg
Council President
Faith Lutheran Church

E-SIGNED by Ellen Schoepf
on 2022-12-05 13:01:17 EST

Ellen Schoepf
Pastor

E-SIGNED by linda Hirt
on 2022-12-05 13:10:08 EST

Linda Hirt
Member at Large



Michael Eschelbach
Vice-President

E-SIGNED by Gwynne Kadrofske
on 2022-12-05 16:08:19 EST

Gwynne Kadrofske
Treasurer



Jean Lewis
Member at Large

E-SIGNED by John McCracken
on 2022-12-05 19:41:50 EST

John McCracken
Church Parcel Committee

E-SIGNED by Molly DeHate
on 2022-12-05 19:36:51 EST

Molly DeHate
Secretary

E-SIGNED by Ryan Thompson
on 2022-12-05 13:36:19 EST

Ryan Thompson
Church Parcel Committee

E-SIGNED by Jon Harrison
on 2022-12-05 14:23:48 EST

Jon Harrison
Financial Secretary

E-SIGNED by Cecelia Kramer
on 2022-12-05 22:20:09 EST

Cecelia Kramer
Church Parcel Committee

Brian Shorkey

From: webmaster@meridian.mi.us on behalf of Meridian Township, MI <webmaster@meridian.mi.us>
Sent: Wednesday, December 14, 2022 2:26 PM
To: Tim Schmitt; Keith Chapman; Brian Shorkey
Subject: *NEW SUBMISSION* Master Plan Feedback Form

Master Plan Feedback Form

Submission #: 2133466
IP Address: 170.103.53.206
Submission Date: 12/14/2022 2:25
Survey Time: 2 minutes, 39 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

William White

Where can we email a response?

whitewi5@msu.edu

What is your phone number?

5179036040

Write us a mesesage:

There is a major disconnect between the Township Master Plan and the DDA Integrated Plan, which the Master Plan cites as a guide for redevelopment in the old downtown. The DDA plan urges preservation of the historic buildings, but they were torn down for the original Douglas J project. The DDA plan was completely ignored, with none of its recommendations followed. The idea that this plan is viable for future development is problematic. The 2022 Master Plan should either change that reference, or the DDA Integrated Plan revised, which could have been done when the DDA district was expanded a few years ago. "The downtown Okemos area" is poorly defined. Many residents are not familiar with that and would argue it should include the commercial area at Marsh Rd and Grand River, the real "Main Street" of the community.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, December 15, 2022 11:16:34 AM

Master Plan Feedback Form

Submission #: 2134933
IP Address: 108.224.52.171
Submission Date: 12/15/2022 11:16
Survey Time: 12 minutes, 4 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Bruce Peffers

Where can we email a response?

peffersb@yahoo.com

What is your phone number?

5175153022

Write us a mesesage:

I would strongly urge the Planning Commission to add the option of Form Base Code for new or re-development projects, especially along the Grand River corridor. Current zoning conditions are antiquated and outdated. Shifting to Form Base Code will streamline the approval process and bring the township section of the corridor closer to aligning with Lansing and East Lansing sections.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Sunday, January 1, 2023 12:58:40 PM

Master Plan Feedback Form

Submission #: 2158684
IP Address: 73.18.185.5
Submission Date: 01/01/2023 12:58
Survey Time: 15 minutes, 54 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Charles Kotz

Where can we email a response?

cdkotz73@gmail.com

What is your phone number?

5175252258

Write us a mesesage:

The new Master Plan for Meridian Township must include an iron clad tree ordinance. Please look at what other communities in the Midwest have had in place for years, and take the best from these, to formulate a Meridian Township Tree PRESERVATION Ordinance. Evanston. Illinois has an exemplary Tree Preservation Ordinance. The City of Grosse Pointe, also has a good, but limited in scope, tree ordinance. Meridian Township is very late to the game. I hope this will finally be addressed in the new Master Plan.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, January 9, 2023 9:35:14 AM

Master Plan Feedback Form

Submission #: 2172966
IP Address: 73.18.189.56
Submission Date: 01/09/2023 9:35
Survey Time: 6 minutes, 31 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Carolyn Nowlin

Where can we email a response?

clnowlin@gmail.com

What is your phone number?

5174206845

Write us a mesesage:

I'd like to see the stand-still dream/plan at the 4 corners in Okemos to be either nixed altogether and just turned into a greenspace/park/landscaped area or moved upon. From the sounds of things, it won't be in my lifetime when we see the project completed. Constantly waiting for some committee's approval which could happen now or in a year... it just seems futile. Maybe if it is going to take years before we get the green light on actually making a downtown Okemos real, they should just put down sod and maybe an art installation, park benches, picnic tables... I know the bridge construction project appreciates the parking lot to keep their trucks, etc. in, but U-G-L-Y...and then what happens once they are done with the project? It just looks horrible. I'm usually very patient and was one of the people telling others to be patient... just hoping we will get some action either way in that area. Going to go meditate now. ;)

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 7, 2023 1:36:16 PM

Master Plan Feedback Form

Submission #: 2171117
IP Address: 174.240.116.243
Submission Date: 01/07/2023 1:36
Survey Time: 13 minutes, 17 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Ian Londo

Where can we email a response?

ian.londo@gmail.com

What is your phone number?

2316222362

Write us a mesesage:

We have a wonderful area full of parks and unique nature areas. However, we keep adding chain restaurants and nothing unique. It would be fun to have multi-purpose buildings with shops/restaurants and common outdoor hang out areas for friends and family to get together. This has been done in multiple communities and will allow groups to get together in community spaces, rather than driving to other towns, or not being able to experience these types of common areas, and will allow local vendors and restaurants to flourish rather than continuing to add fast food and types of restaurants that do not allow peoples bodies to thrive. It also allows families to have a better time hanging out together with kids and allowing them to interact with other youth around the community while participating in outdoor games, eating meals outside together, etc. We need areas to relax and have fun in one, not drive strips of built up multi-lane roads, with the repetiveness of many other communities.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 7, 2023 12:32:16 PM

Master Plan Feedback Form

Submission #: 2171017
IP Address: 217.180.219.216
Submission Date: 01/07/2023 12:32
Survey Time: 19 minutes, 30 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Elaine Hauptman

Where can we email a response?

elainehauptman@gmail.com

What is your phone number?

5172820594

Write us a mesesage:

Holland Mi has a dog park that I'd love to see here. It has large paved walkways that loop in a large circle--maybe a half mile range. It is fenced, has grass, trees, a couple of seating areas. Basically a fenced park. The result is people and dogs all get exercise at the same time. The dogs get along better because the owners are moving and people also get to connect in this walkable space. It is a lovely addition to their community. Also I see in your plan that you are working to maintain individual residential housing which is admirable yet what I see being built are large apartments along Hamilton and buildings that are to be built directly next to the sidewalk for the sole purpose of getting maximum apartments into the space. We are not a concrete, congested "city" type of community yet that is what we are getting on our main corners. We talk about maintaining a rural, open, natural setting yet we seem to build big city style or put neon green bridges.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 7, 2023 11:22:07 AM

Master Plan Feedback Form

Submission #: 2170937
IP Address: 68.37.117.23
Submission Date: 01/07/2023 11:22
Survey Time: 2 minutes, 29 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Nancy Bennett

Where can we email a response?

beckerbennett@hotmail.com

What is your phone number?

5172022662

Write us a mesesage:

We need a grocery store in the south end of the township by Jolly/Okemos Rd. Doesn't need to be a huge one but a place larger than a 7-11 or a party store and smaller than a Meijer would be much appreciated by the residents in all the new subdivisions in the area.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, January 6, 2023 7:29:47 PM

Master Plan Feedback Form

Submission #: 2170436
IP Address: 24.127.110.33
Submission Date: 01/06/2023 7:29
Survey Time: 36 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Emily Whytman

Where can we email a response?

diaboloweasley@gmail.com

What is your phone number?

