



AGENDA
CHARTER TOWNSHIP OF MERIDIAN
TOWNSHIP BOARD – REGULAR MEETING
September 2, 2025 6:00 PM

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE/INTRODUCTIONS
3. ROLL CALL
4. PRESENTATION
 - A. Introduction of New Firefighter – Caitlin Thomas
 - B. Consumers Energy – Renewable Energy Program
5. CITIZENS ADDRESS AGENDA ITEMS AND NON-AGENDA ITEMS
6. TOWNSHIP MANAGER REPORT
7. BOARD MEMBER REPORTS OF ACTIVITIES AND ANNOUNCEMENTS
8. APPROVAL OF AGENDA
9. CONSENT AGENDA
 - A. Communications
 - B. Minutes-August 19, 2025 Regular Township Board Meeting
 - C. Bills
 - D. Authorization for Change in Consumers Energy Standard Lighting Contract Form 547 - Okemos Road, Clinton Street to Mount Hope Road
 - E. Appointments to the Youth Commission
 - F. 2025 Newton Road Park Pathway Contract
10. PUBLIC HEARINGS
 - A. Planned Unit Development 25-012 – 3560 Hulett Road
11. ACTION ITEMS
 - A. Ordinance 2025-07 Parking Lot Landscaping Standards Updates – Introduction
 - B. Ordinance 2025-06 Rooster Regulations – Adoption
12. BOARD DISCUSSION ITEMS
 - A. Planned Unit Development 25-012 – 3560 Hulett Road
 - B. 2026 Budget Introduction
 - C. Treasurer Appointment Process
13. COMMENTS FROM THE PUBLIC
14. OTHER MATTERS AND BOARD MEMBER COMMENTS
15. ADJOURNMENT

All comments limited to 3 minutes, unless prior approval for additional time for good cause is obtained from the Supervisor. Appointment of Supervisor Pro Tem and/ or Temporary Clerk if necessary. Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting: Township Manager Tim Dempsey, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4258 - Ten Day Notice is Required.

Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall

Providing a safe and welcoming, sustainable, prime community.

A PRIME COMMUNITY



To: Board Members

**From: Dan Opsommer, Deputy Township Manager
Director of Public Works and Engineering**

Date: August 14, 2025

Re: Consumers Energy Renewable Energy Program Presentation

A representative from Consumers Energy will be coming to give a presentation on their Renewable Energy Program. This program is designed to help organizations meet their renewable energy generation/climate sustainability goals.

Some public entities that have joined the 2025 program include:

1. Michigan State University
2. City of Kalamazoo
3. City of Grand Rapids
4. City of East Grand Rapids

We have attached a presentation that staff received earlier in August and the 2025 Renewable Energy Program Frequently Asked Question document to this cover memorandum to provide the Board with additional information ahead of the presentation.

We are happy to answer any questions the Board may have.

Attachment:

1. Presentation Given to Township Staff
2. 2025 Renewable Energy Program Frequently Asked Question Document

Power your organization with renewable, Michigan-made energy.

Meet your sustainability goals
and decarbonize your business.



Our Renewable Energy Program is the right fit:



Local

Support **NEW** renewable resources in Michigan



Flexible

Customizable to suit your sustainability goals



Cost-effective

No upfront costs or onsite construction



Turnkey

Fully managed renewable resources on your behalf

A Simple Renewable Energy Program process



Advantages to the Meridian Charter Township and the environment

- ✓ Easily meet carbon reduction goals
- ✓ Improve brand reputation
- ✓ Contribute to the local community
- ✓ Get ahead of regulatory requirements
- ✓ Decrease cost of capital
- ✓ Protect the planet

Current Customers Enrolled:



- The State of Michigan
- City of Kalamazoo
- City of Grand Rapids
- City of East Grand Rapids
- FireKeepers Casino
- Michigan State University
- General Motors
- Walmart

And many others

Your participation – 100% Subscription Level

Subscription Percentage:	100%	20 Years	15 Years	10 Years	5 Years
kWh Subscribed (annually)		1,034,635	1,034,635	1,034,635	1,034,635
kWh Subscribed (contract term)		20,692,700	15,519,525	10,346,350	5,173,175
Subscription Payments (Present Value)		(\$1,324,333)	(\$993,250)	(\$662,166)	(\$331,083)
Estimated Energy & Capacity Credits (Present Value)		\$1,406,848	\$1,009,473	\$649,251	\$310,016
Net Savings or Premium Present Value		\$82,515	\$16,223	(\$12,916)	(\$21,067)
Carbon Avoided (Metric Tons)		8,629	6,472	4,314	2,157





Renewable Energy Program Financial Analysis - Model Inputs

Customer: Meridian Charter Township
 Estimated Annual Subscription Volume (kWh): 1,034,635 Subscription Level:
 Estimated Subscription Fee: \$0.064 100%

Financial Analysis - Estimated Yearly, Financial Impact of Enrollment

Year	Year	kWh Subscribed	Subscription Cost	Savings (Energy & Capacity Credits)	Annual Net Savings/(Premium)	Metric Tons of CO2 Avoided
1	2028	1,034,635	\$66,217	\$61,240	(\$4,976)	431
2	2029	1,034,635	\$66,217	\$61,955	(\$4,262)	431
3	2030	1,034,635	\$66,217	\$62,318	(\$3,898)	431
4	2031	1,034,635	\$66,217	\$61,916	(\$4,301)	431
5	2032	1,034,635	\$66,217	\$62,587	(\$3,630)	431
6	2033	1,034,635	\$66,217	\$64,812	(\$1,404)	431
7	2034	1,034,635	\$66,217	\$66,309	\$92	431
8	2035	1,034,635	\$66,217	\$68,161	\$1,944	431
9	2036	1,034,635	\$66,217	\$70,066	\$3,850	431
10	2037	1,034,635	\$66,217	\$69,886	\$3,670	431
11	2038	1,034,635	\$66,217	\$69,701	\$3,485	431
12	2039	1,034,635	\$66,217	\$70,326	\$4,109	431
13	2040	1,034,635	\$66,217	\$71,491	\$5,275	431
14	2041	1,034,635	\$66,217	\$73,539	\$7,322	431
15	2042	1,034,635	\$66,217	\$75,165	\$8,948	431
16	2043	1,034,635	\$66,217	\$76,110	\$9,893	431
17	2044	1,034,635	\$66,217	\$77,161	\$10,944	431
18	2045	1,034,635	\$66,217	\$78,861	\$12,644	431
19	2046	1,034,635	\$66,217	\$81,974	\$15,758	431
20	2047	1,034,635	\$66,217	\$83,269	\$17,052	431

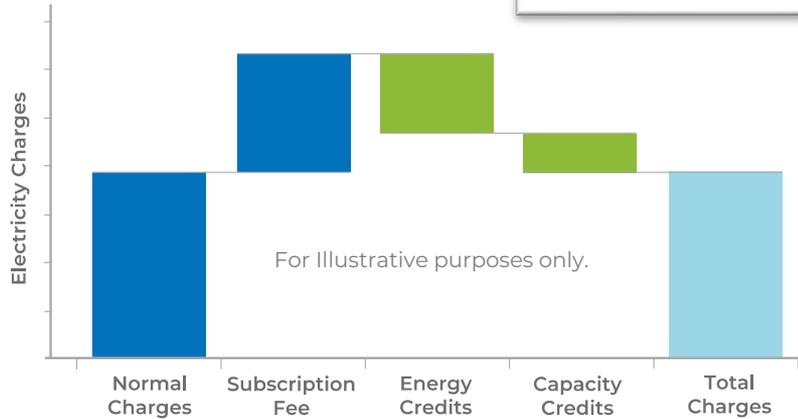
Financial Summary - Estimated, Financial Impact of Contract Term Options

Contract Term Length	kWh Subscribed	Subscription Cost	Savings (Energy & Capacity Credits)	Term Net Savings/(Premium)	Metric Tons of CO2 Avoided
20 years	20,692,700	(\$1,324,333)	\$1,406,848	\$82,515	8,629
15 Years	15,519,525	(\$993,250)	\$1,009,473	\$16,223	6,472
10 Years	10,346,350	(\$662,166)	\$649,251	(\$12,916)	4,314
5 Years	5,173,175	(\$331,083)	\$310,016	(\$21,067)	2,157

Fun Fact:

431 metric tons of CO2 is like avoiding the emissions from 1.7 million miles driven by an average passenger vehicle — enough to circle the Earth 43 times!

How Your Bill Works



Renewable Energy Program

- Renewable Energy Subscription
- Renewable Energy Credit
- Renewable Capacity Credit
- Net Premium/Credit

September Energy Bill Account: 1000-0000-0000 Invoice: 202409000000

Account Summary

Last Month's Account Balance \$123,456.78
 Payment on August 22, 2024 \$123,456.78
Balance Forward \$0.00
 Payments applied after Sept. 01, 2024 are not included.

Electric Charges

Dn-Peak Billing Demand kW	1234.56	1234.56	1234.56
Trans. On-Peak Billing	1234.56	1234.56	1234.56
Demand Interruptible Capacity	1234.56	1234.56	1234.56
Credit On-Peak Energy	1234.56	1234.56	1234.56
Dff-Peak Energy	1234.56	1234.56	1234.56
PSCR	1234.56	1234.56	1234.56
System Access	1234.56	1234.56	1234.56
Max Demand kW	1234.56	1234.56	1234.56
Deferral Surcharge	1234.56	1234.56	1234.56
Refund	1234.56	1234.56	1234.56
FCM Incentive	1234.56	1234.56	1234.56
Other Surcharges	1234.56	1234.56	1234.56
Power Plant Securitization	1234.56	1234.56	1234.56
Karn 1&2 Securitization	1234.56	1234.56	1234.56
Charge Karn 1&2 Bill Credit	1234.56	1234.56	1234.56
Power Factor Adjustmnet	1234.56	1234.56	1234.56
Low-Income Assist Fund	1234.56	1234.56	1234.56

Total Electric \$123,456.78

Renewable Energy Program

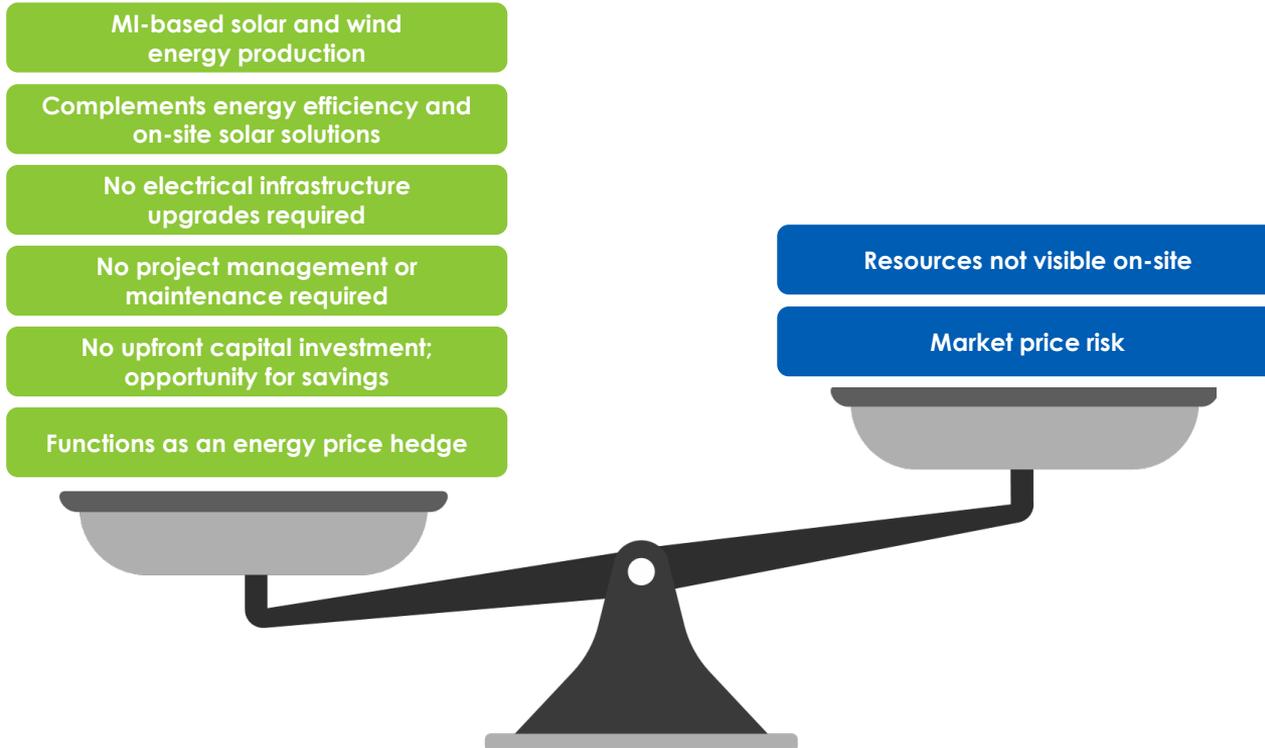
Renewable Energy Subscription	1234.56	1234.56	1234.56
Renewable Energy Credit	1234.56	1234.56	1234.56
Renewable Capacity Credit	1234.56	1234.56	1234.56
Net Premium/Credit	1234.56	1234.56	1234.56

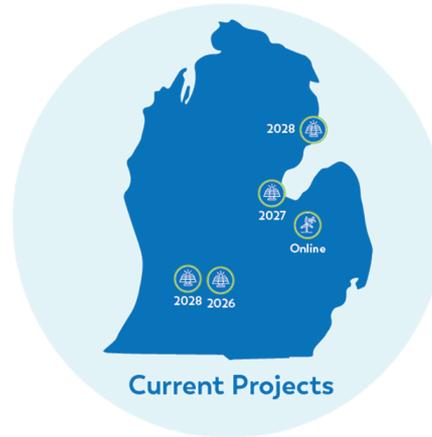
State Sales Tax
Total Electric \$123,456.78

Amount Due \$123,456.78

By Sept. 23, 2024
 If you pay after the due date, a 2% late payment charge will be added to your next bill.

The benefits of our Renewable Energy Program outweigh the risks





2025 Enrollment

- Timing is important as customers are enrolled on a first come first serve basis.
- Since the program is expanding based on increased customer demand, there may be a waiting period before your enrollment begins.
- Contracting today reserves your spot in the program and locks you in at the **\$.064 per kWh**.

The Way Forward



Consumers Energy

Count on Us[®]

Thank You

Renewable Energy Program

How the Program Works

What type of renewable energy resources are used for the program?

Utility-scale wind or solar facilities located in Michigan.

Will resources directly power my facility? Or is this a virtual program?

Our program is similar to a virtual power purchase agreement. Resources are connected to the larger electric grid, generating electricity for all of our customers. As a participant, you receive 100% of the value of the renewable resources in the program including ownership of the Renewable Energy Certificates (RECs) and the monetary value of the energy produced, and capacity value associated with your participation to offset your subscription cost.

Are there program costs in addition to the fixed subscription rate?

No, there are no additional fees. You'll only be billed the monthly subscription fee minus your energy and capacity credits.

What if the renewable energy resource doesn't generate enough to cover my subscription in a given month?

As renewable energy generation can vary monthly, this situation is not uncommon and we have a solution. The program is designed to provide flexibility, allowing excess generation from prior or later months to be applied to meet your full subscription over the course of the year. Should the generation ever be inadequate to meet the subscriptions over the course of a year, we can provide renewable energy certificates at your cost to meet the remaining unfulfilled subscribed use.

What are the energy credits based on?

Participants in the program receive monetary credits for both generation and capacity of the renewable energy resource. The monetary credits are based on Midcontinent Independent System Operator (MISO) market pricing and then matched with your energy use.

There are two components to the financial credit you receive from the program.

Generation (Energy) Credit – The energy portion of your credit is based on the actual value of the electricity generated by the resources. The renewable energy resources are bid into the MISO node associated with the resource. The energy credit is the net of the day ahead and real time MISO Locational Marginal Pricing (LMP) and any transactional costs. They're very specific market numbers that directly reflect the hourly value of the energy in that month during which the facility generated.

Capacity Credit – Capacity is the potential of the renewable resource to generate energy. How much energy we can expect from a facility when we bid it into the market on an annual basis and when that energy will generate determines the value. Consumers Energy is allotted a fixed value for capacity by resource over the course of the year with the value currently changing beginning each June. The credit customers receive is based on that fixed value divided by the amount of energy generated.

What can I expect my monthly payment to be?

Your monthly payment will be a premium or credit depending on the value of the capacity and energy credits, which can fluctuate monthly.

Fixed Subscription Fee
– Energy & Capacity Credits
Monthly Net Premium or Credit

When joining the program, am I subscribing to a specific resource or the portfolio of resources in the program?

While your enrollment in the program supports the development of specific, new renewable energy resource(s), once your subscription begins it is supported by the Program's portfolio of wind and solar projects.

How Participation Supports My Sustainability Goals

How can participation reduce my facility's carbon footprint?

Your business can claim the RECs and associated carbon reduction from those credits to offset your facility's greenhouse gas (GHG) emissions. We use the EPA's greenhouse gas calculator to determine this offset, or if you have a greenhouse gas accountant, they can take the RECs and associated carbon emission reduction into account.

Will I receive a certificate of origin for the renewable energy credits?

The program will provide an attestation that has the serialized value of the REC. The serial number then can be used to track the credit within MIRECS which is Michigan's renewable energy credit management system. This provides you the ability to document the REC for your records and trace its origin if needed.

Does the program retire my Renewable Energy Credits (RECs) on my behalf?

Yes, we can do this for you. We can also transfer the RECs to you if you prefer to retire them on your own behalf.

Can I transfer RECs from one facility to another?

Yes. There are no limitations for what facilities your RECs are retired under. While you subscribe to match the energy use of a specific facility, Consumers Energy will retire the RECs on your behalf or transfer them to you. At the time the RECs are designated to you in either fashion, you can decide for which facilities you'd like them to offset emissions.

Cost

What are the rates for the program?

Contact your Energy Solutions Manager for a customized proposal for your business.

What are the costs associated with the future resources Consumers Energy is looking to build?

Costs for new resources will be confirmed according to our competitive bidding process. Contact your Energy Solutions Manager for updated cost information.

When will you have more accurate numbers on future pricing?

Today we can provide you with a cost estimate based on forecasted MISO LMP and an estimated 'not-to-exceed' threshold for your subscription fee for the future renewable energy resource. This will provide your team a baseline estimate to aid in your decision. We'll provide participants with an updated cost estimate when new renewable energy project costs are confirmed.

Is this program Green-e certified?

Yes the Renewable Energy Program is Green-e® Energy certified and meets the environmental and consumer protection standards set forth by the nonprofit Center for Resource Solutions. Learn more at www.green-e.org.

Will the subscription cost be spread evenly across bills in a given year?

Monthly subscription costs and credits are variable for this program; because of this, each month will be different. The net premium or credit on your bill will vary on a monthly basis due to changes in the facility's consumption and energy credit amount. The subscription charge you pay will be fixed but the net premium or credit will vary depending on the two factors previously noted. We use forecasted seasonal energy and capacity credits to stabilize the variances throughout the year.

What makes this product different from buying RECs off the market?

This product is a bundled product that provides you the RECs to offset your Scope 2 emissions, in addition to energy and capacity credits. This product also provides a local Michigan-based solution, and guarantees supply into the future.

Contracting

If our electric consumption increases or decreases significantly over the term of the contract, is there a penalty for the difference in energy use?

No, there are no penalties for changes in consumption. If your facility has a load reduction which is permanent, we will simply add that capacity back to the program to support other enrollments. If you experience increases in electricity use, we will match the increase with renewable energy to the extent to which it is available at your contracted

subscription fee. If renewable energy is only available at a cost greater than your subscription fee, you will have the option to match at the increased cost. If your facility has a load reduction which is permanent, we will simply add that capacity back to the program to support other enrollments. There may be penalties for contracted accounts that are closed, and you should work with your Energy Solutions Manager to find the best contract fit for your business.

If I want to make an adjustment to the percentage subscribed, is there a penalty for that?

If you want to increase your subscription percentage we'll match the increase with renewable energy to the extent that it's available at your contracted subscription fee. If renewable energy is only available at a cost greater than your subscription fee, you'll have the option to match at the updated cost. Although we don't penalize for natural reductions in your facilities usage, if you wished to decrease the subscription percentage for your contract, that change would be subject to an early termination fee.