Write us a mesesage:

Hi

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, January 9, 2023 9:32:05 PM

Master Plan Feedback Form

Submission #: 2175338
IP Address: 23.28.171.247
Submission Date: 01/09/2023 9:32
Survey Time: 2 minutes, 27 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Kevin Mahany

Where can we email a response?

kevinmahany@hotmail.com

What is your phone number?

Write us a mesesage:

I would like the meridian mall to be torn down and redeveloped into a open air mixed use outdoor shopping center mixed use

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, January 10, 2023 9:45:37 PM

Master Plan Feedback Form

Submission #: 2177864
IP Address: 73.18.185.5
Submission Date: 01/10/2023 9:45
Survey Time: 20 minutes, 42 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Charles Kotz

Where can we email a response?

cdkotz73@gmail.com

What is your phone number?

5175252258

Write us a mesesage:

Meridian Township continues to lose "green space", as the diminishing number of undeveloped acres are relinquished to developer interests. A Tree Preservation Ordinance should be incorporated into the new Master Plan. The Township is has become a "heat island" during the warm months, due to the diminishing tree canopy. The urban character of Meridian Township becomes more and more pronounced with each year as new subdivisions are built. The pro-development slant embraced by the Board and Planning Commission, does not represent the "vision" of current resident for the Township. The new Master Plan is an opportunity to save what remains...I have low expectations for any meaningful change in direction.

Do you have a preferred contact method?

Please reply by phone

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, January 10, 2023 9:05:26 PM

Master Plan Feedback Form

Submission #: 2177810
IP Address: 68.37.118.180
Submission Date: 01/10/2023 9:05
Survey Time: 27 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Kathie Martin

Where can we email a response?

kdmartin98@yahoo.com

What is your phone number?

5175071459

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, January 10, 2023 8:48:33 PM

Master Plan Feedback Form

Submission #: 2177784
IP Address: 174.162.72.238
Submission Date: 01/10/2023 8:48
Survey Time: 1 minute, 59 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Laurie Palin-Gray

Where can we email a response?

palinl@msu.edu

What is your phone number?

5172300667

Write us a mesesage:

I would like to see Haslett get a small geocery store. More historical events. Haslett has a lot of history. It should be celebrated

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, January 10, 2023 6:04:22 PM

Master Plan Feedback Form

Submission #: 2177441
IP Address: 98.242.165.72
Submission Date: 01/10/2023 6:04
Survey Time: 1 minute, 40 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Peggy Couturier

Where can we email a response?

peggycole2@yahoo.com

What is your phone number?

5172814118

Write us a mesesage:

Please put restaurants in the area of Marsh and Haslett res.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, January 10, 2023 5:11:25 PM

Master Plan Feedback Form

Submission #: 2177296
IP Address: 69.176.144.62
Submission Date: 01/10/2023 5:11
Survey Time: 56 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Greg Cislo

Where can we email a response?

gcislo@dtnmgt.com

What is your phone number?

5176104064

Write us a mesesage:

DTN is interested in providing feedback on the masterplan.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, January 10, 2023 5:31:56 PM

Master Plan Feedback Form

Submission #: 2177346
IP Address: 174.240.117.239
Submission Date: 01/10/2023 5:31
Survey Time: 50 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Christina Canfield

Where can we email a response?

chcanfield@gmail.com

What is your phone number?

5179270209

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, January 11, 2023 1:02:55 PM

Master Plan Feedback Form

Submission #: 2179318
IP Address: 73.145.149.147
Submission Date: 01/11/2023 1:02
Survey Time: 29 minutes, 24 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

John Anderson

Where can we email a response?

jclarkeande@gmail.com

What is your phone number?

5172530051

Write us a mesesage:

What are our economic development goals as a community? Have we identified any other cities/townships (anywhere) that are like what we aspire to be? My guess is that we are good at saying what we don't want to be. But not so good at saying what we want to be. Do we have goals? Do we have metrics about our community that we monitor and publish to demonstrate progress towards our goals? I have thoughts about these but wonder where we are today before suggesting new goals. Also, our company has created netto.com as a community where collaboration can take place. So we could create an online forum there for meridian township stakeholders can discuss and explore these things. If that helps.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, January 12, 2023 9:07:04 AM

Master Plan Feedback Form

Submission #: 2181395
IP Address: 45.16.160.203
Submission Date: 01/12/2023 9:06
Survey Time: 4 minutes, 36 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Matt Dalson

Where can we email a response?

mdalson@launchlansing.com

What is your phone number?

9893705871

Write us a mesesage:

I would like to see the Meridian Mall have the necessary support from the township should they ever want to add an onsite hotel to their property. I think adding a hotel to this specific market area would be great for area businesses not only inside the mall, but surrounding it as well. Thank you

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 14, 2023 7:00:29 AM

Master Plan Feedback Form

Submission #: 2185718
IP Address: 47.26.202.145
Submission Date: 01/14/2023 7:00
Survey Time: 50 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Kathy Schafer

Where can we email a response?

Schaferrandk@comcast.net

What is your phone number?

5176260062

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, January 25, 2023 10:04:25 AM

Master Plan Feedback Form

Submission #: 2205568
IP Address: 68.37.118.110
Submission Date: 01/25/2023 10:04
Survey Time: 2 minutes, 41 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Sarah Allen

Where can we email a response?

sarahallen33@gmail.com

What is your phone number?

5178815244

Write us a mesesage:

I would like the township to work toward having Green Burial options in the township whether that would be at cemeteries already in the area or at a differently created location. Thank you.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, January 25, 2023 10:25:49 AM

Master Plan Feedback Form

Submission #: 2205621
IP Address: 108.224.52.171
Submission Date: 01/25/2023 10:25
Survey Time: 26 minutes, 46 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Bruce Peffers

Where can we email a response?

peffersb@yahoo.com

What is your phone number?

5173818108

Write us a mesesage:

Interested in developing a green burial option within the township, either at an existing cemetery or designate a township-owned natural area for this purpose. A recent presentation offered by the League of Women Voters on this topic (at Haslett High School) was well-attended and demonstrated the local interest in this option. As of this writing, there is no local green burial option within the county. Williamston Township is in the process of finalizing a green burial area at one of their cemeteries, but this will be space-limited. It would be very nice to have a similar option for our residents available right here in the Township. As I understand it, Township regulations currently require the use of a vault as well as the casket for internment in our cemeteries. This regulation would need to be amended for green burials.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, January 26, 2023 10:23:17 AM

Master Plan Feedback Form

Submission #: 2207933
IP Address: 108.224.52.171
Submission Date: 01/26/2023 10:23
Survey Time: 3 minutes, 32 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Rita Peffers

Where can we email a response?

peffersr@msu.edu

What is your phone number?

5173818108

Write us a mesesage:

I would like the Township to consider offering green burial options at its cemetery and to additionally designate natural areas for green burials. I understand that there are two cemeteries that the Township maintains: Glendale Cemetery on Mt. Hope Road and the historic (and decaying) River Bend Cemetery along Grand River, with only Glendale having available space. Two things for the Township to consider: 1) allow Glendale to have designated space for green burials; and, 2) identify preserves/natural areas for green burials. I see this second consideration as a means to also generate income to preserve, acquire, and maintain natural areas. I hope the Township recognizes the benefit and value of offering green burials (within a 5-year timeframe?). Resources: Gabriele (Gabi) Mayer and Wanda Bloomquist, Williamston Township Supervisor. As for the River Bend Cemetery, is there a history written on this cemetery? Any restoration plans? (Maybe a good Eagle Scout project?)

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 28, 2023 9:26:10 PM

Master Plan Feedback Form

Submission #: 2213159
IP Address: 73.145.145.218
Submission Date: 01/28/2023 9:26
Survey Time: 1 minute, 13 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Valerie Von Frank

Where can we email a response?

valerievonfrank@aol.com

What is your phone number?

Write us a mesesage:

It would be really good if the township would explore having a green burial site! Particularly a natural area.

Do you have a preferred contact method?