There are 5-, 10-, 15-, 20-year contract terms. What's the difference between the shorter-term and longer-term agreements and are there price differences?

All contract term lengths start at the same price and same credits. However, there are a few considerations as you determine the right contract length for you:

1. Will the same resources for your next contract still be available?
2. Will it be more expensive?

For re-enrollment, if the resources are still available you can re-enroll in them, but there is an incremental 2% cost increase for 5- and 10-year contracts if you continue to re-enroll at the shorter-term length. Contracts for 15- and 20-year terms don't have the incremental re-enrollment cost, however re-enrollment at the same cost is only available for the life of that resource.

How long does it take to execute a contract and how long are they?

The contract is easy to fill out. It is only a few pages in length and we can walk you through it to answer questions and support your understanding.

Contract Process and Timing

If I have multiple facilities in Consumers Energy territory that I want to enroll in the program, can I bundle them under one agreement?

Yes. Eligible facilities can be bundled under one contract if facilities you're looking to enroll have an aggregate demand of 1,000,000 kWh or greater. The contract gives you the ability to subscribe at different percent match levels per facility if you choose to do so. Participation costs and credits will be applied to each of the enrolled account's electric bills.

How quickly do we need to enroll?

The sooner the better. Due to a significant program interest, it's to your benefit to enroll as early as possible to get into the queue so that your needs can be met by the first available resource(s) that we bring online. We need firm customer commitments to add new resources to the program.

Does enrolling help Consumers Energy bring resources onto the grid sooner than otherwise may have occurred?

Yes, your commitment accelerates the development of new utility-scale solar and wind generation resources here in the state.

If we miss this deadline to enroll, when is the next opportunity?

We plan to continue expanding the program based on customer demand. When you're ready to enroll we encourage you to contact us to discuss the program. At that time we can provide you with an update on program status, resource availability and enrollment timing.

Ready to enroll?

Count on us to help you take the next steps.

ConsumersEnergy.com/BusinessRenewable



9.A

**CONSENT AGENDA
BOARD
COMMUNICATIONS**

From: Charles Richardson <[REDACTED]>
Sent: Thursday, August 7, 2025 9:11 PM
To: Board <[REDACTED]>
Subject: Senior Center

Some people who received this message don't often get email from [REDACTED]

To the Township Board:

The Okemos and Haslett school districts are funded by Meridian Township taxpayers. It seems that the Okemos school district has caused the senior center problem. If so, the Okemos school district should be part of the solution.

Please stop deferring to the school districts as if you are afraid to offend them.. I am sure Okemos can find the space (they seem to need money).

Charles Richardson
[REDACTED]

From: Karen Shapiro [REDACTED] >
Sent: Saturday, July 19, 2025 9:51 PM
To: Board <Board@meridian.mi.us>
Subject: Please Take a Stand to Protect Jewish American Civil Rights and Publicly Denounce the NEA's Recent Discriminatory Action Against Jewish Organizations

Some people who received this message don't often get email from [REDACTED]

Dear Trustee Lentz,

As your constituent, I'm writing to urge you to publicly denounce the National Education Association's recent decision to sever ties with Jewish-affiliated organizations — a vote that occurred at their July 5-7, 2025 Representative Assembly.

This action — targeting a group solely because of its perceived religious or ethnic identity — is a clear act of institutional antisemitism.

It is unconstitutional, dangerous, and unacceptable in any organization claiming to stand for civil rights or equity in education.

With hate crimes against Jews at record highs, and Jewish students and educators being silenced and excluded in K-12 spaces, the NEA's decision has real, immediate, and very dangerous consequences.

I ask you to:

1. Issue a public statement on your social media accounts condemning the NEA discriminatory vote;
2. Affirm your commitment to protecting Jewish Americans from exclusion and hat
3. Reject any partnership with organizations that marginalize groups based on faith, ethnicity or shared ancestry.

If you've already spoken out, thank you — please consider sharing the link to your statement so that we may include it in our community's public recognition efforts.

Sincerely,

Karen Shapiro
Okemos, MI

From: [REDACTED]
To: [REDACTED]
Subject: Opposition to Rezoning and Authentix Central Park Project Proposal
Date: Tuesday, August 19, 2025 7:30:04 PM

Some people who received this message don't often get email from [REDACTED]

Dear Director of Community Development and Members of the Township Board,

I am writing as a nearby resident to express my strong opposition to the proposed rezoning and development of the Eyde Central Park property by Continental Properties (Authentix Okemos). While I understand the Township's responsibility to evaluate new development proposals, this plan raises serious concerns for our environment, our neighborhoods, and the Township's long-term planning integrity.

1. Out-of-State Developer with Limited Local Accountability

Continental Properties is headquartered in Menomonee Falls, Wisconsin—not in Michigan, and certainly not in Meridian Township. While they have built in other parts of the state, they are not part of this community and have no stake in the long-term environmental or social health of this area. Once construction is complete, they will profit and move on, leaving Township residents to bear the long-term consequences of increased density, environmental loss, and infrastructure strain. Decisions about the future of Meridian Township should prioritize the needs of current residents and the local environment over the interests of an out-of-state corporation.

2. Loss of Wildlife Habitat

The project site is not vacant—it is a living habitat that supports deer, rabbits, possums, marmots, wild turkeys, cranes, turtles, geese, squirrels, and native snakes. These animals are part of what makes our neighborhoods unique and connected to nature. Paving over this land and building 11 large apartment buildings will permanently eliminate this habitat. Continental's own plan acknowledges wetland impacts, which means local flood prevention, water quality, and biodiversity will suffer.

3. Elimination of Community Service Zoning

This land was deliberately zoned to include a Community Service designation in past settlement agreements. That designation provided balance and the potential for civic or neighborhood-serving uses. By asking to eliminate it entirely in favor of high-density multi-family zoning (up to 14 dwelling units/acre), Continental is erasing that balance and undermining the Township's earlier commitments.

4. Density and Neighborhood Character

The 2004 settlement capped density at 8 dwelling units per acre. This new request seeks nearly double that, at up to 14 du/ac. Combined with three-story buildings reaching nearly 38 feet, this is out of scale with nearby single-family neighborhoods. The increased traffic, noise, and parking overflow will harm the character, safety, and property values of surrounding areas.

5. Traffic and Infrastructure Strain

More than 300 apartments will significantly increase traffic on Central Park Drive, Times Square Drive, and Belvedere Avenue—roads not designed for this volume. This raises safety risks for children, pedestrians, and local drivers, while also burdening schools, utilities, and

public services.

Requested Actions

I respectfully urge the Township to:

- Reject the rezoning request that eliminates the Community Service zoning designation.
- Deny any request to exceed the 8 dwelling units/acre limit established in the 2004 settlement.
- Require a full independent environmental and wildlife impact study.
- Ensure thorough traffic and infrastructure studies before any approvals.

Meridian Township's open spaces, wetlands, and neighborhoods are what make this community attractive in the first place. Allowing an out-of-state developer to permanently reshape it for short-term profit risks the long-term health, safety, and welfare of the Township's residents.

Thank you for your careful review and for standing with your community.

Sincerely,
Yidi Du



From: [REDACTED]
To: [REDACTED]
Cc: [REDACTED]
Subject: Lime scooters staged on MSU to LA Lansing Pathway this morning
Date: Wednesday, August 20, 2020 8:30:17 PM

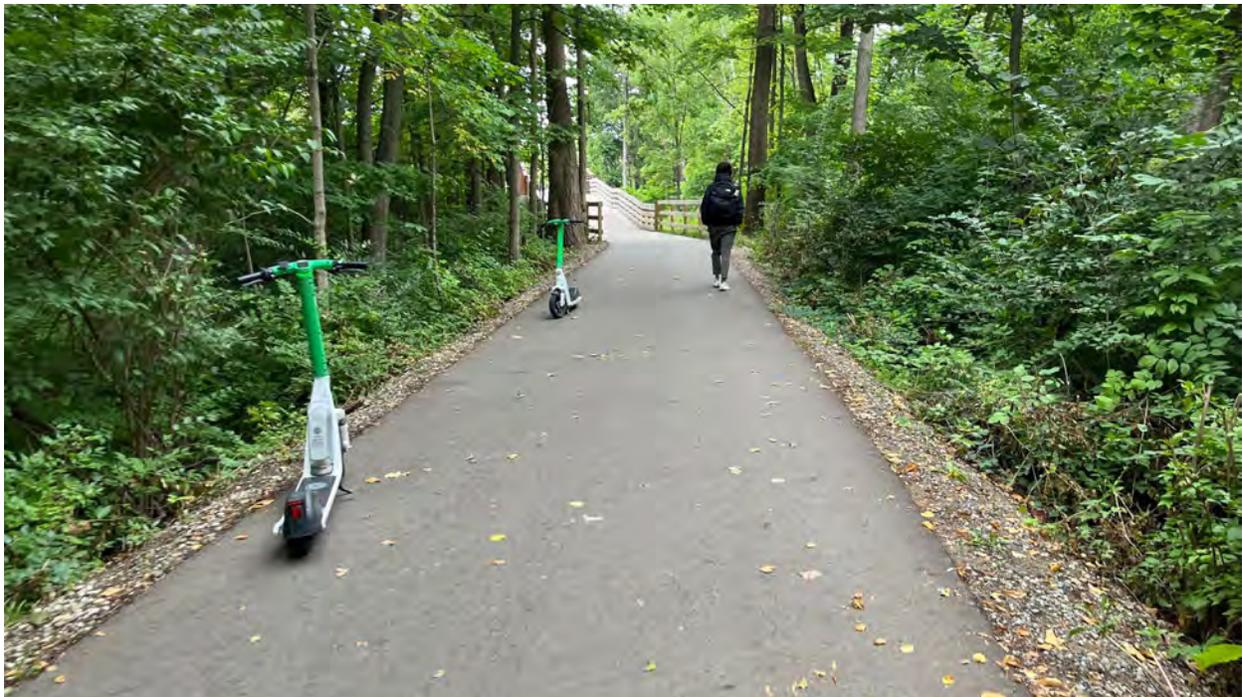
Tim,

This morning, on my way into work I found two Lime scooters parked on the MSU to Lake Lansing pathway close to the MSU campus. On the way home one was still there knocked over and about to go down into the brush next to the path

If the Town doesn't have a vendor agreement with the Lime scooter company to operate within the township, I would recommend that it ask the vendor to do so quickly so that you can enforce some basic safety rules for them to operate, like not leaving their scooters on public pathways or sidewalks as they create safety hazards for other pathway users

Thank you for your attention to this matter

Tim Potter
[REDACTED]
Okemos MI 48864





Sent from Tim Potter's mobile

From: [REDACTED]
To: [REDACTED]
Cc: [REDACTED]
Subject: Subject: Concerns Regarding Proposed Development at Central Park Estates
Date: Thursday, August 21, 2025 9:15:42 AM

Some people who received this message don't often get email from [REDACTED]

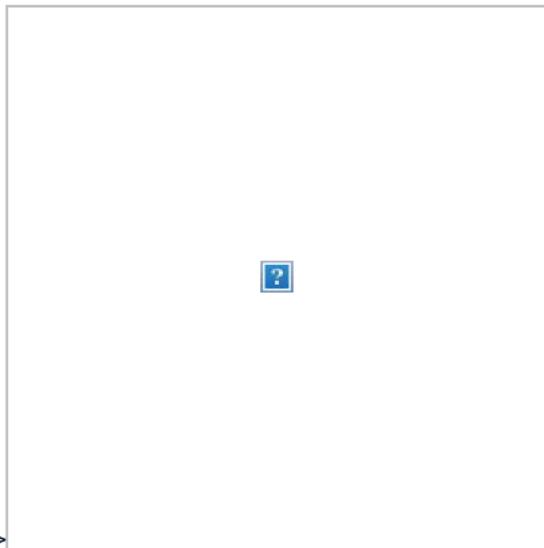
Dear Scott Hendrickson, Township Supervisor and Township Board Members. Tim Schmitt, Community Planning and Development Director

I am opposed to the variance in zoning and the potential residential apartment complex that would be situated in front of Central Park Estates neighborhood for the following reasons:

Continental Properties, the proposed developer, has an F rating with the Better Business Bureau.

This rating is due to failure to respond to 5 complaints and 2 complaints that were never resolved.

Continental Properties received a D rating on EpiQ metric rating of apartments based on the 77 properties managed.



<!--[if !vml]--> <!--[endif]-->

The "Experience & Performance Intelligence Quotient (epIQ) Index" is a single performance metric powered by verified ApartmentRatings & SatisFacts data, designed to be the most authentic, transparent, and actionable industry metric for renters and multifamily professionals alike.

- **Data Sources:** ApartmentRatings reviews and SatisFacts surveys.

This is not the type of Development Company we want to create apartment communities in meridian township.

The Meridian Township Board/Planning Commission, as our elected representatives, should decline approval of this project.

Sincerely,

Paulette Grace

[REDACTED]

Okemos, Mich

From: [REDACTED]
To: [REDACTED]
Subject: Re: Proposed Development Issues
Date: Thursday, August 28, 2025 1:26:39 PM
Attachments: [image.png](#)

Some people who received this message don't often get email from [REDACTED]

Dear Scott,

Thank you for your response to my email.

Regarding your comment that "If the Board turns this proposal down, it is very possible that a Judge will impose a more unpalatable proposal upon the Township through a new order." I would like to ask for further clarification on what "unpalatable" options would be.

I have heard comments from the Planning commission that "they could put a gas station there if they wanted" and I understand the area close to Central Park Rd is commercially zoned. However, it seems far-fetched to me that the township could find someone who would want to invest in a gas station on a secondary road away from the main commercial area.

Although the township fears further litigation with the Eyde's, I find it hard to think of a more unpalatable solution than the one being considered now, which requires a variance to allow an even higher density, than what the court approved. Overcrowding 300 apartments into the area, eliminating virtually all green space, and creating huge traffic problems will not benefit the area or the township in my opinion.

I appreciate that the Board will take all of these issues into consideration and make a decision in the best interests of the electorate.

Sincerely,

Paulette Grace

On Tuesday, August 26, 2025 at 11:03:40 AM EDT, Scott Hendrickson <hendrickson@meridian.mi.us> wrote:

Good Morning Paulette!

Thank you very much for reaching out to the Township Board regarding the Eyde proposal for the properties on Central Park Dr

This is certainly one of the most complex proposals that has come before the Board during my tenure, because of the consent agreement that was put in place decades ago.

I also understand the concerns of the neighbors, especially those to the East.

The Board does not take decisions like this lightly, and this matter is far from resolved. At this time, we expect that the Planning Commission will hold a public hearing in either late September or early October and the Board would take it up in either late October or early November.

My hope is that this provides adequate time for the public to make their concerns heard, and give the Planning Commission, developers, staff, and Board time to internalize that feedback before making any decisions.

By and large, when the concept plan was first presented to the Board, you'll be happy to know that Board Members, including myself, did raise concerns over what was presented including mitigating traffic, minimizing environmental impacts, and ensuring that the density of the parcel is capped.

The reason this particular proposal is tricky is because of the court decision years ago. If the Board turns this proposal down, it is very possible that a Judge will impose a more unpalatable proposal upon the Township through a new order. The Board will then have to make their determination with that awareness, as well.

In the end, our discussions will be at our public meetings over the next few months, and we welcome you to remain engaged.

Please do not hesitate to reach out if you have any questions!

Sincerely,

Scott Hendrickson

Supervisor, Meridian Township

[REDACTED]

5151 Marsh Road | Okemos, MI 48864



A Prime Community

From: ps grace <[REDACTED]>

Sent: Thursday, August 21, 2025 9:19 AM

To: Board <[REDACTED]> us>

Subject: Proposed Development Issues

Some people who received this message don't often get email from [REDACTED]

[important](#)

Dear Scott Hendrickson, Township Supervisor and Township Board Members. Tim Schmitt, Community Planning and Development Director

I am opposed to the variance in zoning and the potential residential apartment complex that would be situated in front of Central Park Estates neighborhood for the following reasons:

Traffic and Road Congestion: There will be increases in traffic volume, congestion, and potential implications for pedestrian and resident safety.

Environmental Impact: Effects include changes to wetlands, trees, and local wildlife habitats.

Strain on Infrastructure: The development will affect school capacity, police and fire services, as well as water and sewer systems.

Security, Noise, and Privacy: There will be increased noise levels, changes to privacy, and new security considerations due to a nearby transient population.

Character of the Area: Reduction in green space and higher density of housing and retail will be detrimental to the area's character.

Property Values: Homeowner property values will be negatively impacted by changes in location desirability.

The Meridian Township Board/Planning Commission, as our elected officials, should carefully consider these concerns and address them adequately before deciding on this project.

Sincerely
Paulette Grace
[REDACTED]
Okemos, MI

From: [REDACTED]
To: [REDACTED]
Subject: Re: Opposition to Proposed Zoning Variance and Apartment Development at Central Park Estates
Date: Thursday, August 21, 2025 10:02:10 AM
Attachments: [Continental Reviews.docx](#)

Some people who received this message don't often get email from [REDACTED]

Additional supporting documentation is attached.

Thanks,
Raman

Confidentiality Notice: This message, including any attachments, is intended solely for the use of the named recipient(s) and may contain confidential and/or privileged information. Any unauthorized review, use, disclosure, or distribution of this communication(s) is expressly prohibited. If you are not the intended recipient, please [contact](#) the sender by e-mail and [destroy all copies](#) of this message including the original.

From: Raman S <[REDACTED]>

Sent: Thursday, August 21, 2025 9:32 AM

To: [REDACTED]

<[REDACTED]>

Subject: Fw: Opposition to Proposed Zoning Variance and Apartment Development at Central Park Estates

Date: 8/21/2025

Subject: Opposition to Proposed Zoning Variance and Apartment Development at Central Park Estates

To:

Scott Hendrickson, Township Supervisor

Meridian Township Board Members

Tim Schmitt, Director of Community Planning and Development

Dear Township Officials,

I am writing to express my **strong opposition to the proposed zoning variance** and the development of a residential apartment complex in front of the Central Park Estates neighborhood. This project raises serious concerns that I urge you to consider carefully before moving forward:

1. Traffic and Safety Risks

The proposed development will significantly increase traffic volume and congestion in an already busy area. This poses a direct threat to pedestrian safety, especially for children and families in the neighborhood.

2. Environmental Degradation

The construction will disrupt local ecosystems, including wetlands, mature trees, and wildlife

habitats. These natural features are vital to the character and health of our community.

3. Infrastructure Strain

Meridian Township's schools, emergency services, and water/sewer systems are not equipped to handle the additional burden this development would impose. Overstretching these resources could compromise service quality and community well-being.

4. Security, Noise, and Privacy Concerns

Apartment complexes often bring increased noise levels and transient populations, which can lead to heightened security concerns and reduced privacy for nearby homeowners.

5. Loss of Community Character

The proposed high-density housing and retail space would erode the green space and suburban charm that define Central Park Estates. This change is not in alignment with the vision residents have for our neighborhood.

6. Negative Impact on Property Values

The desirability of our neighborhood will decline, leading to a potential decrease in property values for existing homeowners.

7. Developer Reputation

Continental Properties, the proposed developer, has a troubling track record. They currently hold an **F rating with the Better Business Bureau**, due to unresolved complaints and lack of responsiveness. Additionally, their properties received a **D rating on the epic Index**, a performance metric based on verified resident reviews and satisfaction surveys. This is not the type of company we want shaping the future of Meridian Township.

As elected representatives, the Meridian Township Board and Planning Commission have a responsibility to protect the interests of current residents. I respectfully urge you to reject this proposal and preserve the integrity, safety, and character of our community.

Sincerely,

Raman Sharma

[REDACTED]

Phone Number: [REDACTED]

Confidentiality Notice: This message, including any attachments, is intended solely for the use of the named recipient(s) and may contain confidential and/or privileged information. Any unauthorized review, use, disclosure, or distribution of this communication(s) is expressly prohibited. If you are not the intended recipient, please [contact](#) the sender by e-mail and [destroy all copies](#) of this message including the original.