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 28, 2023 9:09:31 PM

Master Plan Feedback Form

Submission #: 2213146
IP Address: 108.224.52.151
Submission Date: 01/28/2023 9:09
Survey Time: 1 minute, 19 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

LouAnn Stark-Dykema

Where can we email a response?

louannsd26@gmail.com

What is your phone number?

5172424234

Write us a mesesage:

Interested in green burial space in the township

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 28, 2023 9:05:43 PM

Master Plan Feedback Form

Submission #: 2213145
IP Address: 108.224.52.151
Submission Date: 01/28/2023 9:05
Survey Time: 53 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Jay Stark-Dykema

Where can we email a response?

jrsdykema@gmail.com

What is your phone number?

Write us a mesesage:

Please add provisions for green burial at a local cemetery or two. Thank you very much.

Do you have a preferred contact method?

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 28, 2023 1:55:51 PM

Master Plan Feedback Form

Submission #: 2212693
IP Address: 73.145.143.4
Submission Date: 01/28/2023 1:55
Survey Time: 1 minute, 29 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Etta Abrahams

Where can we email a response?

etta1225@gmail.com

What is your phone number?

5178990389

Write us a mesesage:

I'm interested in learning about green burial for myself and my husband.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Saturday, January 28, 2023 1:03:22 PM

Master Plan Feedback Form

Submission #: 2212627
IP Address: 37.19.221.234
Submission Date: 01/28/2023 1:03
Survey Time: 45 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Jon Villasurda

Where can we email a response?

jvillasurda@gmail.com

What is your phone number?

9894131420

Write us a mesesage:

We definitely support the concept of green burials and including this in the Master Plan.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, January 30, 2023 7:36:33 PM

Master Plan Feedback Form

Submission #: 2216328
IP Address: 207.179.73.185
Submission Date: 01/30/2023 7:36
Survey Time: 9 minutes, 33 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Susan Bence

Where can we email a response?

suebence@gmail.com

What is your phone number?

5174200018

Write us a mesesage:

I was given this link to express my interest in having the township pursue creating a green burial area as part of the comprehensive Master Plan for Meridian Township. It is something of interest to many residents. It would provide a dignified and low energy use burial and an enhanced natural area for future use by all residents.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, February 7, 2023 11:01:03 AM

Master Plan Feedback Form

Submission #: 2230986
IP Address: 173.247.30.130
Submission Date: 02/07/2023 11:00
Survey Time: 41 minutes, 38 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Shawn Dunham

Where can we email a response?

Shawn.Dunham@CBLProperties.com

What is your phone number?

5179930226

Write us a mesesage:

Meridian Mall continues to explore ways to redevelop the property and appreciates any flexibility in zoning and uses allowed throughout the campus. Many properties across the country are transforming from 100% retail to mixed-use. The transformation helps stabilize the asset and helps the property stay relevant in the ever-evolving retail climate. Transformations of this caliber may have significant capital needs. Assistance in the form of public/private partnership would greatly enhance the viability of potential redevelopment. The ability to redevelop the mall into a mixed-use environment effectively positions the center to continue to be a major part of the community. We are very fortunate to be a part of the Meridian Township community and we are looking forward to strengthening our relationship well into the foreseeable future.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, February 8, 2023 10:33:22 PM

Master Plan Feedback Form

Submission #: 2235193
IP Address: 73.145.131.180
Submission Date: 02/08/2023 10:33
Survey Time: 1 minute, 14 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Stacy Greborunis

Where can we email a response?

stacygreborunis@gmail.com

What is your phone number?

5178627970

Write us a mesesage:

We are interested in a potential green cemetery for Meridian Township.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, February 13, 2023 3:21:17 PM

Master Plan Feedback Form

Submission #: 2242393
IP Address: 35.22.216.218
Submission Date: 02/13/2023 3:21
Survey Time: 1 minute, 39 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Shannon McGaughey

Where can we email a response?

mcgaugh2000@gmail.com

What is your phone number?

5172140299

Write us a mesesage:

I would like to provide feedback for the Master Plan and look forward to receiving the form.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, February 13, 2023 4:10:45 PM

Master Plan Feedback Form

Submission #: 2242562
IP Address: 37.19.200.4
Submission Date: 02/13/2023 4:10
Survey Time: 3 minutes, 44 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Jon Hayes

Where can we email a response?

hayes0530@icloud.com

What is your phone number?

5174109137

Write us a mesesage:

Been a resident since 2008. Our daughter attended Haslett schools. We would like to see more round a-bouts or traffic circles. We have lived in Europe for a brief time. This is the most efficient way to route traffic. Oh yeah... Definitely more trees and native fauna. Maybe a tiny home subdivision ?

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Monday, February 13, 2023 11:06:24 PM

Master Plan Feedback Form

Submission #: 2243456
IP Address: 172.58.137.71
Submission Date: 02/13/2023 11:06
Survey Time: 23 minutes, 42 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Richard Baibak

Where can we email a response?

rsbaibak@gmail.com

What is your phone number?

5177495864

Write us a mesesage:

Grand River Ave, Haslett Rd., Okemos road and Marsh road serve as major routes. These roads should have attractive LED street lamps like the ones in Allendale, Michigan to enhance the top. MERIDIAN Road should be parallel with a freeway connecting I-96 with I-69 AS a bypass of the township. OKEMOS to road should be connected to Marsh Road at Hamilton by extending Marsh thru The ranch home on Hamilton and continue South over the Red Cedar River on timber piling toward the electric substation near the school building an connect to Okemos Road. This route would protect the Okemos village from increasing traffic. Construction OF the old Town Okemos intersection would enhance that area. Construction on timber piling would avoid water flow disruption on the Red Cedar River while reducing the traffic congestion in the park lowland.. OKEMOS ROAD FROM Grand River to Saginaw highway should be 4 or 5 lanes with a bridge over the Railraod track similar to the bridge on Marsh Road.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Friday, February 17, 2023 10:29:31 AM

Master Plan Feedback Form

Submission #: 2251046
IP Address: 73.145.138.242
Submission Date: 02/17/2023 10:29
Survey Time: 17 minutes, 6 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Roger Taylor

Where can we email a response?

rltaylornt13@comcast.net

What is your phone number?

5178817976

Write us a mesesage:

When conducting meetings with an Agenda , aka , Zoning board . Keep the agenda pertaining to the issue of the Zoning problem. A neighbor issue should not be allowed to speak against another neighbor. Neighbor should speak about the Zoning issue on how its going to affect their property. Thats all., Allowing a tirade against another neighbor is beyond the scope of the Zoning board and should not be allowed by Zoning board. Also, the board should be impartial to the issue, if there is a violation, it should be explained without reservation. The Board should not talk down to the neighbor in a manner that makes the person uncomfortable. aka , you are violator and what give you the right to do this. You are not qualified to do this work ! Not the words to use for people that are the constituencies of this board . Your words are make somebody feel like they are somebody . " Frank Walsh" township manager.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

February 17, 2023

Frank Walsh, Tim Schmitt and
Meridian Township Planning Commission

Greetings, the Perna family has owned the golf range property at 1420 W. Grand River Avenue in Okemos since 1980. The family operated the golf range for 30 plus years, and for the past 10 years they have leased it to a local golf professional.

I understand the Township is updating its comprehensive plan for future zoning and considering increasing the urban service boundary. We would like to have input on our property in the process. Please let us know what we can do to participate. I currently live in Florida but will come in to meet as needed.

We are requesting commercial zoning. This could be turned into a PUD that would allow us to blend to our neighboring properties, between residential and commercial uses. We also request to be within the urban service boundary. I am working with Bob Schroeder to help guide us through the process. He has the authority to speak on our behalf. Bob developed Silverstone Estates on the northern portion of our land.

We have been operating a business at this location for over 40 years. It is our goal to turn this property into successful development that is an asset to the Okemos community. Let me know what I can do to accomplish this. You may contact me at (315) 415-6655 or via email at mpsmer@aol.com .