Date: 8/21/2025

Subject: Concerns Regarding Proposed Development at Central Park Estates

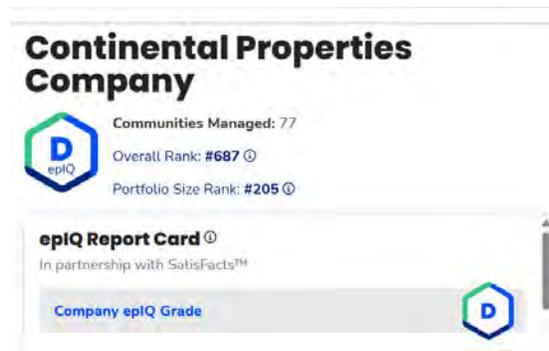
Dear Scott Hendrickson, Township Supervisor and Township Board Members. Tim Schmitt, Community Planning and Development Director

I am opposed to the variance in zoning and the potential residential apartment complex that would be situated in front of Central Park Estates neighborhood for the following reasons:

Continental Properties, the proposed developer, has an F rating with the Better Business Bureau.

This rating is due to failure to respond to 5 complaints and 2 complaints that were never resolved.

Continental Properties received a D rating on EpiQ metric rating of apartments based on the 77 properties managed.



The “Experience & Performance Intelligence Quotient (epIQ) Index” is a single performance metric powered by verified ApartmentRatings & SatisFacts data, designed to be the most authentic, transparent, and actionable industry metric for renters and multifamily professionals alike.

- **Data Sources:** ApartmentRatings reviews and SatisFacts surveys.

This is not the type of Development Company we want to create apartment communities in meridian township.

The Meridian Township Board/Planning Commission, as our elected representatives, should decline approval of this project.

Sincerely,

Raman Sharma, [REDACTED], Ph: [REDACTED]

From: [REDACTED]
To: [REDACTED]
Subject: Opposition to Rezoning and Authentix Central Park Project Proposal
Date: Thursday, August 21, 2025 10:41:28 AM

[Some people who received this message don't often get email from [REDACTED]
[REDACTED]]

Dear Director of Community Development and Members of the Township Board,

I am writing as a nearby resident to express my strong opposition to the proposed rezoning and development of the Eyde Central Park property by Continental Properties (Authentix Okemos). While I understand the Township's responsibility to evaluate new development proposals, this plan raises serious concerns for our environment, our neighborhoods, and the Township's long-term planning integrity.

1. Out-of-State Developer with Limited Local Accountability
Continental Properties is headquartered in Menomonee Falls, Wisconsin—not in Michigan, and certainly not in Meridian Township. While they have built in other parts of the state, they are not part of this community and have no stake in its long-term environmental or social health. Once construction is complete, they will profit and move on, leaving Township residents to bear the consequences of increased density, environmental loss, and infrastructure strain.

2. Loss of Wildlife Habitat
The project site is not vacant—it is a living habitat that supports deer, rabbits, possums, marmots, wild turkeys, cranes, turtles, geese, squirrels, etc. These animals are part of what makes our neighborhoods unique and connected to nature. Paving over this land for 11 large apartment buildings will permanently eliminate this habitat. Even Continental's own materials acknowledge wetland impacts, which means local flood prevention, water quality, and biodiversity will suffer.

3. Elimination of Community Service Zoning
This land was deliberately zoned to include a Community Service designation in past settlement agreements. That designation provided balance and the potential for civic or neighborhood-serving uses. Continental now seeks to erase it entirely in favor of high-density multi-family housing, undermining the Township's prior commitments and erasing future community-serving opportunities.

4. Density and Neighborhood Character
The 2004 (?) settlement capped density at 8 dwelling units per acre. Even that level of multi-family zoning is outdated for this location given today's traffic, infrastructure pressures, and neighborhood scale. Now Continental seeks to nearly double that to 14 du/ac, with three-story buildings up to more than 36 feet tall. This is egregious piled on top of egregious. Such buildings are wholly out of scale with nearby single-family neighborhoods. The resulting traffic, noise, and parking overflow will harm safety, neighborhood character, and property values.

5. Traffic and Infrastructure Strain

More than 300 apartments will significantly increase traffic on Central Park Drive, Times Square Drive, and Belvedere Avenue—roads not designed for this volume. This creates safety risks for children, pedestrians, and local drivers while placing additional burdens on schools, utilities, and emergency services.

6. Developer's Claimed "Benefits" Are Overstated

Continental highlights investment, job creation, and resident spending.

In reality:

- Construction jobs are temporary, disappearing once the project is built.
- Resident spending would largely occur in Meridian Township regardless, and does not offset the long-term costs of added density.
- Amenities such as pools, gyms, and pet spas are private and do not serve the broader community.

These speculative "benefits" do not outweigh the permanent loss of wetlands, open space, and neighborhood stability.

Requested Actions:

I respectfully urge the Township to:

- Reject the rezoning request that eliminates the Community Service zoning designation.
- Deny any request to exceed the 8 dwelling units/acre density cap established in the 2004 settlement, and reevaluate whether that outdated cap remains appropriate.
- Require a full, independent environmental and wildlife impact study.
- Require comprehensive traffic and infrastructure studies before any approvals.

Meridian Township's open spaces, wetlands, and neighborhoods are what make this community attractive in the first place. Allowing an out-of-state developer to reshape it for short-term profit jeopardizes the long-term health, safety, and welfare of Township residents.

Thank you for your careful review and for standing with your community.

Regards,

Rekha Nagamally



Okemos 48864

From: [REDACTED]
To: [REDACTED]
Subject: Fwd: Unresolved Electrical Issue at 4835 Country Way East - Open Township Case #
Date: Thursday, August 21, 2025 3:38:02 PM

Some people who received this message don't often get email from [REDACTED]

----- Forwarded message -----

From: Michael I <[REDACTED]>
Date: Thu, Aug 21, 2025 at 3:36 PM
Subject: Re: Unresolved Electrical Issue at 4835 Country Way East - Open Township Case #
To: Tim Schmitt <[REDACTED]>

Mr. Schmitt,

What I reported last year was erratic loud popping noises. The report says a loud popping sound, but on the phone call with code enforcement, I did say that it was more than a singular pop.

The electrician that initially came out last year, as a result of the call, inspected the box which contained the light sensor. He told me that the noise was due to water intrusion on the electrical components. The picture I attached is from when he opened the box, which shows that there is debris in there.

If debris is able to get into that box it defeats the argument that it was water tight. You can also see that there are no repairs made at the stage in which the box is open. He told me he will do a temporary repair for water intrusion, which you can see as the added sealant documented in the pictures. If there was no issue, there would have been no repairs. I will attach additional photos that show that there were no repairs prior to my call to code enforcement.

He told me that it was not a permanent repair and that it will need to be addressed further. After I had spoken to the electrician, I received a call from code enforcement. They told me that they had an electrician come out (the one I had spoken to on site), and that code enforcement would update me when the issue was resolved.

The status of the enforcement was listed as "partially complied", what I construe to mean that it has been made aware of by both the Township and the Landlord. It means that it is not in compliance, it is implicitly understood that it is still a violation, but actions were taken to bring it to a "partially complied" status.

The actions that were taken to bring it to a "partially complied" status appears to be the temporary repair.

A year later, your attempts to recreate what I had experienced at the time of reporting would not be the erratic popping noises I heard. This is because of the temporary repair from the electrician who was sent to address the issue. My former bedroom window in unit 501 is adjacent to these electrical boxes, I am aware and know the electric switch pop noise you described. It is different from what I complained about, because it was temporarily repaired after my call. I documented the temporary repair not being addressed from August 2024, through August 2025, as I awaited the Township to update me of the status.

The electrician told me he had some more things he had to tell either the Landlord or the

Township concerning the electrical issues, but did not discuss it further with me. For a year, that is where the matter was left as I awaited an update.

If the issues are unrelated, why are they required before you close the complaint? This question of course is rhetorical, because it exposes a contradiction. An open enforcement listed as "partially complied" for an electrical complaint is, by definition, an acknowledgement that there are unresolved violations. If they are unrelated, you would not need them to be addressed to close this complaint. Unless the Township's codes are arbitrary regarding electrical, or are arbitrarily enforced, I would argue that it is not a clean cut and dry case of no concern for safety or for the residents. A violation was left unaddressed for a year, regarding electrical.

I am going to be forwarding our correspondence to the Meridian Township Board for their awareness. The enforcement file for this electrical complaint has remained open, marked 'partially complied,' for roughly a year. In my understanding, homeowners in Meridian are not typically permitted to remain in non-compliance for extended periods, especially concerning potential electrical hazards. I believe residents and the Board deserve clarity on why this matter has remained unresolved for so long.

Sincerely,

Michael Inga

On Fri, Aug 15, 2025 at 4:57 PM Tim Schmitt [REDACTED] > wrote:

Mr. Inga,

I wanted to follow up on your email to the Fire Department below. We did a follow up inspection yesterday on the issue you noted below, with the Fire Marshal and Electrical Inspector. The loud popping sound you referenced was able to be recreated and was the electronic eye on the electrical box turning on and off the outside lighting. The pop was pretty loud and the eye is much more sensitive than we usually see, so we could easily manipulate the lights on and off. There is no evidence of water intrusion into the box and our electrical inspector saw no cause for concern on the electrical box.

We do have some unrelated items that we will be asking them to follow up on before I close the complaint, but overall, there appears to be no concern to safety of the residents. If you have any other questions, please let me know.

Sincerely,



Timothy R. Schmitt, AICP

Director of Community Planning and Development

W [REDACTED]

5151 Marsh Road | Okemos, MI 48864

meridian.mi.us

meridian.mi.us

From: Michael I <[REDACTED]>
Sent: Friday, August 8, 2025 4:10 PM
To: Tavis Millerov <[REDACTED]>
Cc: Michael Hamel <[REDACTED]>
Subject: Unresolved Electrical Issue at 4835 Country Way East - Open Township Case #

Some people who received this message don't often get email from

[REDACTED]
Dear Fire Marshal Millerov and Fire Chief Hamel,

I am writing to you regarding an unaddressed electrical issue at the above-referenced address that I believe warrants your department's attention due to its potential safety implications.

Last year, a complaint was filed with the Community Planning and Development (CPD) division regarding a loud popping sound from an electrical meter box. Through a recent public records request, I have learned the following:

- The official complaint record, dated August 13, 2024, shows the status as "Being Addressed," but the result is listed as "Partially Complied."
- There are no further notes of action to resolve the issue since that time.
- The FOIA coordinator included a note in documents received from my FOIA request: There is one open enforcement regarding a rental complaint at this time for 4835 Country Way East Apartment 501. The complaint is listed as "being addressed". No further comment from the Planning Division.

I am attaching a series of photographs that visually document the electrical boxes throughout the year, showing evidence of water intrusion and a failed temporary repair(I took photos of an open electrical box when DTN had an electrician open them). These photos indicate that the issue, which was officially marked as only "Partially Complied," has persisted for nearly a year without a permanent resolution. You can see the changing of the seasons in my documentation, which emphasizes how long this issue has persisted.

I am also including attached to this email screenshots of my FOIA portal to show the name of the documents and note I received from the FOIA request, and a time stamped photo of the last time I photographed the boxes on August 1st.

I am forwarding this information to you in the hopes that your department can investigate and ensure this matter is fully resolved in a manner that protects the safety of the residents.

Thank you for your time and for your commitment to public safety.

Sincerely,

Michael H Inga







From: [REDACTED]
To: [Board](#)
Subject: Fw: PLEA from Resident of CPE - Professor from MSU
Date: Thursday, August 28, 2025 11:21:04 AM
Attachments: [image.png](#)

Some people who received this message don't often get email from [REDACTED]

FYI on below

From: Rayamajhi, Supratik <[REDACTED]>
Sent: Thursday, August 28, 2025 11:18 AM
To: Scott Hendrickson <[REDACTED]>
Subject: Re: PLEA from Resident of CPE - Professor from MSU

Thank you, Scott, for your thoughtful correspondence.

100 plus family is distraught with the idea of poor-quality builder going after profit margin with complete undermining of the community, natural preserves, safety let alone the township.

Our understanding is that township should hold the firepower with municipal and state level backing to challenge any litigations that originate from entirely self-centered motive from the landowner or builder.

With already built and in the process of finalizing, 100 plus rental family units right on the other side of our neighborhood named Okemos grand reserve, (it has gone above 100 since I last counted as 70), this additional 300 plus rentals right on the entrance to our otherwise secluded single family neighborhood homes ranging from half a million or quarter of a million in home values, this proposal would annihilate the sole purpose of creating and sustaining neighborhood like ours, and overburden every critical infrastructure that currently exists.

Even if approved decades ago, the zoning mismatch is profoundly obvious and township should be the one driving how our community is shaped, not these money-minded, for profit, self-centered and margin focused motives.

All power to the township and the elected body who we sent to represent us till the end,

Supratik

From: Scott Hendrickson <[REDACTED]>
Sent: Tuesday, August 26, 2025 11:02 AM
To: Rayamajhi, Supratik <[REDACTED]>
Subject: Re: PLEA from Resident of CPE - Professor from MSU

Good Morning!

Thank you very much for reaching out to the Township Board regarding the Eyde proposal for the properties on Central Park Dr.

This is certainly one of the most complex proposals that has come before the Board during my tenure, because of the consent agreement that was put in place decades ago.

I also understand the concerns of the neighbors, especially those to the East.

The Board does not take decisions like this lightly, and this matter is far from resolved. At this time, we expect that the Planning Commission will hold a public hearing in either late September or early October and the Board would take it up in either late October or early November.

My hope is that this provides adequate time for the public to make their concerns heard, and give the Planning Commission, developers, staff, and Board time to internalize that feedback before making any decisions.

By and large, when the concept plan was first presented to the Board, you'll be happy to know that Board Members, including myself, did raise concerns over what was presented including mitigating traffic, minimizing environmental impacts, and ensuring that the density of the parcel is capped.

The reason this particular proposal is tricky is because of the court decision years ago. If the Board turns this proposal down, it is very possible that a Judge will impose a more unpalatable proposal upon the Township through a new order. The Board will then have to make their determination with that awareness, as well.

In the end, our discussions will be at our public meetings over the next few months, and we welcome you to remain engaged.

Please do not hesitate to reach out if you have any questions!

Sincerely,

Scott Hendrickson
Supervisor, Meridian Township
[REDACTED]

5151 Marsh Road | Okemos, MI 48864



A Prime Community

From: Rayamajhi, Supratik <[REDACTED]>
Sent: Thursday, August 21, 2025 4:40 PM
To: Board <[REDACTED]>
Cc: Tim Schmitt [REDACTED]
Subject: PLEA from Resident of CPE - Professor from MSU

[REDACTED] often get email from

From:
Supratik Rayamajhi MD
Professor of Medicine
Associate Dean for Clinical Affairs,
Michigan State University College of Human Medicine

**To the Esteemed Members of the Township Board /
Planning Commission:**

Dear Members,

I am writing as a 13-year resident of CPE - Central Park Estates, to express my deep concern about the proposed development of more than 300 high-density rental units on the property adjacent to our neighborhood. While I understand and appreciate the importance of thoughtful growth and housing opportunities in our township, I believe this particular project poses significant risks to the well-being of our community, the environment, and the character of our township.

Our neighborhood is nestled in an area that balances residential living with the beauty of natural surroundings. The wooded areas behind our homes are not only a sanctuary for residents but also a critical habitat for a wide variety of birds, animals, and even endangered species. This fragile ecosystem would be profoundly disrupted by such an intensive development. Once lost, this natural refuge cannot be restored.

Beyond the environmental concerns, the addition of 300 plus rental units, particularly high-density studios and multi-story apartments right behind our backyards, would bring a dramatic and sudden increase in traffic, noise, and congestion leading to our neighborhood. This is particularly alarming given the recent completion of 70 plus new single-family duplexes/homes on the other side of our neighborhood, which has already placed additional strain on local infrastructure. Roads, schools, and public services are already being tested, and further density of a bigger magnitude could compromise safety, quality of life, and property values.

I believe there are ways to support growth in our township without compromising the natural environment and the established character of our neighborhoods. Projects of this scale and density belong in areas specifically designated and prepared for higher-density housing, not in the middle of and adjacent to a residential community bordered by sensitive natural lands.

I respectfully urge the township to reconsider or block this proposal. Growth is important, but it must be responsible,

balanced, and aligned with the long-term vision of our township as a place where families, nature, and community thrive together.

Thank you for your time, attention, and commitment to preserving the character and livability of our township.

Sincerely,
Supratik

From:
To:
Cc:
Subject:
Date:



Request for kind review - significant concerns regarding proposed development
Thursday, August 21, 2025 4:50:27 PM

Some people who received this message don't often get email from [REDACTED]

Shivan GC

Assistant Professor of Forestry
Michigan State University
1612 Columbus Ave Okemos

To the Township Board / Planning Commission:

Dear Members,

I am writing not only as a homeowner in this neighborhood, but also as an Assistant Professor of Forestry at Michigan State University. My professional and personal life is deeply rooted in the stewardship of natural resources, and I feel compelled to express my grave concern about the proposed development of more than 300 high-density rental units directly behind our homes.

The wooded areas bordering our neighborhood are far more than “vacant land.” They are a sanctuary — a living, breathing ecosystem that supports birds, animals, and in some cases, endangered species. These natural areas provide quiet refuge, clean air, and immeasurable beauty that enriches the lives of residents and reflects the unique character of our township. To see this sanctuary replaced by dense, multi-story buildings pressed up against our backyards would be devastating — not only for the environment, but for the families who chose this community

because of its harmony with nature.

Beyond the environmental loss, this development would introduce serious challenges: congestion from traffic, stress on schools and infrastructure, and a decline in the very qualities that make this township desirable. The recent addition of more than 70 single-family homes adjacent to our homes is already destined to create strain.

As someone who studies forests and natural ecosystems for a living, I can say with certainty: once this habitat is erased, it cannot be brought back. No mitigation plan or landscaping can replace the complexity of the living systems that now exist there.

I am not opposed to growth. But growth should be planned responsibly, in ways that enhance rather than erase what makes our township special. This proposal, in its current form and location, is not consistent with that vision.

I respectfully urge you to protect our neighborhoods, our environment, and the long-term health of our township by blocking this development.

Thank you for your thoughtful consideration.

Sincerely,
Shivan GC
Assistant Professor of Forestry
Michigan State University

From: [REDACTED]
To: [REDACTED]
Subject: Request to Table Discussion on Central Park Estates Development
Date: Thursday, August 21, 2025 7:07:36 PM

Some people who received this message don't often get email from [REDACTED]

Dear Board Members,

We request that the upcoming discussion on the proposed development at Central Park Estates be tabled until November. This postponement will grant homeowners the necessary time to conduct thorough research and prepare informed feedback. This approach will enhance transparency and foster stronger community collaboration.

Specifically, we ask that any vote or formal consideration of the development plan be deferred to the November session. This will ensure residents can review project details, consult experts, and submit constructive comments. By accommodating this timeline, the board will demonstrate its commitment to inclusive decision-making.

Rationale

- Provide homeowners with sufficient time to analyze site plans, environmental reports, and traffic studies.
- Encourage meaningful dialogue among residents, developers, and township staff.
- Allow for community workshops or informational sessions to clarify project scope and address concerns.

We appreciate the board's dedication to responsible growth. Thank you for considering this request. We look forward to your favorable response and to working together for the benefit of our entire community.

Thanks,

Raman Sharma and Mamta Sharma

[REDACTED]
Ph no. [REDACTED]

From: [REDACTED]
To: [REDACTED]
Subject: Concerns Regarding Proposed Development at Central Park Estates
Date: Friday, August 22, 2025 10:31:48 AM

Some people who received this message don't often get email from [REDACTED]
[REDACTED]

Dear Scott Hendrickson, Township Supervisor and Township Board Members. Tim Schmitt, Community Planning and Development Director.

We recently came across a proposal coming to convert a commercial zone to high density multifamily residential zoning. I am writing to oppose Continental's proposal to eliminate the commercial zoning designation and increase residential density.

This land was intentionally zoned for commercial uses through prior settlement agreements. Removing that designation disregards past commitments and eliminates future opportunities for civic benefit. Continental's request to raise density from 8 to nearly 14 dwelling units per acre—with buildings over 36 feet tall—is excessive and incompatible with surrounding single-family neighborhoods. It will increase traffic, noise, and parking overflow, degrading safety, infrastructure, and property values.