Sincerely,
Maria Perna Scro
Trustee of Perna Trust

Cc: Bob Schroeder

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, February 23, 2023 4:48:03 PM

Master Plan Feedback Form

Submission #: 2264038
IP Address: 68.37.116.42
Submission Date: 02/23/2023 4:47
Survey Time: 18 minutes, 8 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

MARY CLAUSEN

Where can we email a response?

clausen.adventure@gmail.com

What is your phone number?

5179303485

Write us a mesesage:

This is a comment on commercial developments. There may be a desire by the planners in the township to have retail buildings close to the street with parking behind. This is the case on the new development on the southeast corner of Haslett and Marsh Roads. They indicated the idea was to be more urban. I don't know how many others in the township feel like I do, but I do not want to feel like I am in a city with no greenspace by buildings and sidewalks. That's why I live in a suburb. I understand that we need to be efficient with the land but I think it can be accomplished without having the buildings smashed against the streets. Also, at that same development, the parking is congested and awkward for getting in and out. If this should be directed to the planning commission, please forward this to them. Thank you for your consideration.

Do you have a preferred contact method?

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, March 1, 2023 7:26:17 AM

Master Plan Feedback Form

Submission #: 2274475
IP Address: 73.55.35.158
Submission Date: 03/01/2023 7:26
Survey Time: 39 minutes, 32 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Valerie Lafferty

Where can we email a response?

LaffertyPLLC@gmail.com

What is your phone number?

5173496660

Write us a mesesage:

In response to your encouragement to comment on the new master plan: 1. For new or replacement construction, requiring some % of commercial grade compost (re updated Sustainability Goals) to build healthier soils/produce/tree health/soil absorbency to offset flooding --& then add permeable materials (inc pavers) for replacement/new driveways, yard walks, patios. 2. Encourage biking (offset vehicles + inc health) by engineering margins separating cars and require secure bike parking in commercial areas so residents can use their bikes/electric bikes for trips to stores/restaurants to make it biking easier, safer and assure users their bikes won't be stolen. 3. Require new construction/rebuilds to provide green space & recreational activities to more fully account for increase of people, their needs & increased impact on community. Concerned unmet needs (environmental/health issues) = not fully recognizing the impact/responsibility of new/more so problems/costs just passed on. Thank you! :)

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: [Greg Fedewa](#)
To: [Brian Shorkey](#)
Subject: Re: Future Land Use Map - Jerry Fedewa Homes
Date: Thursday, March 9, 2023 3:35:35 PM

Hi Brian,

Here are the properties we have an interest in being rezoned.

- 4515 Dobie Rd, Okemos, MI 48864. Currently zoned residential would like it to be zoned RC
- 5921 and 5929 Okemos Rd. Currently zoned RX would like them to be zoned RC.

Do you have an idea of when the new map will be completed?

Thank you,

On Thu, Mar 9, 2023 at 1:38 PM Brian Shorkey <shorkey@meridian.mi.us> wrote:

Greg,

I remember that you were there. Please let me know what properties you are talking about and what you want to change them to.

Thanks,



Brian J. Shorkey, AICP

Senior Planner

shorkey@meridian.mi.us

W 517.853.4576

5151 Marsh Road | Okemos, MI 48864

meridian.mi.us

From: Greg Fedewa <greg@jerryfedewahomes.com>
Sent: Wednesday, March 8, 2023 2:46 PM
To: Brian Shorkey <shorkey@meridian.mi.us>
Cc: David Fedewa <david@jerryfedewahomes.com>
Subject: Future Land Use Map - Jerry Fedewa Homes

Afternoon Brian,

My name is Greg, I work for Jerry Fedewa Homes. We met at this planning meeting about a month ago. I have some questions about the Future Land Use Map.

We're builders and developers trying to rezone a few of our properties. We were sent down the path of requesting the rezoning of these properties through the Future Land Use Map. My main question is, in your opinion is this the appropriate avenue to request this rezoning?

From sitting in on the Planning meeting I realize updating this map is no small feat. Do you have a general idea of the timeline of when the update will be completed?

Appreciate your input,

Thank you,

--

Greg Fedewa

Jerry Fedewa Homes

Cell- (517) 881-3815

Office- (517) 339-0020

Fax- (517) 879-0345

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, March 21, 2023 10:06:47 PM

Master Plan Feedback Form

Submission #: 2316720
IP Address: 104.187.247.147
Submission Date: 03/21/2023 10:06
Survey Time: 36 minutes, 37 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Cecelia Kramer

Where can we email a response?

cremark1@sbcglobal.net

What is your phone number?

5178980097

Write us a mesesage:

I was shocked and dismayed to look to the 2017 Master Plan to discover only 5 references to our public libraries!! Three are map citations showing locations in the township. The only one-sentence long reference is on 10 C - Maintain Essential Public Services. Finally, a photo of the Okemos Library on page 62, Community Facilities; with no accompanying cutline. Please know Libraries are Essential CENTERS of our community. These beloved institutions supported by millage which passed overwhelmingly, do yeoman's work through the CADL to provide a wide variety of services beyond books and computers to Meridian residents; Toddler Story Hour, presentations in schools, teen service groups, ESOL classes, book clubs, programs and presentations, all add to the quality of life in Meridian. To have no future vision for this essential program is unconscionable. The Am. Library Assoc. recommends 1 square foot of library space per capata. Meridian's total 24,000 sq.ft. is woefully short.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, March 21, 2023 5:02:17 PM

Master Plan Feedback Form

Submission #: 2316123
IP Address: 67.167.160.246
Submission Date: 03/21/2023 5:02
Survey Time: 46 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Karen Voisinet-Fraser

Where can we email a response?

kfraser1959@gmail.com

What is your phone number?

5179306456

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, March 22, 2023 4:24:55 PM

Master Plan Feedback Form

Submission #: 2318432
IP Address: 73.145.146.98
Submission Date: 03/22/2023 4:24
Survey Time: 21 minutes, 48 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Margaret Kelly

Where can we email a response?

pegakelly@comcast.net

What is your phone number?

Write us a mesesage:

We love our Okemos and Haslett libraries here in Meridian Township!! Please be sure to make them a high priority in your Master Plan! One suggestion to consider would be to add an addition to each library to increase their square footage. Thank you! Margaret (Peggy) Kelly, 2083 Fox Hollow Dr, Okemos MI.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Thursday, March 23, 2023 6:51:54 PM

Master Plan Feedback Form

Submission #: 2321015
IP Address: 73.145.244.65
Submission Date: 03/23/2023 6:51
Survey Time: 42 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Elaine High

Where can we email a response?

high@msu.edu

What is your phone number?

5179278828

Write us a mesesage:

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.



March 29, 2023

Tim Schmitt and Frank Walsh
Meridian Township Planning Commission

RE: Zoning Request

Dear Sirs,

I am the owner of approximately 150 acres in Haslett. The land is adjacent to Copper Creek PUD east to Meridian Road. We are requesting the land be given R2, or higher density, Residential Zoning in the new Comprehensive Plan.

The R2 Zone met a market need and has surpassed original expectations. There is a clear market need for additional housing in this area. Haslett Schools has been in favor of additional students as well.

Let me know if you have questions or need additional information.

Sincerely,

Bob Schroeder
President
Mayberry Homes
(517) 712-0620

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Tuesday, April 11, 2023 5:36:06 PM

Master Plan Feedback Form

Submission #: 2359445
IP Address: 217.180.219.237
Submission Date: 04/11/2023 5:36
Survey Time: 3 minutes, 56 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Amee OLeary

Where can we email a response?

ameeoleary@mac.com

What is your phone number?