The developer's claims of economic benefit are overstated. Construction jobs are temporary, and resident spending offers little offset for the lasting strain on schools, roads, and emergency services.

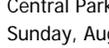
I respectfully urge you to decline this proposal or open for public forum to discuss more and preserve the integrity and character of our community.

Thanks,

Binod Kumar Jhanwar

[REDACTED]

Phone: [REDACTED]

From: 
To: 
Cc: 
Subject: Central Park development
Date: Sunday, August 24, 2025 8:43:39 PM

[Some people who received this message don't often get email from 
]

Request to Table Discussion on Central Park Estates Development

Dear Board Members,

We request that the upcoming discussion on the proposed development at Central Park Estates be tabled until November. This postponement will grant homeowners the necessary time to conduct thorough research and prepare informed feedback. This approach will enhance transparency and foster stronger community collaboration.

Specifically, we ask that any vote or formal consideration of the development plan be deferred to the November session. This delay will ensure residents can review project details, consult experts, and submit constructive comments. By accommodating this timeline, the board will demonstrate its commitment to inclusive decision-making.

Rationale

- Provide homeowners with sufficient time to analyze site plans, environmental reports, and traffic studies.
- Encourage meaningful dialogue among residents, developers, and township staff.
- Allow for community workshops or informational sessions to clarify project scope and address concerns.

We appreciate the board's dedication to responsible growth. Thank you for considering this request. We look forward to your favorable response and to working together for the benefit of our entire community.

Sincerely,

Urvi Patel

From: [REDACTED]
To: [REDACTED]
Subject: Request to table discussion on proposed development adjacent to Central Park Estates
Date: Monday, August 25, 2025 1:50:54 AM

Some people who received this message don't often get email from [REDACTED]

Request to table discussion on proposed development adjacent to Central Park Estates

Dear Board members,

We the residents of CPE request that the decision on the proposed apartment development adjacent to CPE be tabled until November. This postponement will allow homeowners the time needed to conduct needed research and become informed enough to provide feedback. This will provide a chance for fuller transparency and demonstrate a collaboration by which the existing citizenry will become more a part of the process.

We ask that any vote or formal consideration of the development be deferred to the November session. During this time the residents will have a more meaningful opportunity to review the details of the project, consult experts, and submit constructive feedback. By accommodating this timeline, the board will demonstrate its commitment to inclusive decision-making.

With this additional time, homeowners will have the opportunity to analyze site plans, environmental reports, and traffic studies. This will also allow time for dialogue among residents, developers, and the township. As well as allowing time for information sessions which will clarify the project scope and ramifications. And provide an opportunity to have concerns addressed.

We all want to promote responsible growth, so we appreciate your consideration of this request and look forward to your favorable response to our request to table discussion until November.

Sincerely,

Vincent Tomanica
CPE resident

From: [REDACTED]
To: [REDACTED]
Subject: Land Parcel Suggestion For Land Preservation Program
Date: Monday, August 25, 2025 10:39:29 AM

Dear Board Members,

I spoke and provided a land parcel suggestion during public comments at the Wednesday, August 13, 2025 Land Preservation Advisory Board meeting, see below this land parcel suggestion for the Land Preservation Program.

Dear Board Members and Land Preservation Advisory Board Members,

I have a land parcel suggestion to be included in the land preservation program. I respectfully ask that you consider designating and placing the Meridian Township centrally owned 25 plus acres land parcel located on Central Park Drive between the Okemos Post Office and the Meridian Township Central Fire Station into the Land Preservation program. Preserving this Township centrally owned 25 plus acres land parcel would include protecting significantly mature trees forested land and at least 3 pockets of wetlands that total approximately 1/2 acre or more of wetlands. (See Task Force 2 October 22, 2025 Start Timemark 1:07:00 <https://www.youtube.com/watch?v=TRrxxhegeIQ>)

Preserving this Township centrally owned 25 plus acres land parcel would provide much needed Green Space in an already densely commercially developed area with the Okemos Post Office to the East, the Shopping Plaza to the South, the Meridian Township Central Fire Station to the West, and the private Townhomes to the North. Preserving and conserving this Township centrally owned 25 plus acres sensitive land parcel would benefit our local environment by protecting wildlife habitats, contributing to cleaner water, and assisting in maintaining the natural ecosystem, which will all enhance and benefit Meridian Township's community quality of life.

Thank you,
Beth Bechtel
Haslett, MI

From: [REDACTED]
To: [REDACTED]
Subject: Opposition to Proposed Multifamily Development and Rezoning Adjacent to Central Park Estates
Date: Monday, August 25, 2025 1:38:20 PM
Attachments: [Letter to Township from 4855 Nassau Street Okemos MI.pdf](#)

Some people who received this message don't often get email from [REDACTED]
[REDACTED]

Dear Board Members,

We would like to send a letter to oppose to the Proposed Multifamily Development and Rezoning Adjacent to Central Park Estates. Please see the attached letter.

Thank you for your attention to this matter.

Best Regards,
Hang Nguyen and Hieu Phan
[REDACTED]

August 25, 2025

Board of Trustees and Planning Commission
Meridian Township
5151 Marsh Road
Okemos, MI 48864

Subject: Opposition to Proposed Multifamily Development and Rezoning Adjacent to Central Park Estates

Dear Members of the Board of Trustees and Planning Commission:

We are the owners of the single-family home at 4855 Nassau Street, Okemos, Michigan, which is immediately adjacent to the proposed Authentix Okemos multifamily community project, and we wish to express our strong opposition to the development. While responsible growth can benefit the community, this project in its current form raises serious concerns regarding zoning, environmental protection, neighborhood impacts, traffic, accountability, property values, and—most importantly—the direct effects on our home. Because our property directly borders the site, the development would substantially compromise our family’s privacy, quietness, security, and the value of our home.

Zoning and Density

Our understanding is that the original 2004 zoning included both community service and residential areas, with residential density limited to 8 dwelling units per acre. The current plan builds at more than 10 units per acre, and the proposal seeks approval for up to 14 units per acre while also eliminating the community service component entirely, thereby converting the property into high-density multifamily housing. This plan represents a significant departure from the original zoning framework and would unjustifiably increase residential intensity.

Environmental and Wetlands

The project will disturb wetlands that are vital for stormwater drainage and flood protection, thereby increasing risks for nearby homes, including ours. These wetlands also provide habitat for wildlife such as deer, cranes, turkeys, turtles, and rabbits, among others (see the attached photographs taken in the proposed development area). The development would displace these species and diminish the area’s environmental quality.

Neighborhood Impacts

Because our home borders the site, we would face increased activity, noise, and loss of privacy. A large multifamily complex next to single-family houses is incompatible with the neighborhood’s character and would reduce property values across Central Park Estates, especially for adjacent homes like ours.

Traffic and Safety

Over 300 apartments will likely introduce over 600 vehicles, overwhelming local roads. Central Park Road, especially the section between the Newman Road and Times Square Dr., was not designed to handle such a sharp increase in traffic. In addition, cut-through traffic on Belvedere Avenue and Columbus Avenue, two small internal streets, would pose serious safety risks to children, pedestrians, and cyclists.

Accountability

Such a project requires strong management, yet according to the Better Business Bureau, the developer holds an F-rating for unresolved complaints, raising serious concerns about accountability (<https://www.bbb.org/us/wi/menomonee-falls/profile/property-management/continental-properties-company-inc-0694-44029672>).

Overall, this proposal is incompatible with Central Park Estates. The proposed rezoning, increased density, destruction of wetlands, displacement of wildlife, neighborhood and traffic impacts, and potential lack of accountability make it unsound and detrimental. In addition, it would directly compromise the privacy, quietness, security, and value of our property. We respectfully urge the Board of Trustees and Planning Commission to reject this proposal and the associated rezoning request.

Sincerely,



Hang Nguyen and Hieu Phan

██████████
Okemos, MI 48864



From: [REDACTED]
To: [REDACTED]
Cc: [REDACTED]
Subject: Feedback and concerns from Central Park Estates residents
Date: Tuesday, August 26, 2025 8:17:00 PM

Some people who received this message don't often get email from [REDACTED]

Dear Members of the Township Board/planning commission,

We are writing as a 10-year resident of CPE - Central Park Estates, to express our deep concern about the proposed development of more than 300 high-density rental units on the property adjacent to our neighborhood. While we understand and appreciate the importance of thoughtful growth and housing opportunities in our township, we believe this particular project poses significant risks to the well-being of our community, the environment, and the character of our township.

Our neighborhood is nestled in an area that balances residential living with the beauty of natural surroundings. The wooded areas near our homes are not only a sanctuary for residents but also a critical habitat for a wide variety of birds, animals, and even endangered species. This fragile ecosystem would be profoundly disrupted by such an intensive development. Once lost, this natural refuge cannot be restored and will be devastating to the local environment.

Beyond the environmental concerns, the addition of 300 plus rental units, particularly high-density studios and multi-story apartments right behind our

backyards, would bring a dramatic and sudden increase in traffic, noise, and congestion leading to our neighborhood. This is particularly alarming given the recent completion of 70 plus new single-family duplexes/homes on the other side of our neighborhood, which has already placed additional strain on local infrastructure. Roads, schools, and public services are already being tested, and further density of a bigger magnitude could compromise safety, quality of life, and property values.

We believe there are ways to support growth in our township without compromising the natural environment and the established character of our neighborhoods. Projects of this scale and density belong in areas specifically designated and prepared for higher-density housing, not in the middle of and adjacent to a residential community bordered by sensitive natural lands.

We respectfully urge the township to reconsider or block this proposal. Growth is important, but it must be responsible, balanced, and aligned with the long-term vision of our township as a place where families, nature, and community thrive together.

Thank you for your time, attention, and commitment to preserving the character and livability of our township.

Sincerely,
Nara and Swathi

From: [REDACTED]
To: [REDACTED]
Cc: [REDACTED]
Subject: FORMAL APPEAL OF DEEMED DENIAL - FOIA Request ID #FOIA-2025-79 Submitted July 12, 2025
Date: Wednesday, August 27, 2025 12:22:50 PM

Some people who received this message don't often get email from [REDACTED]

I am writing to file a third appeal concerning my Freedom of Information Act (FOIA) request dated July 12, 2025. This appeal is in response to the Township's latest communication received on August 19, 2025, which, despite its claims, remains an effective denial of my request for specific records.

Points of Appeal

- **Failure to Produce and Certify Non-Existence of Requested Documents:** My original request, specifically item 3, sought records for Building 4835 and Unit 501, including:
 - Plumbing blueprints and schematics (water supply, drainage)
 - Sewer connection maps (storm and sanitary)

In your response, you granted this request "in part" and provided records for water mains and sewer lines outside the building. However, you failed to provide the specific blueprints and schematics for the building and my former unit. This is a crucial distinction. Furthermore, you did not provide a certification that these specific documents do not exist.

Your response, which states that "an additional search... has discovered potentially responsive records," acknowledges the possibility of further records but does not satisfy my request. Your failure to either provide the requested records or certify their non-existence, as you did for Request #2, constitutes a denial under Michigan FOIA, MCL 15.235(5)(b). The Township cannot claim it has fully responded when it has omitted key documents and failed to provide a valid reason for their non-disclosure.

- **Introduction of New, Contradictory Records:** Your response included a document dated July 17, 2025, which purports to be a copy of my August 2024 sewage complaint. This document contains new information, including notes on a call with the landlord company representatives, and contradicts the original, contemporaneous report. The original report noted the possibility of a cross-connection, a public health concern that justified my request. The new document, created after my FOIA request was filed, attempts to reframe the incident as an AC line backup, a conclusion that is inconsistent with the initial findings of your own code official and my firsthand experience.

This new document appears to have been created to address the issues raised in my FOIA request, rather than to serve as a genuine, pre-existing record. It undermines the integrity of the FOIA process and demonstrates a lack of transparency. The Township cannot create records after the fact to retroactively close a public health and safety concern without providing the original, supporting documentation.

For these reasons, I maintain that my FOIA request has been effectively denied. I urge the Township Board to reconsider this matter and direct the FOIA Coordinator to **either provide the requested documents for the building and unit or to provide a formal, certified statement that those specific records do not exist.**

Meridian Township has a legal and ethical duty to be transparent with its residents, particularly on matters of public health and safety. The records I have requested are directly relevant to a potential infrastructure problem that was identified by a Township official, and their disclosure is in the public interest.

I am also CC'ing the Meridian Township Board to ensure this appeal becomes part of the public record and for transparency.

I look forward to a prompt and complete resolution of this matter.

Sincerely,

Michael Inga



Lansing, MI, 48906

From: [Dan Opsommer](#)
To: [Board](#)
Cc: [Younes Ishraidi](#); [Tim Schmitt](#); [Tim Dempsey](#)
Subject: New Floodplain FIRM & FIS
Date: Thursday, August 14, 2025 12:14:14 PM
Attachments: [Preliminary FIS & FIRM Request Review LTR \(July 25 2025 LTR\).pdf](#)
[Preliminary Summary of Map Actions \(July 25 2025 LTR\).pdf](#)

Board Members,

As part of FEMA's multi-year process for updating the Flood Insurance Rate Map (FIRM) and Flood Insurance Study (FIS) in the Township, FEMA encourages the Township to circulate the attached materials and this web address linked below as widely as possible to elected officials, staff, and other individuals or organization that would have an interest in the FIRM and FIS report to obtain comments:

[2025 Draft FIRM Township Panels](#)

This is your opportunity, as Board Members, to provide comments on the preliminary maps contained at the link above. You can send any comments you may have via email to Younes, Tim S. and I. Younes will then review your comments for inclusion in the Township's formal comments that we send back to FEMA.

There is no requirement to provide comments. Township staff are already working on compiling comments based on new developments, the Okemos Road bridge replacement, and other changes that have occurred in the Township that should be reflected in the updated FIRM and FIS.

Please let us know if you have any questions.

Thanks,

Dan Opsommer
Deputy Township Manager
Director of Public Works & Engineering
opsommer@meridian.mi.us
Work: 517.853.4440 | Fax: 517.853.4099
5151 Marsh Road | Okemos, MI 48864



FEMA

July 25, 2025

The Honorable Scott Hendrickson
Supervisor, Charter Township of Meridian
5151 Marsh Road
Okemos, Michigan 48864

Prelim-EAP
Community Name: Charter Township of
Meridian,
Ingham County,
Michigan
Community No.: 260093

Re: National Flood Insurance Program (NFIP)
Preliminary Flood Insurance Study and Flood Insurance Rate Map Issued for Review

Dear Supervisor Scott Hendrickson:

We are pleased to present to your community copies of the Preliminary Flood Insurance Rate Map (FIRM) and Flood Insurance Study (FIS) report for Ingham County, Michigan (All Jurisdictions) for your review and comment. This preliminary version of the FIRM and FIS incorporates updated flood hazard information for Grand River, Red Cedar River, and Sycamore Creek. We have revised only those FIRM panels with updated flood hazard information.

To give your community an opportunity to review them FEMA has posted digital copies of the revised FIRM and FIS report materials to the following website:

<https://hazards.fema.gov/femaportal/prelimdownload/>

We will contact you shortly to schedule a formal community coordination meeting (a "Consultation Coordination Officer [CCO]" meeting) to discuss the revised flood hazard information, ordinance adoption, and other frequently asked questions and concerns. In the meantime, we encourage you to circulate the website address as widely as possible among elected officials, staff, and other individuals or organizations in the community that would have an interest in the FIRM and FIS report so that they will have the opportunity to review them before the formal community coordination meeting. The review period provides community officials and citizens in the affected communities with an opportunity to identify changes or corrections to non-technical information, such as corporate limits, road names, and stream names on the FIRM or in the FIS report. Comments may be sent to:

Emily Seeton, Advancing Resilience in Communities (ARC)
320 South Teller Street, Suite 200
Lakewood, CO 80226
or by email at Emily.Seeton@mbakerintl.com

Please submit comments (digital format such as shapefiles preferred) no later than 30 days from the date of this letter. All comments and changes received during this review period will be incorporated, as appropriate, before the FIRM and FIS report become effective.

To assist your community in maintaining the FIRM, we have enclosed a Summary of Map Actions (SOMA) to document previous Letters of Map Change (LOMCs) (i.e., Letters of Map Amendment [LOMAs], Letters of Map Revision [LOMRs]) that will be superseded when the FIRM becomes effective. Information on LOMCs is presented in the following four categories: (1) LOMCs for which results have been included on the FIRM; (2) LOMCs for which results could not be shown on the FIRM because of scale limitations or because the LOMC issued had determined that the lots or structures involved were outside the SFHA as shown on the FIRM; (3) LOMCs for which results have not been included on the FIRM because the flood hazard information on which the original determinations were based is being superseded by new flood hazard information; and (4) LOMCs issued for multiple lots or structures where the determination for one or more of the lots or structures cannot be revalidated through an administrative process like the LOMCs in Category 2 above.

LOMCs in Category 2 will be revalidated through a single letter that reaffirms the validity of a previously issued LOMC; the letter will be sent to your community shortly before the effective date of the FIRM and will become effective one day after the FIRM becomes effective.

For the LOMCs listed in Category 4, we will review the data previously submitted for the LOMA or LOMR request and issue a new determination for the affected properties after the FIRM becomes effective upon request.

After the CCO Meeting, we will initiate a statutory 90-day appeal period for certain communities within Ingham County. A statutory 90-day appeal period is required when FEMA adds or modifies Base (1-percent-annual-chance) Flood Elevations (BFEs), base flood depths, SFHAs, flood zone designations, or regulatory floodways within a community, as shown on the Preliminary FIRM. If your community is identified as requiring an appeal period, we will send you a letter approximately two weeks before the start of the 90-day appeal period to detail the appeal process. The letter will forward information regarding notifications to be published in the FEDERAL REGISTER and local newspaper(s) and will provide the first and second publication dates. The appeal period will start on the second publication date. Additional information concerning the 90-day appeal period will be provided during the CCO Meeting.

After the review and appeal periods have ended and we have addressed all comments/appeals, we will initiate final preparation of the FIRM and FIS report. The new FIRM and FIS report for your community will become effective approximately 7 to 10 months from now. Before the effective date, you will be notified in writing of the official FIRM and FIS report effective date and asked to adopt floodplain ordinances or modify existing ordinances as necessary that correspond with the new FIRM or FIS report. If you or other community officials have any questions about adopting floodplain ordinances, you may contact the FEMA Regional Office or discuss them with your State NFIP Coordinator. Several months before the effective date, we will mail one set of printed copies of the finalized FIRM and FIS report and digital copies of the map and report products.

Your community comments on the Preliminary FIRM panels and FIS report are an important part of our review process, and we will consider them carefully before we publish the FIRM and FIS report in their final form. If you have any questions regarding the Preliminary copies of the FIRM and FIS mapping products, please contact Emily Seeton, Advancing Resilience in Communities (ARC), by telephone at (720) 962-3252 or by email at Emily.Seeton@mbakerintl.com. If you have general questions about mapping issues, please call our FEMA Mapping and Insurance eXchange (FMIX), toll free, at (877) 336-2627 (877-FEMA MAP) or e-mail our FMIX staff at FEMA-FMIX@fema.dhs.gov.

Sincerely,



Julia McCarthy
Acting Mitigation Division Director
FEMA Region 5

Enclosures: Preliminary Flood Insurance Rate Map panels
Preliminary Flood Insurance Study report
Preliminary Summary of Map Actions

cc: Younes Ishraidi, Charter Township Chief Engineer, Charter Township of Meridian
Matt Occhipinti, State NFIP Coordinator, EGLE
John Wethington, Regional Engineer, FEMA Region 5

bcc: FEDD File
Case File

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

To assist your community in maintaining the Flood Insurance Rate Map (FIRM), we have summarized below the effect of the enclosed revised FIRM panel(s) on previously issued Letter of Map Change (LOMC) actions (i.e., Letters of Map Revision (LOMRs), Letter of Map Revision based on Fill (LOMR-Fs), and Letters of Map Amendment (LOMAs)).

1. LOMCs Incorporated

The modifications effected by the LOMCs listed below have been reflected on the Preliminary copies of the revised FIRM panels. In addition, these LOMCs will remain in effect until the revised FIRM becomes effective.

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
			NO CASES RECORDED		

2. LOMCs Not Incorporated

The modifications effected by the LOMCs listed below are either not located on revised FIRM panels, or have not been reflected on the Preliminary copies of the revised FIRM panels because of scale limitations or because the LOMC issued had determined that the lot(s) or structure(s) involved were outside the Special Flood Hazard Area, as shown on the FIRM. These LOMCs will be revalidated free of charge 1 day after the revised FIRM becomes effective through a single revalidation letter that reaffirms the validity of the previous LOMCs.

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

2A.LOMCs on Revised Panels

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	96-05-2408A	07/02/1996	1814 NEMOKE TRAIL	2600930001A	26065C0156E
LOMA	97-05-1910A	04/25/1997	SUPERVISOR PLAT NO. 2 OF OKEMOS - LOT 55 - 2211 HAMILTON ROAD	2600930001A	26065C0158E
LOMA	97-05-3776A	07/09/1997	INDIAN LAKE ESTATES - LOT 45 - 4550 SEQUOIA TRAIL	2600930001A	26065C0154E
LOMA	97-05-4068A	08/07/1997	HILLBROOK PARK SUBDIVISION - LOT 14 - 5794 MONTEBELLO	2600930001A	26065C0156E
LOMA	97-05-4160A	09/23/1997	EAST END CONDOS PATION HOMES, UNIT 30 - 2509 BENTLEY	2600930001A	26065C0152E
LOMA	98-05-270A	11/26/1997	HILLBROOK PARK SUBDIVISION - LOT 27 - 5805 MONTEBELLA	2600930001A	26065C0156E
LOMA	97-05-4894A	02/18/1998	WILDWOOD LAKES-DREAM LAKES, UNIT 39- 5395 WILD OAK DRIVE	2600930001A	26065C0152E
LOMR-F	98-05-1904A	03/11/1998	INDICAN HILLS - LOT 85 - 4574 NAKOMA DRIVE	2600930001A	26065C0158E
LOMA	98-05-2052A	03/13/1998	PINE CREEK CONDOMINIUMS OF HASLETT II - BUILDING 27 - 1937 & 1943 CREEK LANDING	2600930001A	26065C0156E
LOMA	98-05-1206A	03/18/1998	1480 SYLVAN GLEN ROAD	2600930002A	26065C0159E
LOMR-F	98-05-3042A	04/17/1998	SUPERVISORS PLAT NO. 2 - LOT 53 - 2223 HAMILTON ROAD	2600930001A	26065C0158E
LOMR-F	98-05-524A	04/29/1998	WILDWOOD LAKES-DREAM LAKE CONDOS - LOTS 1-6, 8, 10, 12, 14-16, 39-56, 97-124 & 1	2600930001A	26065C0152E
LOMA	98-05-4732A	06/24/1998	INDIAN HILLS ESTATES, PLAT 2 - LOT 134 - 4735 OTTAWA DRIVE	2600930001A	26065C0154E
LOMA	98-05-6126A	10/07/1998	1710 HASLETT ROAD - SECTION 10	2600930001A	26065C0156E
LOMA	99-05-778A	01/08/1999	KEYSTONE SUBDIVISION - LOT 44 - 2206 QUARRY ROAD	2600930001A	26065C0156E
LOMA	99-05-1718A	01/22/1999	NEMOKE TRAIL CONDOS - BUILDING 9 - 1772-1778 NEMOKE TRAIL	2600930001A	26065C0156E

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMR-F	99-05-1444A	02/03/1999	SUPERVISORS PLAT NO. 2 OF OKEMOS - PART OF LOT 52 - 2227 HAMILTON ROAD	2600930001A	26065C0156E
LOMR-F	99-05-2414A	03/05/1999	INDIAN HILLS PLAT - LOTS 46, 51, 52 - 4771 NAKOMA DRIVE	2600930001A	26065C0152E
LOMA	99-05-2792A	06/09/1999	HILLBROOK PARK - LOT 70 - 5741 BAYONNE	2600930001A	26065C0156E
LOMA	99-05-4298A	06/25/1999	HILLBROOK PARK, LOT 15 - 5802 MONTEBELLO AVE	2600930001A	26065C0156E
LOMA	99-05-5334A	07/21/1999	HILLBROOK PARK-LOT 30, 5779 MONTEBELLO AVENUE	2600930001A	26065C0156E
LOMA	99-05-5734A	07/21/1999	2055 WEST GRAND RIVER	2600930001A	26065C0156E
LOMA	99-05-4270A	08/13/1999	3950 & 3970 HERITAGE AVE	2600930002A	26065C0158E
LOMA	99-05-5850A	09/29/1999	MERIDIAN HILLS CONDO, BUILDING 5, UNIT NO. 74 - 5411 MAPLE RIDGE	2600930001A	26065C0156E
LOMA	99-05-6808A	10/20/1999	2175 HAMILTON ROAD	2600930001A	26065C0158E
LOMA	99-05-7068A	12/01/1999	2195 HAMILTON STREET	2600930001A	26065C0158E
LOMA	00-05-0326A	01/12/2000	1745 AND 1747 MAPLE RIDGE ROAD	2600930001A	26065C0156E
LOMA	00-05-0324A	01/12/2000	1715 AND 1717 MAPLE RIDGE ROAD	2600930001A	26065C0156E
LOMA	00-05-0312A	02/16/2000	BUILDINGS 2,4,6,7, AND THE COMMUNITY BUILDING - MERIDIAN HILLS CONDOMINIUMS	2600930001A	26065C0156E
LOMA	00-05-1496A	04/18/2000	4920 HILLCREST AVENUE	2600930001A	26065C0156E
LOMA	00-05-3792A	07/19/2000	BUILDINGS 4,5,&6 REPLAT#9, COYOTE CREEK CONDOMINIUM; BUILDING 4: ODD #'S 2341-2351 COYOTE CREEK DRIV	26009302F	26065C0158E
LOMA	00-05-4052A	10/04/2000	INDIAN HILLS ESTATES, PLAT NO. 2, LOT 125; 2466 ARROW HEAD ROAD	2600930015B	26065C0154E
LOMA	00-05-5886A	11/01/2000	OTTAWA HILLS SUBDIV., LOT 116; 4938 HILLCREST AVE.	2600930015B	26065C0156E

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	01-05-1044A	02/05/2001	SUPERVISOR'S PLAT NO. 2, THE WESTERLY 58 FEET OF LOT 55; 2211 HAMILTON ROAD		26065C0158E
LOMA	01-05-1284A	02/21/2001	BUILDING 13 (UNITS 113-116) NEMOKE TRAILS CONDOMINIUMS; 1810, 1812, 1814, AND 1816 NEMOKE TRAIL		26065C0156E
LOMA	01-05-991A	03/02/2001	HIDDEN MEADOWS II SUBDIVISION, LOT 17; 4252 GRAYSTONE DRIVE	2600930013B	26065C0154E
LOMA	01-05-1085A	03/09/2001	INDIAN HILLS SUBDIVISION, PLAT 16, LOT 11; 4530 NAKOMA DRIVE, OUTLOT D	2600930013B	26065C0158E
LOMA	01-05-1558A	03/12/2001	HILLBROOK PARK SUBDIVISION, LOT 14; 5794 MONTEBELLO AVENUE		26065C0156E
LOMA	01-05-1778A	03/27/2001	1710 HASLETT RD.;		26065C0156E
LOMA	01-05-2133A	05/16/2001	2227 HAMILTON RD; SUPERVISOR'S PLAT NO. 2, PT OF LOT 52	2600930015B	26065C0156E
LOMA	01-05-1965A	05/18/2001	NEMOKE TRAIL CONDOS, BUILDINGS 8,10,11,12,14, AND 15	2600930015B	26065C0156E
LOMA	01-05-2271A	06/06/2001	INDIAN HILLS ESTATES #2, LOT 130; 4695 CHIPPEWA DRIVE	2600930015B	26065C0154E
LOMA	01-05-2736A	06/19/2001	INDIAN HILLS, LOTS 46 52 AND 51; 4771 NAKOMA		26065C0152E
LOMA	01-05-2279A	06/27/2001	4457 WAUSAU ROAD, TACOMA HILLS NO. 1, LOT 91	2600930013B	26065C0158E
LOMA	01-05-2477A	07/05/2001	4457 WAUSAU ROAD; TACOMA HILLS SUBDIVISION NO. 1, LOT 91	2600930013B	26065C0158E
LOMA	01-05-2698A	07/13/2001	PORTION OF SECTION 21, T 4 N, R 1 W; 2304 EAST MT. HOPE	2600930013B	26065C0158E
LOMA	01-05-2835A	08/02/2001	LAKESIDE VILLAGE CONDOMINIUM, LOT 153; 2006 LAC DU MONT	2600930010B	26065C0156E
LOMA	01-05-1319A	08/10/2001	PLEASANT ACRES, PART OF S 1/2 OF SEC. 9, W 1/2 OF LOT 77; 2199 RABY ROAD	2600930015B	26065C0156E
LOMA	01-05-3087A	08/08/2001	INDIAN HILLS, LOTS 47, 50 AND PART OF LOT 51; 4775 NAKOMA DRIVE	2600930015B	26065C0152E

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	01-05-3745A	09/28/2001	LAKESIDE VILLAGE SOUTH CONDOMINIUM, APARTMENTS 69-74; 2048-2058 LAC DU MONT	2600930010B	26065C0156E
LOMA	01-05-3450A	10/19/2001	PLEASANT ACRES SUBDIVISION, LOT 79; OKEMOS ROAD	2600930015B	26065C0156E
LOMA	02-05-0238A	10/26/2001	VILLAGE OF OKEMOS, BLK 10, LOTS 5-8, & PT. OF LOTS 2&4; 4619 OKEMOS ROAD	2600930013B	26065C0158E
LOMA	02-05-0547A	11/26/2001	KEYSTONE, LOT 54; 5465 JESSALEE CIRCLE	2600930015B	26065C0156E
LOMA	02-05-1001A	01/09/2002	CEDAR BEND HEIGHTS, PART OF LOT 7; 4767 OKEMOS ROAD	2600930015B	26065C0156E
LOMA	02-05-1483A	02/06/2002	PART OF SECTION 16, T 4 N, R 1 W; 5473 OKEMOS ROAD	2600930015B	26065C0156E
LOMA	02-05-2112A	04/10/2002	BEAR LAKE SUBDIVISION NO. 1, LOT 36; 2533 KOALA DRIVE	2600930015B	26065C0152E
LOMA	02-05-2884A	06/05/2002	BEAR LAKE SUBDIVISION NO. 2, LOT 64; 5262 BEAR LAKE DRIVE	2600930015B	26065C0152E
LOMR-F	02-05-3139A	10/02/2002	BEAR LAKE SUBDIVISION NO. 2, LOT 72; 5310 BEAR LAKE DRIVE	2600930015B	26065C0152E
LOMA	03-05-0261A	11/06/2002	THE SHOALS NO. 5, LOT 271; 3975 SHOALS DRIVE	2600930015B	26065C0159E
LOMA	03-05-0902A	12/13/2002	INDIAN HILLS PLAT, LOTS 16-19; 2333 INDIAN HILLS DRIVE	2600930013B	26065C0158E
LOMA	03-05-0965A	01/08/2003	INDIAN HILLS PLAT, LOT 57; 4747 NAKOMA DRIVE	2600930015B	26065C0158E
LOMA	03-05-1046A	01/08/2003	STONEBROOK #2, LOT 48; 3884 SUN RAPIDS DRIVE	2600930013B	26065C0154E
LOMA	03-05-1534A	01/31/2003	INDIAN HILLS EST. LOT 114, 4725 WOODCRAFT ROAD, OKEMOS, MI	2600930015B	26065C0154E
LOMA	03-05-1633A	02/10/2003	LAKESIDE VILLAGE CONDOMINIUMS, BUILDING M; 2030-2042 LAC DU MONT	2600930010B	26065C0156E
LOMA	03-05-1855A	02/26/2003	THE SHOALS #5, LOT 261; 4060 LEEWARD DR.	2600930015B	26065C0159E
LOMA	03-05-3271A	05/09/2003	WILDWOOD LAKES - DREAM LAKE, BLDG 17, UNITS 97-100	2600930015B	26065C0152E

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Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	03-05-2777A	05/30/2003	MERIDIAN TWP, PT. OF NW1/4, SEC. 21; 2253 HAMILTON	2600930015B	26065C0156E
LOMA	03-05-4935A	08/27/2003	BEAR LAKE SUB NO. 2, LOT 71; 5304 BEAR LAKE DRIVE	2600930015B	26065C0152E
LOMA	03-05-4392A	09/05/2003	THE SHOALS #5, LOT276; 3985 SHOALS DRIVE	2600930015B	26065C0159E
LOMA	04-05-0153A	10/31/2003	SECTION 17, T4N, R1W; 5118 PARK LAKE ROAD	2600930015B	26065C0152E
LOMA	04-05-0210A	12/12/2003	TACOMA HILLS SUBDIVISION, LOT 55; 2070 LAGOON DRIVE	2600930013B	26065C0158E
LOMA	04-05-1055A	01/16/2004	SOWER BOULEVARD CONDOMINIUM, UNITS 1,2,AND CGE; SOWER BOULEVARD	2600930013B	26065C0158E
LOMR-F	04-05-1426A	02/13/2004	2338 - 2348 SOWER BOULEVARD	2600930013B	26065C0158E
LOMA	04-05-2049A	02/18/2004	OTTAWA HILLS, LOT 68; 4965 SIOUX WAY	2600930015B	26065C0156E
LOMA	04-05-2240A	03/03/2004	RIVER DOWNS SUBDIVISION, LOT 41; 1460 OSCODA ROAD	2600930015B	26065C0159E
LOMA	04-05-2905A	05/05/2004	LAKESIDE VILL. CONDO., UNITS 143-47; 1988 LAC DUMONT	2600930010B	26065C0156E
LOMA	04-05-3390A	05/14/2004	OTTAWA HILLS, LOT 9; 2182 SEMINOLE	2600930015B	26065C0156E
LOMA	04-05-3610A	05/28/2004	OTTAWA HILLS, LOT 11; 2198 SEMINOLE	2600930015B	26065C0156E
LOMA	04-05-A082A	07/02/2004	CEDAR BEND HEIGHTS, LOTS 71-72 -- 2194 KENT STREET	2600930015B	26065C0156E
LOMA	04-05-A338A	09/15/2004	OKEMOS ROAD	2600930015B	26065C0156E
LOMA	04-05-A312A	12/21/2004	KEYSTONE WOODS, LOTS 1-12	2600930015B	26065C0156E
LOMA	05-05-1912A	03/11/2005	INDIAN HILLS ESTATES, LOT 133 -- 4721 OTTAWA DRIVE	2600930015B	26065C0154E
LOMR-F	04-05-B047A	03/23/2005	4780 OKEMOS ROAD -- PORTION OF SECTION 21, T4N, R1W	2600930015B	26065C0158E
LOMA	05-05-3947A	08/11/2005	OTTAWA HILLS SUBDIV, LOT 94 -- 2184 IROQUOIS ROAD	2600930015B	26065C0156E

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LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	05-05-4580A	09/27/2005	SYLVAN GLEN ROAD, LOT 22 -- 1480 SYLVAN GLEN ROAD	2600930015B	26065C0159E
LOMA	05-05-5221A	11/01/2005	INDIAN HILL PLAT, LOT 59 -- 4743 NAKOMA DRIVE	2600930015B	26065C0158E
LOMA	05-05-4907A	12/13/2005	OTTAWA HILLS SUBDIV, LOT 34 -- 2360 SEMINOLE DRIVE	2600930015B	26065C0152E
LOMA	06-05-0969A	02/07/2006	5059 OKEMOS ROAD -- PORTION OF SECTION 16, T4N, R1W	2600930015B	26065C0156E
LOMA	06-05-B826A	03/09/2006	HILLBROOK PARK SUBDIV, LOT 28 -- 5795 MONTEBELLO AVENUE (MI)	2600930010B	26065C0156E
LOMR-FW	06-05-B688A	03/21/2006	INDIAN HILLS SUBDIV, LOT 103 -- 4792 NAKOMA DRIVE (MI)	2600930015B	26065C0156E
LOMA	06-05-BK88A	06/13/2006	2505 WEST GRAND RIVER AVENUE -- PORTION OF SECTION 21, T4N, R1W (MI)	2600930015B	26065C0158E
LOMA	06-05-BP11A	06/20/2006	5177 & 5241 MARSH ROAD -- PORTION OF SECTION 15, T4N, R1W (MI)	2600930015B	26065C0156E
LOMA	06-05-BV01A	08/15/2006	2040 GRAND RIVER AVENUE -- PORTION OF SECTION 21, T4N, R1W (MI)	2600930015B	26065C0156E
LOMA	06-05-C318A	10/17/2006	HILLBROOK PARK, LOT 5 -- 5752 BAYONNE AVENUE (MI)	2600930015B	26065C0156E
LOMA	07-05-1716A	02/15/2007	1727 MONTGOMERY COURT -- PORTION OF SECTION 15, T4N, R1W (MI)	2600930015B	26065C0156E
LOMA	07-05-2234A	02/13/2007	HILLBROOK PARK, LOT 32 -- 1824 LYNDHURST WAY (MI)	2600930010B 2600930015B	26065C0156E
LOMA	07-05-3424A	04/26/2007	TACOMA HILLS SUBDIV NO. 1, LOT 90 -- 4465 WAUSAU ROAD (MI)	2600930013B	26065C0158E
LOMA	07-05-3626A	05/03/2007	OTTAWA HILLS, LOT 1 -- 4999 HILLCREST AVENUE (MI)	2600930015B	26065C0156E
LOMA	07-05-4003A	05/31/2007	TACOMA HILLS SUBDIV NO. 1, LOT 92 -- 4445 WAUSAU ROAD (MI)	2600930013B	26065C0158E
LOMA	08-05-1341A	01/17/2008	OTTAWA HILLS SUBDIV, LOT 81 -- 2203 IROQUOIS ROAD	2600930015B	26065C0156E
LOMA	08-05-2927A	04/22/2008	OTTAWA HILLS, LOT 10 -- 2190 SEMINOLE DRIVE	2600930015B	26065C0156E

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LOMA	08-05-4026A	08/12/2008	CHARLES BRAY'S ADDITION, PORTION OF LOT 15 – 2195 KENT STREET	2600930015B	26065C0156E
LOMR-F	09-05-2747A	06/11/2009	WILDWOOD LAKES - EMERALD LAKE CONDOMINIUMS, UNITS 10-15, 30 & 31 – EMERALD FOREST CIRCLE	2600930015B	26065C0152E
LOMA	09-05-5318A	09/29/2009	Haslett, MI. HILLBROOK PARK, LOT 71	2600930015B	26065C0156E
LOMA	09-05-5335A	12/18/2009	Lot 41, Ottawa Hills – 5015 Mohawk Road	2600930015B	26065C0152E
LOMA	10-05-3161A	05/11/2010	LOT 3, INDIAN HILLS SUBDIVISION – 2336 MOUNT HOPE ROAD	2600930013B	26065C0158E
LOMA	10-05-4178A	05/28/2010	LOTS 8 & 9, SYLVAN GLEN SUBDIVISION – 1608 SYLVAN GLEN ROAD	2600930015B	26065C0159E
LOMA	10-05-5437A	08/10/2010	BUILDING K, LAKESIDE VILLAGE CONDOMINIUMS	2600930010B	26065C0156E
LOMA	10-05-7386A	09/29/2010	Lot 3, Hillbrook Park Subdivision - 5738 Bayonne Avenue	2600930015B	26065C0156E
LOMA	11-05-2141A	02/14/2011	2248 Mt Hope Road	2600930013B	26065C0158E
LOMA	11-05-2130A	03/08/2011	LOT 35, INDIANWOOD ESTATES NO. 2 – 4191 INDIAN GLEN DRIVE	2600930015B	26065C0159E
LOMR-FW	11-05-3255A	04/19/2011	LOT 62, RIVERWOOD NO. 2 -- 2094 RIVERWOOD DRIVE	2600930013B	26065C0158E
LOMR-F	11-05-2478A	05/12/2011	2700 HANNAH BOULEVARD	2600930015B	26065C0152E
LOMA	12-05-0726A	11/15/2011	INDIAN LAKES ESTATES NO. 2, LOT 66 – 2588 TEKONSHA TRAIL	26065C0152D	26065C0152E
LOMA	12-05-1504A	12/05/2011	Lot 27, Sylvan Glen Subdivision - 1400 Sylvan Glen Road	26065C0159D	26065C0159E
LOMA	12-05-2066A	12/29/2011	Lot 26, Sylvan Glen Subdivision - 1428 Sylvan Glen	26065C0159D	26065C0159E
LOMA	12-05-1984A	01/12/2012	LOT 51, INDIAN LAKES ESTATES – 4591 COMANCHE DRIVE	26065C0154D	26065C0154E
LOMR-F	12-05-2036A	01/17/2012	LOTS 20-23, CEDAR BEND HEIGHTS – 2131 AND 2143 WEST GRAND RIVER AVENUE	26065C0156D	26065C0156E