5177195676

Write us a mesesage:

The roads need to be a priority. The entire city of Okemos has beaten down, awful roads and they need to be a priority. Now with the bridge of Okemos Rd. mostly complete, and sections of Grand River done, the neighborhoods need addressing. Our street, Navaho Trail is horrendous and has never been re- done since we've been living here, 26 years. Band aids of pothole filling do not do much to address the issue. Please help.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

From: webmaster@meridian.mi.us on behalf of [Meridian Township, MI](#)
To: [Tim Schmitt](#); [Keith Chapman](#); [Brian Shorkey](#)
Subject: *NEW SUBMISSION* Master Plan Feedback Form
Date: Wednesday, April 19, 2023 10:49:05 PM

Master Plan Feedback Form

Submission #: 2378994
IP Address: 108.224.52.170
Submission Date: 04/19/2023 10:48
Survey Time: 58 minutes, 45 seconds

You have a new online form submission.

Note: all answers displaying "*****" are marked as sensitive and must be viewed after your login.

Get in Touch

Please fill out the quick form and we will be in touch with lightning speed.

What is your first and last name?

Steve Thomas

Where can we email a response?

stevet16@att.net

What is your phone number?

5177550851

Write us a mesesage:

The dominant landuses in Meridian Township are housing and businesses. Our roads are busy, and noise from cars is unceasing until late at night. Although people are usually friendly, the Township is already busy, and crowded to the point of real stress. The Township's website uses video from above to highlight parks and open space. This is understandable—researchers have repeatedly found that open space, trees, wetlands, and wildlife improve human health and extend lifespans; and they greatly increase human well being. This is not my opinion—it is what scientific research has revealed. Construction of additional houses, businesses, and roads may feel like the status quo but it will hurt all of us. Suburban sprawl has already gone too far, and I encourage you not to extend the Urban Service Boundary. Please retain the open space that remains in the Township, and thereby the improved quality of life it affords. Thank you for the opportunity to comment on the Master Plan.

Do you have a preferred contact method?

Please reply by email address

Thank you,

Meridian Township, MI

This is an automated message generated by Granicus. Please do not reply directly to this email.

October 10, 2023

Dear Meridian Township Board of Trustees:

I write to you today on behalf of my family (husband Aaron Wekenman and two children) regarding the Meridian Township Master Plan. We recently moved into Okemos after many years in Laingsburg because of the natural beauty in the area, and around our new-to-us home. As residents of Laingsburg, we would often drive into Okemos for the Meridian Farmers Market and the parks, and we would shop and dine local while we were here. We always admired the beauty, especially along Van Atta Road, Meridian Road, and Newman Road, and began looking for opportunities to move to this location over other surrounding areas because of the beautiful natural setting.

We are aware that in 2020, residents elected trustees who clearly presented that a top priority of theirs would be, "protecting neighborhoods from encroaching development," and "creating a more environmentally sustainable community." Although we were not Meridian Township residents at the time of that vote, we agree with those priorities and support trustees who uphold the desires of the voters.

Regarding the proposed master plan, we would like to strongly voice support of the following goals:

- 1) "Promote infill development along the main vehicular corridors in the Township, reusing existing developed land for new uses."

Again, the main reason we live in Meridian Township and pay higher taxes than surrounding areas is because of the natural beauty. We support protecting the natural beauty from development. In addition, you will likely see in the coming months, infill development may become more of a statewide focus as Michigan works to find ways to attract and retain population because of the positive aspects infill development brings.

- 2) "Focus growth onto previously developed sites to ensure efficient land use patterns within the Urban Service Boundary."

We oppose the Urban Service Boundary expanding beyond its current Eastern borders. Many trustees were elected on promises to protect the Eastern third of the township and wetlands from development.

- 3) "Investigate the possibility of developing a woodlands ordinance to protect woodlots."

We support all ordinances that protect our natural ecosystems, knowing that the long-term sustainability will enhance the resilience of our community. In addition, climate change is impacting global temperatures. Many U.S. cities are looking into and/or

adopting specific climate plans, like Phoenix, AZ, which include tree and shade master plans. The climate plans being implemented are designed at increasing the environmental and economic wellbeing of its residents. To allow woodlands and woodlots to be developed, while knowing the current environmental impacts that would have on our community, could be reckless and detrimental.

In addition, my family strongly opposes the following:

- 1) "Aid in evaluating shift of the Land Preservation program's focus away from acquisition."

We have been made aware that tax money was allocated and procured from the tax base for us landowners in preserving the natural features in Meridian Township. This remains a priority.

We are aware that there are millions of dollars in the land acquisition fund and land management fund which were allocated specifically for this purpose by taxpayer vote. Thus, more land can be acquired, and staff hired to manage the land. All money spent from this fund should be used directly for this dedicated purpose.

- 2) "Review the wetland setback requirements, which has created a two-tiered system of land ownership in the Township."

We fully support the wetland setback requirements to protect all the properties from floods. We have heard about the flooding of thousands of homes and properties, which has become more commonplace with the current climate crisis. We disagree that grandfathered properties before 1991 create any more disparity than lead paint ordinances or any such changes for the good of all.

Sincerely,



Rachelle VanDeventer
Meridian Township Resident
4951 Van Atta Rd



Williamstown Township
4990 Zimmer Rd., Williamston, MI 48895
WilliamstownTownship.com
P: (517) 655-3193 | F: (517) 655-3971

November 7, 2023

Meridian Township Planning Commission
5151 Marsh Rd.
Okemos, MI 48864

Dear Planning Commissioners:

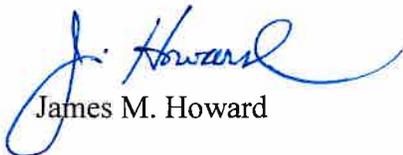
Members of the Williamstown Township Planning Commission have reviewed the draft of Meridian Township's Master Plan and offer the comments shown below.

Williamstown Township and Meridian Township share a common border along Meridian Road which is an area of great interest to Williamstown. The township is encouraged by the fact that no expansion of the urban services boundary is contemplated except for the area along Powell Road.

Cluster housing, ADUs and low impact design standards are important concepts that merit thorough and thoughtful consideration. Also the plan's emphasis on maintaining the commitment to natural resources and parks, along with the development of a woodlands ordinance represents sincere and appropriate attention to quality of life issues directly impacting residents.

Williamstown Township appreciates the opportunity to comment on the current draft of Meridian Township's Master Plan.

On behalf of the Williamstown Township Planning Commission,


James M. Howard



To: Planning Commission

**From: Brian J. Shorkey, AICP
Senior Planner**

Date: November 13, 2023

Re: TA #2023-08 – Sec. 86-436 – Conservancy District Amendment

Planning and Engineering Staff have seen several applications for small projects in floodplains in recent years, such as decks and home additions. As the ordinance stands, all floodplain related projects require a Special Use Permit and a public hearing. In an effort to reduce the number of SUP applications and expedite the process for homeowners, Township Staff is proposing to amend Sec. 86-436 – Conservancy District, in the zoning ordinance.

This proposed amendment achieves two major objectives. First of all, it adds decks as uses permitted by right in floodway areas. This is in response to several past Special Use Permit applications where homeowners have had to have public hearings in order to build a deck. Second, it allows the Township Floodplain Administrator to administratively approve projects that incorporate fill less than or equal to ten cubic yards. This is consistent for the administrative approval for erosion around Lake Lansing. All other requirements for projects in a floodplain would remain.

The Planning Commission held a public hearing on the amendment at their regular meeting on October 23, 2023 and indicated support. At this time, Staff would **recommend approval** of the proposed ordinance changes. A resolution to recommend approval of the proposed zoning amendment is provided.

Motion to adopt the resolution recommending approval of Zoning Amendment #2023-08 in accordance with the revised draft ordinance language dated October 23, 2023.

Attachment

1. Resolution recommending approval of Ordinance #2023-08 to the Township Board
2. Clean version of Ordinance #2023-08 – Conservancy District Amendment
3. Redlined version of Ordinance #2023-08 – Conservancy District Amendment

RESOLUTION TO RECOMMEND APPROVAL

**Zoning Amendment #2023-08
Conservancy District Amendment**

RESOLUTION

At the regular meeting of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 13th day of November, 2023 at 6:30 p.m., Local Time.

PRESENT:

ABSENT:

The following resolution was offered by _____ and supported by _____.