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LOMA	12-05-2150A	01/24/2012	INDIAN LAKES NO. 3, LOTS 215-221 – 2504 ARROWHEAD ROAD	26065C0154D	26065C0154E
LOMA	12-05-2704A	01/26/2012	Lot 17, Tacoma Hills Subdivision Subdivision - 2150 Pawnee Circle	26065C0158D	26065C0158E
LOMR-FW	12-05-2054A	01/31/2012	2487 SMALL ACRES LANE	26065C0152D	26065C0152E
LOMR-FW	12-05-1926A	02/14/2012	UUNITS 1-13, THE RIVERFRONT AT OKEMOS CONDOMINIUMS – 2049 AND 2051-2073 HAMILTON ROAD (ODDS ONLY)	26065C0158D	26065C0158E
LOMA	12-05-2977A	03/06/2012	LOT 53, THE PONDEROSA NO. 2 – 1133 BONANZA DRIVE	26065C0159D 26065C0170D	26065C0159E
LOMA	12-05-3534A	03/08/2012	UNITS 33, 34, AND 41, EAST END CONDOMINIUM – 2531 DURYEA COURT, 2515 AND 2517 BENTLEY COURT	26065C0152D	26065C0152E
LOMA	12-05-3456A	04/03/2012	UNITS 111 THROUGH 118, LAKESIDE VILLAGE – 1964-1978 LAC DU MONT (EVEN), BUILDING C	26065C0156D	26065C0156E
LOMA	12-05-4281A	04/05/2012	4405, 4435, 4455 AND 4495 HERITAGE AVENUE	26065C0154D	26065C0154E
LOMR-FW	12-05-4274A	04/26/2012	2291 HAMILTON ROAD	26065C0156D	26065C0156E
LOMA	12-05-5741A	05/31/2012	KEYSTONE SUBDIVISION, LOT 49 – 2234 QUARRY ROAD	26065C0156D	26065C0156E
LOMA	12-05-6524A	06/04/2012	Lot 111, Tacoma Hills Subdivision No. 1 Subdivision - 4410 Wausau Road	26065C0158D	26065C0158E
LOMA	12-05-8026A	07/18/2012	5211 Marsh Road	26065C0156D	26065C0156E
LOMR-F	12-05-3636A	07/31/2012	2060 GRAND RIVER AVENUE	26065C0156D	26065C0156E
LOMA	13-05-1724A	12/20/2012	LOT 70, OTTAWA HILLS – 4949 SIOUX WAY	26065C0156D	26065C0156E
LOMA	13-05-2035A	12/20/2012	Lot 2B - 2060 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	13-05-2068A	12/20/2012	Lot 3B - 2044 Cameron Oaks Drive	26065C0156D	26065C0156E

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LOMA	13-05-2073A	12/21/2012	1730 Haslett Road	26065C0156D	26065C0156E
LOMA	13-05-2499A	01/22/2013	5211 MARSH ROAD	26065C0156D	26065C0156E
LOMA	13-05-3161A	02/05/2013	Lot 17, Indian Wood Estates Subdivision - 4207 Indian Glen Drive	26065C0158D	26065C0158E
LOMA	13-05-3512A	02/28/2013	THE PONDEROSA NO. 2, LOT 52 -- 1125 BONANZA DRIVE	26065C0170D	26065C0159E
LOMA	13-05-6117A	06/10/2013	Lot 3A - 2052 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMR-FW	13-05-5224A	06/27/2013	LOT 102, INDIAN HILLS -- 4784 NAKOMA DRIVE	26065C0156D	26065C0156E
LOMR-FW	13-05-6947A	07/30/2013	4999, 5003, 5005, 5031, 5033 AND 5035 CAMPUS HILL DRIVE	26065C0152D	26065C0152E
LOMA	13-05-7534A	08/12/2013	Lot 2A - 2072 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	13-05-6583A	08/20/2013	2522 BURCHAM ROAD	26065C0152D	26065C0152E
LOMA	13-05-8023A	09/10/2013	1620 FIFTH AVENUE	26065C0158D 26065C0157D	26065C0156E
LOMA	14-05-1819A	01/09/2014	INDIAN HILLS ESTATES, PLAT 2, LOT 112 -- 4741 WOODCRAFT ROAD	26065C0152D	26065C0152E
LOMA	14-05-2184A	01/09/2014	LOT 296, SANDER TACOMA HILLS NO. 2 -- 1916 BIRCHWOOD DRIVE	26065C0158D	26065C0158E
LOMR-FW	14-05-1024A	02/06/2014	SUPERVISOR'S PLAT OF RIVER TERRACE, LOT 16 -- 1627 RIVER TERRACE	26065C0152D	26065C0152E
LOMA	14-05-4192A	03/13/2014	2090 WEST GRAND RIVER AVENUE	26065C0156D	26065C0156E
LOMR-FW	14-05-4267A	04/08/2014	LOT 54, SUPERVISOR'S PLAT NO. 2 -- 2217 HAMILTON ROAD	26065C0158D	26065C0156E
LOMA	14-05-6393A	05/20/2014	Lot 6 - 1991 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	14-05-5988A	05/29/2014	5508 OKEMOS ROAD	26065C0156D	26065C0156E

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LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	14-05-6653A	06/19/2014	LOT 14, BLOCK 34, RIVERWOOD PARK -- 4267 SUGAR MAPLE LANE	26065C0158D	26065C0158E
LOMR-FW	14-05-8032A	09/25/2014	LOT 10, SUPERVISOR'S PLAT OF RIVER TERRACE SUBDIVISION -- 1603 RIVER TERRACE	26065C0152D	26065C0152E
LOMR-FW	14-05-9330A	09/30/2014	LOT 101, INDIAN HILLS PLAT -- 4774 NAKOMA DRIVE	26065C0156D	26065C0156E
LOMA	15-05-0328A	10/15/2014	Lot 4 - 2026 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	15-05-0337A	10/15/2014	Lot 7 - 2005 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	15-05-1088A	11/19/2014	Lot 8 - 2031 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	15-05-0874A	11/25/2014	LOT 43, KEYSTONE SUBDIVISION -- 2200 QUARRY ROAD	26065C0156D	26065C0156E
LOMA	15-05-1317A	11/26/2014	Lot 5 - 2008 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMR-FW	15-05-1049A	12/16/2014	2315 HAMILTON ROAD	26065C0156D	26065C0156E
LOMA	15-05-1832A	01/15/2015	2498 WEST GRAND RIVER AVENUE	26065C0152D	26065C0152E
LOMR-FW	15-05-2465A	02/24/2015	1625 FIFTH AVENUE (TV-EQUIPMENT BUILDING)	26065C0156D	26065C0156E
LOMA	15-05-6343A	07/16/2015	Lot 1A, - 2084 Cameron Oaks Drive	26065C0156D	26065C0156E
LOMA	15-05-5861A	07/31/2015	RIVERWOOD PARK NO. 4, LOT 85 -- 4221 SANDRIDGE DRIVE	26065C0158D	26065C0158E
LOMA	15-05-7306A	08/28/2015	Lot 98, Indian Hills Subdivision - 4726 Huron Hill Drive	26065C0158D	26065C0158E
LOMA	16-05-0369A	11/19/2015	SUPERVISOR'S PLAT OF RIVER TERRACE, LOT 9 -- 1531 RIVER TERRACE	26065C0152D	26065C0152E
LOMR-FW	16-05-2361A	03/04/2016	SECTION 16, T4N, R1W -- 5125 NORTH OKEMOS ROAD	26065C0156D	26065C0156E
LOMR-FW	17-05-0445A	11/14/2016	TACOMA HILLS SUBDIVISION, LOT 16 -- 2142 PAWNEE CIRCLE	26065C0158D	26065C0158E

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LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMR-FW	17-05-1439A	02/03/2017	SUPERVISOR'S PLAT NO. 2, LOTS 50-51 -- HAMILTON ROAD	26065C0156D	26065C0156E
LOMA	17-05-3209A	03/20/2017	2329 Mount Hope Road	26065C0158D	26065C0158E
LOMA	18-05-0126A	10/06/2017	Lot 19, Sylvan Glen Subdivision Subdivision - 1494 Sylvan Glen	26065C0159D	26065C0159E
LOMA	18-05-0147A	10/10/2017	5177 Marsh Road	26065C0156D	26065C0156E
LOMA	18-05-3532A	05/21/2018	CEDAR BEND HEIGHTS, LOTS 17-19 -- 4825 & 4837 OKEMOS ROAD	26065C0156D	26065C0156E
LOMA	18-05-4002A	05/23/2018	Lot 77, Indian Lakes Estates No. 2 Subdivision - 4715 Mohican Lane	26065C0154D	26065C0154E
LOMA	18-05-5715A	08/22/2018	Lot 23, Ottawa Hills Subdivision - 2290 Seminole Drive	26065C0156D	26065C0156E
LOMA	19-05-0267A	10/18/2018	Lot 54 - 117, Indian Lake Estates; Indian Lake Estates No. 4 Subdivision - 4609 Comanche Drive	26065C0154D	26065C0154E
LOMA	19-05-2227A	03/08/2019	Unit 31, Northpointe at College Fields Condominium - 2903 Medinah Drive	26065C0154D	26065C0154E
LOMA	19-05-2606A	03/28/2019	Lot Unit 33, Northpointe at College Fields Condominium Subdivision - 2908 Medinah Drive	26065C0154D	26065C0154E
LOMA	19-05-2979A	04/24/2019	4045 Van Atta Road	26065C0159D	26065C0159E
LOMR-F	19-05-5331A	01/06/2020	SECTION 21, T4N, R1W -- 2080 GRAND RIVER AVENUE	26065C0156D	26065C0156E
LOMA	20-05-3064A	05/20/2020	5140 Times Square	26065C0156D	26065C0156E
LOMA	20-05-3552A	07/29/2020	OTTAWA HILLS, LOT 29 -- 5013 ALGONQUIN WAY	26065C0156D	26065C0156E
LOMR-F	20-05-4492A	10/14/2020	SECTION 21, T4N, R1W -- 2085 WEST GRAND RIVER AVENUE	26065C0156D	26065C0156E
LOMA	21-05-1240A	01/07/2021	Lot 15, Riverwood Park Subdivision - 4274 Sugar Maple Lane	26065C0158D	26065C0158E
LOMA	21-05-1673A	02/08/2021	Lot 138 - 140, Cedar Bend Heights Subdivision - 2359 West Grand River Avenue	26065C0156D	26065C0156E

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LOMA	21-05-4370A	08/30/2021	2875 Northwind Drive	26065C0152D	26065C0152E
LOMA	21-05-4476A	09/21/2021	Lot 13, Tacoma Hills Subdivision - 2084 Tomahawk Circle	26065C0158D	26065C0158E
LOMR-F	22-05-0097A	11/02/2021	INDIAN HILLS, LOT 63 – 4681 NAKOMA DRIVE	26065C0158D	26065C0158E
LOMR-FW	22-05-2834A	08/25/2022	SUPERVISORS PLAT NO. 2, LOTS 55-56 – 2205 HAMILTON ROAD	26065C0158D	26065C0158E
LOMA	23-05-0771A	12/30/2022	Lot 61, Ottawa Hills Subdivision - 4949 Algonquin Way	26065C0156D	26065C0156E
LOMA	24-05-1577A	05/31/2024	KEYSTONE, LOT 48 – 2228 QUARRY ROAD	26065C0156D	26065C0156E

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2B. LOMCs on Unrevised Panels

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	86-05-0964W	05/23/1986	LOT 61 & PORTION OF LOT 36 INDIAN HILLS PLAT	260093 A	26065C0156D
LOMA	92-05-514B	08/28/1992	LOT 8 COUNTRY VIEW	2600930001A	26065C0156D
LOMA	93-05-0153W	03/15/1993	LOT 58 INDIAN HILLS	260093H&I01	26065C0156D
LOMA	93-05-0128W	05/14/1993	LOT 8, BLOCK 1, LAKEBROOK	260093H-I01	26065C0043D
LOMA	94-05-0114W	04/28/1994	LOT 7 - COUNTRY VIEW SUBDIVISION	2600930001F	26065C0156D
LOMA	96-05-094A	11/14/1995	LOT 70 - INDIAN LAKES ESTATES	2600930001A	26065C0152D
LOMA	96-05-542A	01/11/1996	PINE CREEK CONDO - UNIT #12	2600930001A	26065C0156D
LOMR-F	95-05-1170A	06/04/1996	WILDWOOD LAKES - EMERALD LAKE	2600930001A	26065C0152D
LOMA	96-05-3604A	09/25/1996	LOT 5, BLOCK 3 - LAKEVIEW SUBDIVISION	2600930002A	26065C0043D
LOMR-F	96-05-3670A	10/23/1996	UNIT 4 - PINE CREEK CONDOMINIUMS	2600930001A	26065C0156D
LOMA	97-05-186A	02/11/1997	UNIT 151 - LAKESIDE VILLAGE CONDOS - W. 1/2 N.W. 1/4 OF SECTION 10	2600930001A	26065C0043D
LOMR-F	97-05-958A	02/19/1997	PINE CREEK CONDOMINIUMS OF HASLETT - II	2600930001A	26065C0156D
LOMA	97-05-1298A	02/19/1997	SUPERVISOR'S PLAT NO. 1 - LOTS 34, 35, AND PART 36 - 6415 EAST REYNOLDS	2600930001A	26065C0044D
LOMA	97-05-2968A	04/23/1997	2000 LAKE LANSING ROAD, SECT. 4	2600930001A	26065C0043D
LOMR-F	97-05-2914A	05/14/1997	WILDWOOD LAKES/EMERALD LAKE CONDOS, UNIT 87	2600930001A	26065C0152D
LOMA	97-05-3000A	06/12/1997	HILLBROOK PARK SUBD. - LOT 26 - 5811 MONTEBELLO AVE.	2600930001A	26065C0043D
LOMR-F	97-05-2620A	08/07/1997	BANYON PARK SUBDIVISION - VACANT OKEMOS ROAD, SECTION 16	2600930001A	26065C0156D
LOMA	98-05-1286A	06/03/1998	WILDWOOD LAKES - EMERALD LAKES - LOTS 32-40 - EMERALD FOREST & HIDDEN LAKE	2600930001A	26065C0152D

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	98-05-5732A	07/30/1998	BEAR LAKE SUBDIVISION NUMBER 2 - LOT 66 - 5274 BEAR LAKE DRIVE	2600930001A	26065C0157D
LOMR-F	98-05-3534A	08/26/1998	CEDAR BEND HEIGHTS - LOTS 10-16	2600930001A	26065C0156D
LOMA	99-05-2138A	04/01/1999	SECTION 16 - SAPPHIRE LANE	2600930001A	26065C0152D
LOMA	99-05-4176A	06/18/1999	6074 COLUMBIA	2600930001A	26065C0043D
LOMA	99-05-4300A	07/23/1999	EAST END CONDOS, LOTS 19-22,28-32,50-53,66-68, AND 71-73	2600930001A	26065C0152D
LOMA	99-05-5698A	09/03/1999	6068 COLUMBIA DRIVE	2600930001A	26065C0043D
LOMA	00-05-0698A	01/03/2000	6220 COLUMBIA STREET	2600930001A	26065C0043D
LOMA	01-05-978A	02/21/2001	BLOCK 9, LOT 2A, HICKORY GROVE ADDITION; 6236 WEST REYNOLDS	2600930010B	26065C0043D
LOMA	01-05-1724A	04/20/2001	SUPERVISOR'S PLAT NO. 4, PORT. OF LOT 8; 6185 MARSH ROAD	2600930010B	26065C0043D
LOMA	01-05-2015A	04/27/2001	A PARCEL OF LAND NE1/4 OF SECTION 10, T4N, R1W; 5940 SHAW	2600930010B	26065C0044D
LOMA	01-05-2989A	07/25/2001	LAKE O' THE HILLS SUBDIVISION, LOT 21; 5807 BOIS ISLE DRIVE	2600930010B	26065C0043D
LOMA	01-05-776A	08/01/2001	PONDEROSA, LOT 17& PART OF SEC 35, T 4 N; 3614 PONDEROSA DRIVE	2600930015B	26065C0170D
LOMA	01-05-3526A	09/12/2001	CRESCENT BEACH ADDITION, LOT 28, SECTION 2; 6295 QUAIL STREET	2600930010B	26065C0044D
LOMA	02-05-0512A	11/26/2001	PORTION OF SECTION 2, T4N, R1W; 6345 EAST REYNOLDS ROAD	2600930010B	26065C0044D
LOMA	02-05-0819A	12/19/2001	LAKEBROOK NO. 1, BLOCK 1, LOTS 4 AND 5; 6144 COLUMBIA STREET	2600930010B	26065C0043D
LOMA	02-05-1957A	03/13/2002	HICKORY GROVE ADDITION, BLOCK 9, LOTS 3A AND 4A; 6232 WEST REYNOLDS ROAD	2600930010B	26065C0043D
LOMA	02-05-1681A	04/26/2002	SECTION 13, T4N, R1W; 105 & 513 PIPER ROAD	2600930015B	26065C0176D
LOMA	02-05-3382A	06/28/2002	SE CORNER OF SECTION 13, TOWNSHIP 4N, RANGE 1W; 5015 MERIDIAN ROAD	2600930015B	26065C0176D
LOMA	02-05-3562A	07/12/2002	LAKEVIEW, BLOCK 2, LOT 2; 6080 COLUMBIA	2600930010B	26065C0043D

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	02-05-3567A	08/21/2002	PORTION OF SECTION 9, T4N, R1W; 2092/2094, 2096, 2100/2102 LAC DU MONT DRIVE	2600930010B	26065C0043D
LOMA	02-05-4674A	10/09/2002	OTTAWA HILLS SUBDIVISION, PART OF LOTS 25 AND 26; 4998 ALGONQUIN WAY	2600930015B	26065C0043D
LOMA	03-05-0843A	12/18/2002	LAKEVIEW SUBDIVISION, BLOCK 1, LOT 5; 6090 COLUMBIA	2600930010B	26065C0043D
LOMA	03-05-1992A	03/14/2003	LAKEVIEW, BLK 1, LOT 1; 6088 COLUMBIA STREET	2600930010B	26065C0043D
LOMA	03-05-2208A	03/14/2003	LAKEBROOK, BLOCK 1, LOT 6; 6142 COLUMBIA	2600930010B	26065C0043D
LOMA	03-05-2694A	04/16/2003	COUNTRYSIDE ESTATES, LOT 4; 4991 COUNTRY DRIVE	2600930015B	26065C0176D
LOMA	03-05-3942A	06/25/2003	T4N-R1W, S1/2 OF SECTION 2 AND N1/2 OF SECTION 11; 6029 EAST LAKE DRIVE	2600930010B	26065C0044D
LOMA	03-05-2996A	08/20/2003	SECTIONS 14, 15, 22, & 23, T4N, R1W; TIHART ROAD	2600930015B	26065C0157D
LOMA	03-05-4269A	09/26/2003	LAKEVIEW, BLOCK 3, LOT 2; 6060 COLUMBIA	2600930010B	26065C0043D
LOMA	03-05-4244A	11/03/2003	6190 COLUMBIA		26065C0043D
LOMA	04-05-0527A	11/19/2003	LAKEVIEW, BLK 2, LOT 5; 6070 COLUMBIA STREET	2600930010B	26065C0043D
LOMA	04-05-2094A	02/25/2004	LAKEBROOK, BLK 2, LOT 4	2600930010B	26065C0043D
LOMA	04-05-2290A	03/19/2004	JOHNSON'S INDIAN ISLAND, LOT 3; 6035 EAST LAKE DRIVE	2600930010B	26065C0044D
LOMA	04-05-2615A	03/26/2004	LAKEBROOK NO. 1, LOT 9; 6192 COLUMBIA STREET	2600930010B	26065C0043D
LOMA	04-05-2711A	04/16/2004	HICKORY GROVE ADDT, BLK 6, LOT 9A	2600930010B	26065C0043D
LOMA	04-05-3452A	05/26/2004	PART OF SECTION 11, TOWN 4 NORTH, RANGE 1 WEST; 1340 HICKORY ISLAND DRIVE	2600930010B	26065C0044D
LOMA	04-05-3645A	06/09/2004	LAKEVIEW, BLOCK 3, LOT 4; 6054 COLUMBIA	2600930010B	26065C0043D
LOMA	04-05-B040A	10/07/2004	6074 COLUMBIA	2600930010B	26065C0043D
LOMA	05-05-3951A	12/29/2005	LAKEVIEW SUBDIV, BLOCK 1, LOT 1 – 6102 COLUMBIS STREET	2600930010B	26065C0043D