WHEREAS, a draft ordinance to update Sec. 86-436 – CV District: Conservancy District was discussed with the Planning Commission on September 25, 2023; and

WHEREAS, a draft ordinance to update and streamline the zoning ordinance was introduced to the Planning Commission on July 24, 2023; and

WHEREAS, the draft ordinance would add decks as uses permitted by right in floodway areas; and

WHEREAS, the draft ordinance would allow the Township Floodplain Administrator to administratively approve projects that incorporate fill less than or equal to ten cubic yards; and

WHEREAS, the draft ordinance would reduce the number of Special Use Permit applications; and

WHEREAS, the Planning Commission held a public hearing on the draft ordinance on October 23, 2023.

NOW THEREFORE BE IT RESOLVED THE PLANNING COMMISSION OF THE CHARTER TOWNSHIP OF MERIDIAN hereby recommends approval to the Township Board for Zoning Amendment #2023-08, to amend the zoning ordinance as described in this resolution.

ADOPTED: YEAS:

NAYS:

STATE OF MICHIGAN)

) ss

COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Chair of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and complete copy of a resolution adopted at a regular meeting of the Planning Commission on the 13th day of November, 2023.

Zoning Amendment #2023-08 - Conservancy District Amendment

November 13, 2023

Page 2

Mark Blumer
Planning Commission Chair

ORDINANCE NO. 2023-08

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CHARTER TOWNSHIP OF MERIDIAN TO UPDATE STANDARDS IN SECTION 86-436 – CONSERVANCY DISTRICT IN THE ZONING ORDINANCE TO ALLOW LIMITED ADMINISTRATIVE REVIEW

THE CHARTER TOWNSHIP OF MERIDIAN ORDAINS:

Section 1. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (b) as follows:

(a) Definitions.

FLOODPLAIN. The area of land adjoining a lake or watercourse within the Township subject to a 1 percent or greater chance of flooding in any given year, also known as the Special Flood Hazard Area. Riverine floodplains, those along rivers and drains, are composed of both the floodway and the floodway fringe.

FLOODWAY. The channel of a riverine watercourse and those portions of the floodplain which are reasonably required to carry and discharge the base flood. The boundary of the floodway is designated on the current Flood Insurance Rate Maps from FEMA.

SUBSTANTIAL IMPROVEMENT. Any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50% of the market value of the structure before the "start of construction" of the improvement. Substantial improvement includes buildings that have incurred "substantial damage," regardless of the actual repair work performed. For substantial improvement, the term "start of construction" means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not the alteration affects the external dimensions of the building. The term "substantial improvement" does not include the following:

1. Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions.
2. Any alteration of a "historic structure", provided that the alteration will not preclude the structure's continued designation as a "historic structure".

Section 2. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (d) as follows:

(d) Conservancy district areas. The conservancy district shall be considered to overlay existing zoning districts and shall constitute additional terms over and above those imposed by the underlying zoning districts. The conservancy district within the jurisdiction of this section is hereby divided into three areas: groundwater recharge areas, floodway areas, and floodway fringe areas. The location and boundaries of the

floodway and floodway fringe areas shall coincide with those locations and boundaries for floodways and floodway fringe areas as shown on the most recently approved Flood Insurance Rate Map as published by the Federal Emergency Management Agency (FEMA).

Section 3. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (e) as follows:

(e) General provisions of the floodplain areas of the conservancy district. The restrictions listed in this subsection constitute those general provisions which shall govern development, construction, improvement, and relocation within the floodplain areas of the conservancy district.

(1) All persons proposing development within the floodplain areas shall obtain approved permits from those government agencies having jurisdiction over floodplain development. No building permit or occupancy permit shall be issued until all such aforementioned permits have been obtained and have been reviewed by the Department of Community Planning and Development.

(2) Developers of new, substantially improved, or relocated structures within the floodplain areas shall submit to the Department of Community Planning and Development a written document indicating:

- a. The elevation of the lowest floor including basement(s) in the structure.
- b. The elevation to which a structure has been floodproofed, if floodproofing methods have been employed.

Details of specifications proposed and as-built drawings shall be kept on record and will be available for public inspection and for use in determining flood insurance risk premium rates.

- (3) [UNCHANGED]
- (4) [UNCHANGED]
- (5) [UNCHANGED]
- (6) [UNCHANGED]
- (7) [UNCHANGED]
- (8) [UNCHANGED]
- (9) [UNCHANGED]
- (10) [UNCHANGED]
- (11) [UNCHANGED]
- (12) [UNCHANGED]
- (13) [UNCHANGED]

Section 4. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (f) as follows:

(f) Permitted uses by right in the floodway area of the conservancy district. The following uses having a low flood damage potential and presenting no or minimal obstruction to flood flows shall be permitted within the floodway district to the extent that they are not prohibited by any other ordinance and provided they do not require structures, storage of materials or equipment, fill, or alteration of the preexisting grade. No use shall in any manner adversely affect or reduce the capacity of the channels or floodways of any tributary to the main stream, drainage ditch, or any other drainage facility or system. Approval from the state department of environmental quality is needed for construction activity taking place in the floodway.

- 1) [UNCHANGED]
- 2) [UNCHANGED]
- 3) [UNCHANGED]
- 4) [UNCHANGED]
- 5) [UNCHANGED]
- 6) Decks, provided the following conditions:
 - a. Any deck with foundational elements located within the floodplain shall be structurally independent from the residential structure.
 - b. Any deck with foundational elements located within the floodplain requires a floodplain (Part 31) permit from the Michigan Department of Environment, Great Lakes, and Energy. A copy of such permit shall be provided to Meridian Township.
 - c. Any deck, or portion thereof, located within the floodplain may not be enclosed beneath, or within one foot above the Base Flood Elevation.

Section 5. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (g) as follows:

(g) Uses permitted by special use permit in the floodway area of the conservancy district. Provided such uses shall not be adverse to the purpose of this section or damaging to the public health, safety, or welfare, or impose a financial burden upon the community, or shall in any manner adversely affect or reduce the capacity of the channels or floodways of any tributary to the main stream, drainage ditch, or any other drainage facility or system, the following uses may be permitted by issuance of a special use permit in accordance with Article **II**, Division 4 of this chapter and any other requirements stipulated in this section:

- (1) [UNCHANGED]
- (2) [UNCHANGED]
- (3) [UNCHANGED]
- (4) [UNCHANGED]
- (5) [UNCHANGED]
- (6) Uses described in § **86-436(f)** which incorporate fill greater than ten cubic yards and are to be constructed above the preexisting grade.

Section 6. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (k) as follows:

(k) Permitted uses by right in the floodway fringe area of the conservancy district. The following uses having a low flood damage potential and presenting no or minimal obstruction to flood flows shall be permitted within the floodway fringe district to the extent that they are not prohibited by any other ordinance and provided they do not require structures, storage of materials or equipment, fill, or alteration of the preexisting grade. Approval from the state department of environmental quality is needed for construction activity taking place in the floodway fringe.

- (1) [UNCHANGED]
- (2) [UNCHANGED]
- (3) [UNCHANGED]
- (4) [UNCHANGED]
- (5) [UNCHANGED]
- (6) Decks, provided the following conditions:
 - a. Any deck with foundational elements located within the floodplain shall be structurally independent from the residential structure.

- b. Any deck with foundational elements located within the floodplain requires a floodplain (Part 31) permit from the Michigan Department of Environment, Great Lakes, and Energy. A copy of such permit shall be provided to Meridian Township.
- c. Any deck, or portion thereof, located within the floodplain may not be enclosed beneath, or within one foot above the Base Flood Elevation.