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	06-05-BQ83A	07/12/2006	LAKEBROOK, BLOCK 2, LOT 1 -- 6130 COLUMBIA STREET (MI)	2600930010B	26065C0043D
LOMA	06-05-BZ16A	08/29/2006	LAKEVIEW, BLOCK 2, LOT 1 -- 6082 COLUMBIA STREET (MI)	2600930010B	26065C0043D
LOMA	06-05-C074A	10/31/2006	GEORGETOWN SUBDIV -- PORTION OF SECTION 14, T4N, R1W (MI)	2600930015B	26065C0157D
LOMR-F W	07-05-0552A	10/31/2006	LOTS 154 - 157, GEORGETOWN SUBDIV -- PORTION OF SECTION 14, T4N, R1W (MI)	2600930015B	26065C0157D
LOMA	07-05-1214A	12/21/2006	1330 HICKORY ISLAND DRIVE -- PORTION OF SECTION 11, T4N, R1W (MI)	2600930010B	26065C0044D
LOMR-F	07-05-1516A	03/01/2007	VILLAGE OF NEMOKA, BLOCK 8, PORTION OF LOT 2 -- 5892 SHAW STREET (MI)	2600930010B	26065C0044D
LOMA	07-05-3807A	05/10/2007	LAKEBROOK NO. 1, LOT 8 -- 6190 COLUMBIA (MI)	2600930010B	26065C0043D
LOMA	07-05-3997A	06/05/2007	HILLBROOK PARK, LOT 21 -- 5846 MONTEBELLO AVENUE (MI)	2600930010B	26065C0043D
LOMA	08-05-1055A	12/18/2007	JOHNSON'S PLAT OF INDIAN ISLAND, LOT 4 -- 6029 EAST LAKE DRIVE	2600930010B	26065C0044D
LOMA	08-05-1691A	02/14/2008	Lot 2, Block 2, Lakebrook Subdivision - 6126 Columbia Street	2600930010B	26065C0043D
LOMA	10-05-5927A	09/30/2010	5896 SHAW STREET	2600930010B	26065C0044D
LOMA	11-05-3677A	03/29/2011	LOTS 1 & 2, LAKEBROOK NO. 1 -- 6164 COLUMBIA STREET	2600930010B	26065C0043D
LOMA	11-05-7813A	08/08/2011	Lot 29, Plat of Hickory Island Subdivision - 5845 Carlton Street	2600930010B	26065C0044D
LOMA	12-05-2257A	01/06/2012	2380 Jolly Road	26065C0170D	26065C0162D
LOMA	12-05-3112A	02/21/2012	LOT 2, THE PONDEROSA NO. 2 -- 1115 BONANZA DRIVE	26065C0170D	26065C0170D
LOMA	12-05-3055A	03/08/2012	THE PONDEROSA NO. 2, LOT 47 -- 1091 BONANZA DRIVE	26065C0170D	26065C0170D
LOMR-F W	12-05-2668A	04/12/2012	2360 JOLLY ROAD	26065C0162D 26065C0170D	26065C0170D
LOMA	12-05-7825A	08/02/2012	LOT 57, THE PONDEROSA NO. 2 -- 1155 BONANZA DRIVE	26065C0170D	26065C0170D
LOMA	13-05-5379A	05/21/2013	LOT 2, WOOD RIDGE -- 5597 CREEKWOOD LANE	26065C0157D	26065C0157D

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	13-05-6181A	07/11/2013	LOT 6, OAK GROVE HEIGHTS – 5993 GREENMAN STREET	26065C0043D	26065C0043D
LOMA	13-05-8156A	09/10/2013	5218 MADISON AVENUE	26065C0156D 26065C0157D	26065C0157D
LOMA	14-05-3647A	02/24/2014	6107 - 6121 Lenore Lane (Odds Only)	26065C0043D	26065C0043D
LOMA	14-05-3862A	02/25/2014	6091 - 6105 Lenore Lane (Odds Only)	26065C0043D	26065C0043D
LOMA	15-05-1876A	01/08/2015	LOT 16, PONDEROSA SUBDIVISION – 3590 PONDEROSA DRIVE	26065C0170D	26065C0170D
LOMA	15-05-7357A	10/06/2015	OAK GROVE HEIGHTS, LOT 4 – 5985 GREENMAN STREET	26065C0043D	26065C0043D
LOMR-F W	16-05-5992A	08/23/2016	SECTION 23, T4N, R1W – 4977 CORNELL ROAD	26065C0157D	26065C0157D
LOMA	17-05-2447A	03/10/2017	SECTION 13, T4N, R1W – 5250 VAN ATTA ROAD	26065C0157D	26065C0157D
LOMA	18-05-4311A	06/11/2018	832 Haslett Road	26065C0157D	26065C0157D
LOMA	19-05-0559A	12/12/2018	THE PONDEROSA NO. 2, LOT 50 – 1109 BONANZA DRIVE	26065C0170D	26065C0170D
LOMA	19-05-4445A	08/01/2019	Lot 13, Lake O' The Hills Subdivision - 5875 Bois Ile Drive	26065C0043D	26065C0043D
LOMA	19-05-4556A	08/07/2019	THE PONDEROSA NO. 3 SUBDIVISION, LOT 59 – 1094 TRAILS END	26065C0170D	26065C0170D
LOMA	19-05-4511A	08/12/2019	3595, 3625, 3633, 3637, 3643, 3647, 3649, 3659 Jolly Oak Road	26065C0162D 26065C0170D	26065C0162D
LOMR-F W	19-05-5120A	11/26/2019	SECTION 13, T4N, R1W – 5349 MERIDIAN ROAD	26065C0176D	26065C0176D
LOMR-F W	20-05-2756A	05/20/2020	GEORGETOWN NO. 4, LOT 155 - 5133 CHAGGAL LANE	26065C0157D	26065C0157D
LOMA	20-05-4531A	09/11/2020	3569 Jolly Oak Road	26065C0162D	26065C0162D
LOMR-F W	20-05-4537A	10/06/2020	GEORGETOWN NO. 4, LOT 156 – 5139 CHAGGAL LANE	26065C0157D	26065C0157D
LOMA	21-05-3110A	05/21/2021	Lot 83, Wood Valley No. 2 Subdivision - 5700 Wood Valley Drive	26065C0075D	26065C0075D

PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
LOMA	22-05-2855A	08/03/2022	Lot 108, Wood Valley No. 2 Subdivision - 831 Spring Mill Drive	26065C0157D	26065C0157D
LOMA	23-05-2633A	08/09/2023	Lot 49, Wood Valley Subdivision - 5550 Wood Valley Drive	26065C0157D	26065C0157D

3. LOMCs Superseded

The modifications effected by the LOMCs listed below have not been reflected on the Preliminary copies of the revised FIRM panels because they are being superseded by new or revised flood hazard information or the information available was not sufficient to make a determination. The reason each is being superseded is noted below. These LOMCs will no longer be in effect when the revised FIRM becomes effective.

LOMC	Case No.	Date Issued	Project Identifier	Reason Determination Will be Superseded
LOMA	12-05-1212A	11/21/2011	Lot 85, Riverwood Park No. 4 Subdivision - 4221 Sandridge Drive	6
LOMA	12-05-2988A	03/15/2012	RIVERWOOD PARK, LOT 14 -- 4267 SUGAR MAPLE LANE	6
LOMR	12-05-0834P	10/22/2012	DELTA DENTAL	1
LOMA	13-05-1211A	12/21/2012	5211 MARSH ROAD	6
LOMA	18-05-3711A	04/25/2018	2080 Grand River Avenue	6

1. Insufficient information available to make a determination.
2. Lowest Adjacent Grade and Lowest Finished Floor are below the proposed Base Flood Elevation.
3. Lowest Ground Elevation is below the proposed Base Flood Elevation.
4. Revised hydrologic and hydraulic analyses.
5. Revised topographic information.
6. Superseded by another LOMC.

4. LOMCs To Be Redetermined

The LOMCs in Category 2 above will be revalidated through a single revalidation letter that reaffirms the validity of the determination in the previously issued LOMC. For LOMCs issued for multiple lots or structures where the determination for one or more of the lots or structures is no longer valid, the LOMC cannot be revalidated through this administrative process. Therefore, we will review the data previously submitted for the LOMC requests listed below and issue a new determination for the affected properties after the effective date of the revised FIRM.

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
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PRELIMINARY SUMMARY OF MAP ACTIONS

Community: MERIDIAN, CHARTER TOWNSHIP OF

Community No: 260093

LOMC	Case No.	Date Issued	Project Identifier	Original Panel	Current Panel
			NO CASES RECORDED		

NOTICE OF DAY OF REVIEW OF APPORTIONMENTS

DATE: August 19, 2025

TIME: 9:00 a.m. – 5:00 p.m.

LOCATION: Ingham County Drain Commissioner’s Office
707 Buhl Avenue
Mason, MI 48854

QUESTIONS: (517) 676-8395
drainoffice@ingham.org

The Day of Review is an opportunity to review the apportionment of benefits for the Drains listed below. Maps of the Drainage District boundaries may be found on the Ingham County Drain Commissioner’s website at: drain.ingham.org.

Drain ID#	Drain Name	Municipalities
A03-00	ALAIEDON NO. 3 DRAIN	ALAIEDON TOWNSHIP
A08-00	ANDREWS DRAIN	MERIDIAN CHARTER TOWNSHIP WILLIAMSTOWN TOWNSHIP
A14-00	AURELIUS CENTER DRAIN	AURELIUS TOWNSHIP
A15-13	AURELIUS AND DELHI CONSOLIDATED DRAIN	AURELIUS TOWNSHIP DELHI CHARTER TOWNSHIP
A18-00	ALTON DRAIN	DELHI CHARTER TOWNSHIP CITY OF LANSING
B02-00	BARNES AND CARPENTER DRAIN	ONONDAGA TOWNSHIP
B04-00	BATEMAN DRAIN	AURELIUS TOWNSHIP
B05-00	BATES DRAIN	ALAIEDON TOWNSHIP INGHAM TOWNSHIP VEVAY TOWNSHIP WHEATFIELD TOWNSHIP
B35-01	BARNES, WAVERLY COMMERCE PARK BRANCH DRAIN	DELHI CHARTER TOWNSHIP
B67-00	BRACKEN WOODS DRAIN	MERIDIAN CHARTER TOWNSHIP
B69-00	BOBOLINK DRAIN	VEVAY TOWNSHIP
C02-00	CANAAN DRAIN	ALAIEDON TOWNSHIP
C10-00	CHIPPEWA HILLS DRAIN	MERIDIAN CHARTER TOWNSHIP
C60-00	COUNTRY PLACE DRAIN	MERIDIAN CHARTER TOWNSHIP
D06-00	DEER CREEK DRAIN	ALAIEDON TOWNSHIP VILLAGE OF DANVILLE INGHAM TOWNSHIP VEVAY TOWNSHIP WHEATFIELD TOWNSHIP CITY OF WILLIAMSTON WILLIAMSTOWN TOWNSHIP
E02-00	EAST ONONDAGA DRAIN	LESLIE TOWNSHIP ONONDAGA TOWNSHIP
F06-00	FOREST HILLS DRAIN	MERIDIAN CHARTER TOWNSHIP
F07-06	HEIRLOOM VIEW DRAIN BRANCH OF FOSTER COUNTY DRAIN	MERIDIAN CHARTER TOWNSHIP
F07-11	FOSTER, GEORGETOWN BRANCH DRAIN	MERIDIAN CHARTER TOWNSHIP
G03-05	GILBERT WILLOUGHBY WOODS BRANCH DRAIN	DELHI CHARTER TOWNSHIP

G03-06	GILBERT, GROVENBURG WOODS BRANCH DRAIN	DELHI CHARTER TOWNSHIP
G07-00	GOODNOE DRAIN	ONONDAGA TOWNSHIP
H04-04	HARMONY ACRES BRANCH OF THE HANCOCK DRAIN	DELHI CHARTER TOWNSHIP
H18-00	HAZELTON DRAIN	LESLIE TOWNSHIP VEVAY TOWNSHIP
L20-00	LOUNSBURY DRAIN	ALAIEDON TOWNSHIP
M14-00	MERIDIAN HILLS DRAIN	MERIDIAN CHARTER TOWNSHIP
N13-00	NORTHWIND DRAIN	MERIDIAN CHARTER TOWNSHIP
O02-00	OKEMOS PRESERVE DRAIN	CITY OF LANSING MERIDIAN CHARTER TOWNSHIP
P24-02	OAK GROVE DRAIN	MERIDIAN CHARTER TOWNSHIP
P24-07	PINE LAKE OUTLET, BAYONNE BRANCH DRAIN	MERIDIAN CHARTER TOWNSHIP
R18-00	ROSSITTER DRAIN	ALAIEDON TOWNSHIP
S02-00	SANCTUARY DRAIN	CITY OF LANSING MERIDIAN CHARTER TOWNSHIP
T01-00	TALMADGE DRAIN	LESLIE TOWNSHIP CITY OF MASON VEVAY TOWNSHIP

The Drain Commissioner, engineers, and/or other staff members will be available to assist individuals throughout the day and make revisions where necessary. There is no need to schedule an appointment for a specific time on the Day of Review. Written statements may be mailed or emailed to the Drain Commissioner at the postal or email address listed above. Comments submitted in advance must be received by the Drain Commissioner before the date of the meeting to ensure consideration.

The computation of costs for the Drains and the tentative apportionments against the parcels and municipalities within the Drainage Districts will be available at the Day of Review. Drain assessments are collected in the same manner as property taxes and will appear on your winter tax bill. If drain assessments are being collected for more than one (1) year, you may pay the assessment in full with any interest to date at any time and avoid further interest charges. Comments on the apportionment of benefits may be submitted in writing before the date of the meeting to review the apportionment or may be submitted in writing or orally at the review.

Persons with disabilities needing accommodations for effective participation in the Day of Review should contact the Ingham County Drain Commissioner's Office at the phone number listed above (voice) or through the Michigan Relay Center at 7-1-1 (TTY) at least 24 hours in advance of the Day of Review to request mobility, visual, hearing, or other assistance.

You may appeal the Drain Commissioner's determination of apportionments to the Ingham County Probate Court within ten (10) days after the Day of Review.

July 28, 2025

Patrick Lindemann
Ingham County Drain Commissioner

NOTICE OF DAY OF REVIEW OF APPORTIONMENTS

DATE: August 21, 2025

TIME: 9:00 a.m. – 5:00 p.m.

LOCATION: Ingham County Drain Commissioner’s Office
707 Buhl Avenue
Mason, MI 48854

QUESTIONS: (517) 676-8395
drainoffice@ingham.org

The Day of Review is an opportunity to review the apportionment of benefits for the Drains listed below. Maps of the Drainage District boundaries may be found on the Ingham County Drain Commissioner’s website at: drain.ingham.org.

Drain ID#	Drain Name	Municipalities
A10-00	ASSELTINE AND BRAVENDER DRAIN	INGHAM TOWNSHIP
A11-00	ASQUITH DRAIN	STOCKBRIDGE TOWNSHIP
A12-00	ATZINGER DRAIN	WHEATFIELD TOWNSHIP CITY OF WILLIAMSTON WILLIAMSTOWN TOWNSHIP
B03-00	BATDORFF DRAIN	BUNKER HILL TOWNSHIP
B17-00	BRAY DRAIN	INGHAM TOWNSHIP WHEATFIELD TOWNSHIP
B20-00	BROWNELL DRAIN	STOCKBRIDGE TOWNSHIP VILLAGE OF STOCKBRIDGE
B28-00	BUTTON DRAIN	ALAIEDON TOWNSHIP MERIDIAN CHARTER TOWNSHIP
B62-00	BASHFORD DRAIN	INGHAM TOWNSHIP
C16-00	CLINTON DRAIN	BUNKER HILL TOWNSHIP
C28-00	COSGRAY DRAIN	STOCKBRIDGE TOWNSHIP VILLAGE OF STOCKBRIDGE
C66-01	COON CREEK, WILLIAMSTOWN ESTATES BRANCH DRAIN	WILLIAMSTOWN TOWNSHIP
D38-00	DEXTER PONDS DRAIN	INGHAM TOWNSHIP
E03-00	EBERLY DRAIN	MERIDIAN CHARTER TOWNSHIP
G22-00	GRANDY DRAIN	STOCKBRIDGE TOWNSHIP
J03-00	JEFFRIES DRAIN	MERIDIAN CHARTER TOWNSHIP WILLIAMSTOWN TOWNSHIP
L16-00	LOWE LAKE DRAIN	STOCKBRIDGE TOWNSHIP VILLAGE OF STOCKBRIDGE WHITE OAK TOWNSHIP
L17-00	LYON DRAIN	LOCKE TOWNSHIP
L42-00	LOCKE DITCH NUMBER TWO DRAIN	LOCKE TOWNSHIP
L44-00	LOCKE TOWNSHIP DRAIN NO. 6	LOCKE TOWNSHIP
M05-00	MARSHALL AND WILCOX DRAIN	INGHAM TOWNSHIP LEROY TOWNSHIP WHITE OAK TOWNSHIP
M20-00	MUTUAL DRAIN	ALAIEDON TOWNSHIP MERIDIAN CHARTER TOWNSHIP WHEATFIELD TOWNSHIP
M39-00	MILLIS DRAIN	LEROY TOWNSHIP

M54-00	MCCLUSKEY NO. 2 DRAIN	BUNKER HILL TOWNSHIP
N04-00	NEU DRAIN	BUNKER HILL TOWNSHIP
O01-00	OAKLEY DRAIN	STOCKBRIDGE TOWNSHIP WHITE OAK TOWNSHIP
R06-00	REINHART DRAIN	INGHAM TOWNSHIP WHITE OAK TOWNSHIP
R17-00	M. M. ROSE DRAIN	STOCKBRIDGE TOWNSHIP
S31-00	SULLIVAN CREEK DRAIN	LEROY TOWNSHIP LOCKE TOWNSHIP
S33-00	SUTTELL DRAIN	CITY OF WILLIAMSTON WILLIAMSTOWN TOWNSHIP
W34-00	WILLIAMSTON, LOCKE AND PERRY INTERCOUNTY DRAIN	LOCKE TOWNSHIP WILLIAMSTOWN TOWNSHIP

The Drain Commissioner, engineers, and/or other staff members will be available to assist individuals throughout the day and make revisions where necessary. There is no need to schedule an appointment for a specific time on the Day of Review. Written statements may be mailed or emailed to the Drain Commissioner at the postal or email address listed above. Comments submitted in advance must be received by the Drain Commissioner before the date of the meeting to ensure consideration.

The computation of costs for the Drains and the tentative apportionments against the parcels and municipalities within the Drainage Districts will be available at the Day of Review. Drain assessments are collected in the same manner as property taxes and will appear on your winter tax bill. If drain assessments are being collected for more than one (1) year, you may pay the assessment in full with any interest to date at any time and avoid further interest charges. Comments on the apportionment of benefits may be submitted in writing before the date of the meeting to review the apportionment or may be submitted in writing or orally at the review.