Section 7. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (l) as follows:

- (l) Uses permitted by special use permit in the floodway fringe area of the conservancy district. Provided such uses shall not be adverse to the purpose of this section or damaging to the public health, safety, or welfare or impose a financial burden upon the community, the following uses may be permitted by issuance of a special use permit in accordance with Article II, Division 4 of this chapter and any other requirements stipulated in this section:
 - (1) [UNCHANGED]
 - (2) [UNCHANGED]
 - (3) [UNCHANGED]
 - (4) [UNCHANGED]
 - (5) [UNCHANGED]
 - (6) [UNCHANGED]
 - (7) [UNCHANGED]
 - (8) Uses described in § 86-436(k) which incorporate fill greater than ten cubic yards and are to be constructed above the preexisting grade.

Section 8. Section 86-436, CV District: Conservancy District, is hereby amended to add Subsection (x) as follows:

- (x) Uses permitted by Administrative Review. Uses described in § 86-436(f) or § 86-436(k) which incorporate fill less than or equal to ten cubic yards and are to be constructed above the preexisting grade shall be subject to administrative review and approval by the Township Floodplain Administrator. All other requirements of Section 86-436 shall apply.

Section 9. Validity and Severability. The provisions of this Ordinance are severable and the invalidity of any phrase, clause or part of this Ordinance shall not affect the validity or effectiveness of the remainder of the Ordinance.

Section 10. Repealer Clause. All ordinances or parts of ordinances in conflict therewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 11. Savings Clause. This Ordinance does not affect rights and duties matured, penalties that were incurred, and proceedings that were begun, before its effective date.

Section 12. Effective Date. This Ordinance shall be effective seven (7) days after its publication or upon such later date as may be required under Section 402 of the Michigan Zoning Enabling Act (MCL 125.3402) after filing of a notice of intent to file a petition for a referendum.

1 ADOPTED by the Charter Township of Meridian Board at its regular meeting this **XX**th day of
2 **XXXXXXXX**, 2023.

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Patricia Herring Jackson, Township Supervisor

Deborah Guthrie, Township Clerk

ORDINANCE NO. 2023-08

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF THE CHARTER TOWNSHIP OF MERIDIAN TO UPDATE STANDARDS IN SECTION 86-436 – CONSERVANCY DISTRICT IN THE ZONING ORDINANCE TO ALLOW LIMITED ADMINISTRATIVE REVIEW

THE CHARTER TOWNSHIP OF MERIDIAN ORDAINS:

Section 1. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (b) as follows:

(a) Definitions.

~~DEVELOPMENT. Any man made change to improved or unimproved real estate, including, but not limited to, buildings, or other structures, mining, dredging, filling, grading, paving, excavation or drilling operation.~~

~~FLOODPLAIN. The area of land adjoining a lake or watercourse within the Township subject to a 1 percent or greater chance of flooding in any given year, also known as the Special Flood Hazard Area. Riverine floodplains, those along rivers and drains, are composed of both the floodway and the floodway fringe.~~

~~FLOODWAY. The channel of the watercourse and those portions of the adjoining floodplains which carry and discharge the base flood, as determined by the Federal Emergency Management Agency and as indicated on the flood insurance rate map. The channel of a riverine watercourse and those portions of the floodplain which are reasonably required to carry and discharge the base flood. The boundary of the floodway is designated on the current Flood Insurance Rate Maps from FEMA.~~

~~PERSON. A firm, association, organization, partnership, trust, estate, company, corporation, joint venture, political subdivision, or body of individuals, as well as an individual.~~

SUBSTANTIAL IMPROVEMENT. Any reconstruction, rehabilitation, addition, or other improvement of a structure, the cost of which equals or exceeds 50% of the market value of the structure before the "start of construction" of the improvement. Substantial improvement includes buildings that have incurred "substantial damage," regardless of the actual repair work performed. For substantial improvement, the term "start of construction" means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not the alteration affects the external dimensions of the building. The term "substantial improvement" does not include the following:

1. Any project for improvement of a structure to correct existing violations of state or local health, sanitary, or safety code specifications which have been identified by the local code enforcement official and which are the minimum necessary to assure safe living conditions.

1.2. Any project for improvement of a structure to comply with existing state or Township health, sanitary, or safety code specification which are solely necessary to ensure save living

~~conditions or any alteration of a structure listed on the National Register of Historic Places or the state register of historic places. Any alteration of a "historic structure", provided that the alteration will not preclude the structure's continued designation as a "historic structure".~~

~~**WATERCOURSE.** Any natural or artificial watercourse, stream, river, creek, ditch, channel, canal, conduit, culvert, drain, waterway, gully, ravine, or wash in which water flows in a definite direction or course, either continuously or intermittently and which has a definite channel, bed and banks and shall include any area adjacent thereto subject to inundation by reason of overflow or floodwater.~~

Section 2. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (d) as follows:

(d) Conservancy district areas. The conservancy district shall be considered to overlay existing zoning districts and shall constitute additional terms over and above those imposed by the underlying zoning districts. The conservancy district within the jurisdiction of this section is hereby divided into three areas: groundwater recharge areas, floodway areas, and floodway fringe areas. The location and boundaries of the floodway and floodway fringe areas shall coincide with those locations and boundaries for floodways and floodway fringe areas as shown on the most recently approved Flood Insurance Rate Map (~~Map Number 26065C, Community Number 260093, Panels 0040D, 0043D, 0044D, 0075D, 0152D, 0153D, 0154D, 0156D, 0157D, 0158D, 0159D, 0161D, 0162D, 0170D, 0176D, 0178D, and 0190D dated August 16, 2011~~), and by the corresponding Flood Insurance Study, entitled ~~Ingham County, Michigan (all jurisdictions) and dated August 16, 2011~~, as published by the Federal Emergency Management Agency (FEMA).

Section 3. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (e) as follows:

(e) General provisions of the ~~floodway and floodway fringe~~ floodplain areas of the conservancy district. The restrictions listed in this subsection constitute those general provisions which shall govern development, construction, improvement, and relocation within the ~~floodway and floodway fringe~~ floodplain areas of the conservancy district.

(1) All persons proposing development within the ~~floodway and floodway fringe~~ floodplain areas shall obtain approved permits from those government agencies having jurisdiction over floodplain development. No building permit or occupancy permit shall be issued until all such aforementioned permits have been obtained and have been reviewed by the Department of Community Planning and Development.

(2) Developers of new, substantially improved, or relocated structures within the ~~floodway and floodway fringe~~ floodplain areas shall submit to the Department of Community Planning and Development a written document indicating:

- a. The elevation of the lowest floor including basement(s) in the structure.
- b. The elevation to which a structure has been floodproofed, if floodproofing methods have been employed.

Details of specifications proposed and as-built drawings shall be kept on record and will be available for public inspection and for use in determining flood insurance risk premium rates.

- (3) [UNCHANGED]
- (4) [UNCHANGED]
- (5) [UNCHANGED]
- (6) [UNCHANGED]
- (7) [UNCHANGED]
- (8) [UNCHANGED]
- (9) [UNCHANGED]
- (10) [UNCHANGED]
- (11) [UNCHANGED]
- (12) [UNCHANGED]
- (13) [UNCHANGED]

Section 4. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (f) as follows:

(f) Permitted uses by right in the floodway area of the conservancy district. The following uses having a low flood damage potential and presenting no or minimal obstruction to flood flows shall be permitted within the floodway district to the extent that they are not prohibited by any other ordinance and provided they do not require structures, storage of materials or equipment, fill, or alteration of the preexisting grade. No use shall in any manner adversely affect or reduce the capacity of the channels or floodways of any tributary to the main stream, drainage ditch, or any other drainage facility or system. Approval from the state department of environmental quality is needed for construction activity taking place in the floodway.

- 1) [UNCHANGED]
- 2) [UNCHANGED]
- 3) [UNCHANGED]
- 4) [UNCHANGED]
- 5) [UNCHANGED]

6) Decks, provided the following conditions:

- a. Any deck with foundational elements located within the floodplain shall be structurally independent from the residential structure.
- a.b. Any deck with foundational elements located within the floodplain requires a floodplain (Part 31) permit from the Michigan Department of Environment, Great Lakes, and Energy. A copy of such permit shall be provided to Meridian Township.
- b.c. Any deck, or portion thereof, located within the floodplain may not be enclosed beneath, or within one foot above the Base Flood Elevation.

Section 5. Section 86-436, CV District: Conservancy District, is hereby amended at Subsection (g) as follows:

(g) Uses permitted by special use permit in the floodway area of the conservancy district. Provided such uses shall not be adverse to the purpose of this section or damaging to the public health, safety, or welfare, or impose a financial burden upon the community, or shall in any manner adversely affect or reduce the capacity of the channels or floodways of any tributary to the main stream, drainage ditch, or any other drainage facility or system, the following uses may be permitted by issuance of

1 a special use permit in accordance with Article **II**, Division 4 of this chapter and any
2 other requirements stipulated in this section:

3 (1) [UNCHANGED]

4 (2) [UNCHANGED]

5 (3) [UNCHANGED]

6 (4) [UNCHANGED]

7 (5) [UNCHANGED]

8 (6) Uses described in § **86-436(f)** which incorporate fill greater than ten cubic
9 yards and are to be constructed above the preexisting grade.

10
11 **Section 6.** Section 86-436, CV District: Conservancy District, is hereby amended at Subsection
12 (k) as follows:

13
14 (k) Permitted uses by right in the floodway fringe area of the conservancy district. The
15 following uses having a low flood damage potential and presenting no or minimal
16 obstruction to flood flows shall be permitted within the floodway fringe district to the
17 extent that they are not prohibited by any other ordinance and provided they do not
18 require structures, storage of materials or equipment, fill, or alteration of the
19 preexisting grade. Approval from the state department of environmental quality is
20 needed for construction activity taking place in the floodway fringe.

21 (1) [UNCHANGED]

22 (2) [UNCHANGED]

23 (3) [UNCHANGED]

24 (4) [UNCHANGED]

25 (5) [UNCHANGED]

26 (6) Decks, provided the following conditions:

27 a. Any deck with foundational elements located within the floodplain shall
28 be structurally independent from the residential structure.

29 b. Any deck with foundational elements located within the floodplain
30 requires a floodplain (Part 31) permit from the Michigan Department of
31 Environment, Great Lakes, and Energy. A copy of such permit shall be
32 provided to Meridian Township.

33 ~~a.c.~~ Any deck, or portion thereof, located within the floodplain may not be
34 enclosed beneath, or within one foot above the Base Flood Elevation.

35
36 **Section 7.** Section 86-436, CV District: Conservancy District, is hereby amended at Subsection
37 (l) as follows:

38
39 (l) Uses permitted by special use permit in the floodway fringe area of the conservancy
40 district. Provided such uses shall not be adverse to the purpose of this section or
41 damaging to the public health, safety, or welfare or impose a financial burden upon
42 the community, the following uses may be permitted by issuance of a special use
43 permit in accordance with Article **II**, Division 4 of this chapter and any other
44 requirements stipulated in this section:

45 (1) [UNCHANGED]

46 (2) [UNCHANGED]

47 (3) [UNCHANGED]

48 (4) [UNCHANGED]

49 (5) [UNCHANGED]

50 (6) [UNCHANGED]

51 (7) [UNCHANGED]

(8) Uses described in § **86-436(k)** which incorporate fill greater than ten cubic yards and are to be constructed above the preexisting grade.

Section 8. Section 86-436, CV District: Conservancy District, is hereby amended to add Subsection (x) as follows:

(x) Uses permitted by Administrative Review. Uses described in § 86-436(f) or § 86-436(k) which incorporate fill less than or equal to ten cubic yards and are to be constructed above the preexisting grade shall be subject to administrative review and approval by the Township Floodplain Administrator. All other requirements of Section 86-436 shall apply.

Section 9. Validity and Severability. The provisions of this Ordinance are severable and the invalidity of any phrase, clause or part of this Ordinance shall not affect the validity or effectiveness of the remainder of the Ordinance.

Section 10. Repealer Clause. All ordinances or parts of ordinances in conflict therewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 11. Savings Clause. This Ordinance does not affect rights and duties matured, penalties that were incurred, and proceedings that were begun, before its effective date.

Section 12. Effective Date. This Ordinance shall be effective seven (7) days after its publication or upon such later date as may be required under Section 402 of the Michigan Zoning Enabling Act (MCL 125.3402) after filing of a notice of intent to file a petition for a referendum.

ADOPTED by the Charter Township of Meridian Board at its regular meeting this **XX**th day of **XXXXXXX**, 2023.

Patricia Herring Jackson, Township Supervisor

Deborah Guthrie, Township Clerk



To: Members of Planning Commission

From: Brian Shorkey, AICP, Senior Planner

Date: November 9, 2023

Re: Project Report

The Planning Commission has asked Staff to compile a list of ongoing projects. As of November 2023, the following projects are under construction, under site plan review, or have been submitted as a new application:

Under Construction

<u>Name</u>	<u>Location</u>	<u>Date Approved</u>	<u>Description</u>	<u>Status</u>
1. Sanctuary III	North of Robins Way	March 15, 2022 (Plat)	7 SFR Homes	Under construction
2. Copper Creek 3 & 4	Haslett Road, east of Green Road	August 5, 2019	38 SFR	Awaiting building permits
3. American House	SW Corner of Haslett Road and Marsh Road	August 5, 2020	Mixed Use w/ 132 MFR	Under construction
4. Newton Pointe	6276 Newton Road	February 24, 2022	Mixed Use w/ 105 MFR & 14 SFR	Under construction
5. Specialty Grocer	2755 Grand River	April 22, 2022	Retail space	Under construction
6. Schultz Vet Clinic	2806 Bennet Road	4/24/2023 (SUP)	Vet clinic expansion	Building permit under review
7. Radmoor Montessori	2745 Mount Hope	April 11, 2022	Building addition	Awaiting building permits
8. Evergreen Vet Clinic	4737 Marsh Road	May 31, 2023	Building addition	Under construction
9. MSU to Lake Lansing Trail, Phase 1 (SUP)	West end of Red Cedar River	December 12, 2022	Township trail	Under construction
10. MSU to Lake Lansing	Park Lake Road to	May 8, 2023	Township trail	Under construction

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Trail, Phase 2 (SUP) Okemos Road

Under Site Plan Review

<u>Name</u>	<u>Location</u>	<u>Date Approved</u>	<u>Description</u>	<u>Status</u>
1. Village of Okemos	Downtown Okemos	October 6, 2022 (MUPUD)	206 MFR	Under Site Plan review Awaiting revisions
2. Haslett Village	SW Corner of Haslett Road and Marsh Road	July 26, 2019 (MUPUD)	290 MFR	Under Site Plan review Awaiting revisions
3. Silverleaf Phase 1	West Bennett Road	February 28, 2022 (SUP)	25 SFR	Site Plan Approved Waiting for Phase 2
4. Consumers CU	2763 Grand River	Dec. 14, 2021 (SUP)	Credit Union	Under ICDC review
5. Grand Reserve (SUP)	Central Park Drive & Powell Road	Nov. 14, 2022 (SUP)	115-unit MFR and SFR development	Under Site Plan review
6. Elevation Phase 4	North of Jolly Road, West of Jolly Oak		MUPUD Amendment	Under Site Plan review
7. Tidal Wave Auto Spa	4880 Okemos Road	3/13/2023 (SUP)	New auto wash	Under Site Plan Review
8. Knob Hill Apartments	2300 Knob Hill Drive	N/A	Reconstruction of two Apartment buildings	Under Site Plan Review

New Applications

<u>Name</u>	<u>Location</u>	<u>Description</u>	<u>Status</u>
1. Herbana	2119A Haslett Road	SUP for Dispensary	Approved by Board
2. DVNK	1614 W. Grand River	SUP for Dispensary	Approved by Board
3. Elevation Phase 4	North of Jolly Road, West of Jolly Oak	Floodplain SUP	Public Hearing 11/13/2023
4. Tamara Noe	4660 Marsh Road	Rezoning	Public Hearing 11/13/2023