Persons with disabilities needing accommodations for effective participation in the Day of Review should contact the Ingham County Drain Commissioner's Office at the phone number listed above (voice) or through the Michigan Relay Center at 7-1-1 (TTY) at least 24 hours in advance of the Day of Review to request mobility, visual, hearing, or other assistance.

You may appeal the Drain Commissioner's determination of apportionments to the Ingham County Probate Court within ten (10) days after the Day of Review.

July 28, 2025

Patrick Lindemann
Ingham County Drain Commissioner

From: [Dan Opsommer](#)
To: [Board](#)
Cc: [Tim Dempsey](#)
Subject: RE: Transportation Reauthorization Group Letter
Date: Monday, August 18, 2025 3:24:31 PM
Attachments: [RE Transportation Reauthorization Group Letter.msg](#)
[MSU to Lake Lansing Trail Construction Schedule.pdf](#)

Hi Trustee Lentz and Board Members,

Back in June of this year, Manager Dempsey and I did meet with Emily from GoRail to discuss this request.

As a reminder, we responded to GoRail and stated that before the Board takes this action, they would like CN to meet with Township staff again to discuss the Township's Phase III of the MSU to Lake Lansing Trail project with an open mind as they had declined to meet with us a second time. As you will recall, we would like to secure an easement or lease agreement to construct a portion of this trail (the purple portion of the trail in the attached map) in the CN right-of-way.

GoRail never formally responded to this request from the Township. The full email chain with Emily at GoRail is attached for your review. Our request was very reasonable as we were only requesting a meeting.

I just wanted to provide you with this context. You're certainly free to add your name to the Transportation Reauthorization Group Letter if you wish to do so.

Please let us know if you have any questions.

Thanks,

Dan Opsommer

Deputy Township Manager
Director of Public Works & Engineering
opsommer@meridian.mi.us
Work: 517.853.4440 | Fax: 517.853.4099
5151 Marsh Road | Okemos, MI 48864

From: Emily Traiforos <etraiforos@gorail.quorumoutbox.com>
Sent: Monday, August 18, 2025 2:52 PM
To: Board <Board@meridian.mi.us>
Subject: Transportation Reauthorization Group Letter

Some people who received this message don't often get email from etraiforos@gorail.quorumoutbox.com. [Learn why this is important](#)
Trustee Lentz,

I am the Michigan State Director for GoRail, a non-profit, grassroots organization. We

promote the public benefits of freight rail and advocate on infrastructure issues and policy. Rail is a critical sector of the economy.

In advance of the next Congressional Transportation Reauthorization bill, GoRail is collecting signatures on a group letter (see attached). With freight demand expected to rise **50% by 2050**, now is the time to advocate for policies that support a multimodal approach to transportation, improve safety, and promote responsible infrastructure funding. The attached letter outlines key priorities that Congress should consider, including:

Prioritizing Safety & Innovation – Advancing performance-based, data-driven regulations and not overly prescriptive operational mandates.

Improving Safety Partnerships – Increasing funding for at-grade crossing projects and public infrastructure programs.

Restoring the Highway Trust Fund – Ensuring all transportation modes pay their fair share and take vehicle weights into consideration.

Rejecting Economic Re-Regulation – Protecting long-standing policies that promote private-sector investment in rail.

Supporting Competitive Grant Programs – Expanding opportunities for state and local governments to partner with freight and passenger rail.

If you'd like to add your name you can reply to this email or sign and scan me a copy. When it's completed, we will send a copy to House Transportation and Senate Commerce members. I will send you a copy of the final for your files.

I am happy to chat further or answer any questions you may have. Rail is a critical sector of the economy and the most fuel-efficient way to move freight over land.

Thank you in advance,
Emily

Emily Traiforos
GORAIL
State Director
cell: 602-330-6460
www.gorail.org

From: [Dan Opsommer](#)
To: [Emily Traiforos](#)
Subject: RE: Transportation Reauthorization Group Letter
Date: Monday, July 7, 2025 5:01:00 PM
Attachments: [image005.png](#)
[image006.png](#)

Thank you, Emily. Tom Brasseur (Thomas.Brasseur@cn.ca) is who we met with from CN late last year. In his most recent communication, Tom cc'd Jeffrey Price (Jeffrey.Price@cn.ca). However, we have not met with Jeffrey re: this project.

Please let us know if you have any additional questions and we appreciate your time.

Sincerely,

Dan Opsommer

Deputy Township Manager
Director of Public Works & Engineering
opsommer@meridian.mi.us
Work: 517.853.4440 | Fax: 517.853.4099
5151 Marsh Road | Okemos, MI 48864

From: Emily Traiforos <etraiforos@gorail.org>
Sent: Monday, July 7, 2025 4:51 PM
To: Dan Opsommer <opsommer@meridian.mi.us>
Subject: Re: Transportation Reauthorization Group Letter

Hi Dan,

Do you have the name of CN person you were working with? I can't find my notes at the moment.

-Emily

From: Dan Opsommer <opsommer@meridian.mi.us>
Date: Wednesday, July 2, 2025 at 9:14 AM
To: Emily Traiforos <etraiforos@gorail.org>
Cc: Tim Dempsey <dempsey@meridian.mi.us>, Younes Ishraidi <ishraidi@meridian.mi.us>, Caycee Hart <hart@meridian.mi.us>
Subject: RE: Transportation Reauthorization Group Letter

You don't often get email from opsommer@meridian.mi.us. [Learn why this is important](#)

Hi Emily,

The Township Board would be willing to consider supporting this effort with a letter to the U.S. Senate and House leadership offices.

However, before Board takes this action, they would like CN to meet with Township staff again to discuss the Township’s regional trail project with an open mind. This trail is known as Phase III of the MSU to Lake Lansing Trail.

We would be happy to discuss this in greater depth with you over the phone or via a meeting if you would like before you speak to CN re: this matter. Below is a summary to give you the background information re: this trail and our discussions with CN to date.

This new off-road trail is strongly supported by a diverse coalition of regional stakeholders, including Michigan State University, Ingham County, the cities of East Lansing and Lansing, state and federal lawmakers, and members of the bicycle advocacy community. This support stems from the fact that this trail is designed to connect major regional assets, such as the Lansing River Trail, MSU Campus, Lake Lansing Park North, etc. via an off-road trail.

For background, CN is currently declining to meet with the Township staff a second time to discuss a significant redesign of this regional trail based on comments received from CN.

CN met with Township staff once in late 2024 to discuss the initial design. CN’s comments throughout this meeting gave the Township the impression that CN was willing to work with the Township and find a way to build the trail and enhance safety for CN’s ROW at the expense of the Township.

The Township is willing to construct, and maintain in perpetuity, a fence along the CN RR ROW in the trail project limits. This fence would be a significant improvement as there is very little to prevent people from entering CN’s ROW today. Additionally, the parking lot located at 1529 Haslett Rd has encroached into CN’s ROW significantly with very little slope/elevation changes between the railroad tracks and this barber shops customer and staff parking lot. The Township could significantly improve safety for all involved here by eliminating this encroachment and constructing a fence through the trail project with CN’s participation. Please see the attached image of the parking lot in question.

As a follow-up to this initial meeting, CN came back with comments re: the horizontal separation between the RR tracks and the trail, and the amount of linear trail that would be constructed in the CN ROW.

To address these concerns, the Township redesigned the trail to increase the minimum horizontal separation by 54% and reduced the linear feet of trail in the CN ROW by 73%:

	Previous Plan	Current Plan
Linear feet of centerline in CN ROW	2.5 miles	0.68 miles
Minimum horizontal setback from tracks	21.7’	33.4’

Do you think you could have a conversation with CN to see if they would be willing to meet with

Township staff to discuss the redesign of the trail and maintain an open mind in terms of find a path forward that allows for the trail to be constructed as conceptually redesigned while enhancing safety for CN's ROW through the construction of a fence throughout the project limits in CN's ROW?

Please let us know if you have any questions and we appreciate your time and consideration.

Sincerely,

Dan Opsommer

Deputy Township Manager

Director of Public Works & Engineering

opsommer@meridian.mi.us

Work: 517.853.4440 | Fax: 517.853.4099

5151 Marsh Road | Okemos, MI 48864

From: Emily Traiforos <etraiforos@gorail.org>

Sent: Monday, June 30, 2025 1:29 PM

To: Emily Traiforos <etraiforos@gorail.org>

Subject: Transportation Reauthorization Group Letter

Thank you for meeting last week.

Here is the electronic version of the GoRail group letter regarding the next Congressional Transportation Reauthorization (see attached).

With freight demand expected to rise 50% by 2050, now is the time to advocate for policies that support a multimodal approach to transportation, improve safety, and promote responsible infrastructure funding. The attached letter outlines key priorities that Congress should consider, including:

Prioritizing Safety & Innovation – Advancing performance-based, data-driven regulations and not overly prescriptive operational mandates.

Improving Safety Partnerships – Increasing funding for at-grade crossing projects and public infrastructure programs.

Restoring the Highway Trust Fund – Ensuring all transportation modes pay their fair share and take vehicle weights into consideration.

Rejecting Economic Re-Regulation – Protecting long-standing policies that promote private-sector investment in rail.

Supporting Competitive Grant Programs – Expanding opportunities for state and local governments to partner with freight and passenger rail.

If you'd like to add your name you can reply to this email or sign and scan me a copy. When it's completed, we will send a copy to House Transportation and Senate Commerce members. I will send you a copy of the final for your files.

I am happy to chat further or answer any questions you may have. Rail is a critical sector of the economy and the most fuel-efficient way to move freight over land.

Thank you in advance,
Emily

Emily Traiforos

GORAIL

State Director

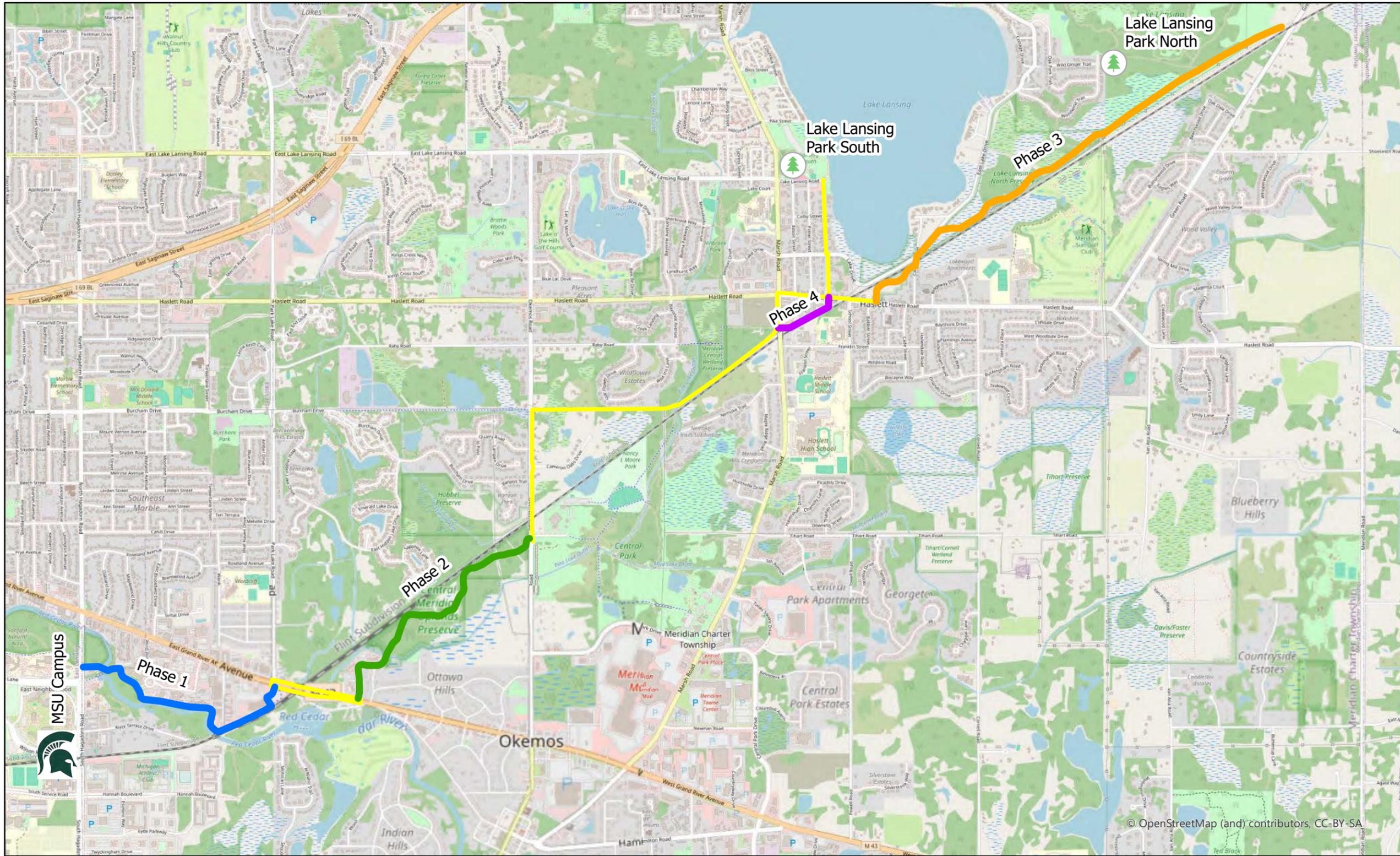
cell: 602-330-6460

www.gorail.org



MSU to Lake Lansing Trail Construction Schedule

G:\Engineering & Public Works\Pathways & Sidewalks



Phase I: Opened to the public on December 8, 2023. 1 mile: Begins on the north side of the Hagadorn Rd/Shaw Ln intersection. Concludes at the Grand River Ave/Park Lake Rd intersection.

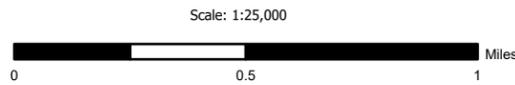
Phase II: Opened to the public on September 14, 2024. 1.2 miles: Begins at the northeast corner of the Grand River Ave/Campus Hill Dr intersection. Concludes on the south side of the Okemos Rd/Gaylord C Smith Ct intersection.

Phase III: Land acquisition and design began in 2024. Construction is currently expected to begin in 2026 and be completed in 2027. 1.8 miles: Begins on the north side of Haslett Rd just east of the CN railroad crossing and concludes near Green Rd in the NE corner of the Township.

Phase IV: This future phase, comprising 0.37 miles, will be constructed if land can be acquired. At this time, it does not appear that land can be acquired.

Existing trails and pathways that are a part of the MSU to Lake Lansing Trail

Parks



Questions?
517.853.4440
dpw@meridian.mi.us
Updated: 08/12/25



August 11, 2025

Ms. Angela Demas, Clerk
Meridian Township
5151 Marsh Road
Okemos, MI 48864

Re: Programming Advisory

Dear Ms. Demas:

As part of our ongoing commitment to keep you and our customers informed about changes to Xfinity TV services, we wanted to notify you that four (4) Warner Bros. Discovery-owned channels currently carried on the Xfinity line-up are ceasing operations on August 15, 2025, and will no longer be available to viewers:

- HBO Family
- MovieMax
- OuterMax
- ThrillerMax

As a result, these channels will no longer be available as part of our lineup as of the dates listed above. As a result of this change, we will implement a channel slate (advising of unavailability) on the impacted channels and will include mention of the changes on www.xfinity.com/programmingchanges to help keep our customers informed.

Sincerely,

Ben Miller
Director, External Affairs
Comcast, Heartland Region
1401 E. Miller Rd.
Lansing, MI 48911

NOTICE OF DAY OF REVIEW OF APPORTIONMENTS

DATE: September 4, 2025

TIME: 9:00 a.m. – 5:00 p.m.

LOCATION: Ingham County Drain Commissioner’s Office
707 Buhl Avenue
Mason, MI 48854

QUESTIONS: (517) 676-8395
drainoffice@ingham.org

The Day of Review is an opportunity to review the apportionment of benefits for the Drains listed below. Maps of the Drainage District boundaries may be found on the Ingham County Drain Commissioner’s website at: drain.ingham.org.

Drain ID#	Drain Name	Municipalities
H20-00	HERITAGE HILLS DRAIN	CITY OF EAST LANSING, MERIDIAN CHARTER TOWNSHIP
K05-00	KIERSTEAD DRAIN	CITY OF EAST LANSING, MERIDIAN CHARTER TOWNSHIP
R03-00	RANKEY DRAIN	CITY OF EAST LANSING, CITY OF LANSING
R07-07	BONE DRAIN	CITY OF EAST LANSING, MERIDIAN CHARTER TOWNSHIP
R07-08	CARRIAGE HILLS ESTATES DRAIN	CITY OF EAST LANSING, MERIDIAN CHARTER TOWNSHIP
R29-01	RED CEDAR RIVER INTERCOUNTY DRAIN	LEROY TOWNSHIP, LOCKE TOWNSHIP, STOCKBRIDGE TOWNSHIP, VILLAGE OF WEBBERVILLE, WHITE OAK TOWNSHIP, WILLIAMSTOWN TOWNSHIP
T05-01	TOWAR SNELL DRAIN	CITY OF EAST LANSING, MERIDIAN CHARTER TOWNSHIP
W55-00	WEST CEDAR RIVER INTERCOUNTY DRAIN	LEROY TOWNSHIP, STOCKBRIDGE TOWNSHIP, VILLAGE OF WEBBERVILLE, WHITE OAK TOWNSHIP

The Drain Commissioner, engineers, and/or other staff members will be available to assist individuals throughout the day and make revisions where necessary. There is no need to schedule an appointment for a specific time on the Day of Review. Written statements may be mailed or emailed to the Drain Commissioner at the postal or email address listed above. Comments submitted in advance must be received by the Drain Commissioner before the date of the meeting to ensure consideration.

The computation of costs for the Drains and the tentative apportionments against the parcels and municipalities within the Drainage Districts will be available at the Day of Review. Drain assessments are collected in the same manner as property taxes and will appear on your winter tax bill. If drain assessments are being collected for more than one (1) year, you may pay the assessment in full with any interest to date at any time and avoid further interest charges. Comments on the apportionment of benefits may be submitted in writing before the date of the meeting to review the apportionment or may be submitted in writing or orally at the review.

Persons with disabilities needing accommodations for effective participation in the Day of Review should contact the Ingham County Drain Commissioner’s Office at the phone number listed above (voice) or through the Michigan Relay Center at 7-1-1 (TTY) at least 24 hours in advance of the Day of Review to request mobility, visual, hearing, or other assistance.

You may appeal the Drain Commissioner's determination of apportionments to the Ingham County Probate Court within ten (10) days after the Day of Review.

August 13, 2025

Patrick Lindemann
Ingham County Drain Commissioner



FOR IMMEDIATE RELEASE
August 29, 2025

CONTACT: Samantha Diehl, Communication Manager
517.853.4378 | diehl@meridian.mi.us

Meridian Township Fire Department and Scouts BSA Team Up to Host Pancake Breakfast
Fundraising Event to Support Local Scouts and Muscular Dystrophy Association

Meridian Township, MI – On Saturday, September 6, the Meridian Township Fire Department and local Scouts BSA troops will host their 8th Annual Pancake Breakfast Fundraiser from 8:00 am to 11:00 am at 242 Community Church (2600 Bennett Road, Okemos).

For a \$7 donation, participants can enjoy all-you-can-eat pancakes, sausage, juice, and/or coffee. **Only cash or check will be accepted.**

Proceeds raised from the event will be donated to the Local Scout Units' Campership/Scholarship Fund, as well as the Muscular Dystrophy Association (MDA).

For questions, please contact Communications Manager Samantha Diehl at 517.853.4378.

Sponsors include Willingham & Cote PC, Commercial Bank, Eby Dental Care, Michigan Pork Producers Association, United Dairy Industry of Michigan, Tom's Food Center, and Gordon Food Service.

###



9.B

**CONSENT AGENDA
PROPOSED BOARD MINUTES**

PROPOSED MOTION:

- (1) Move to approve and ratify the minutes of the Regular Meeting of August 19, 2025 as submitted. (1)**

ALTERNATE MOTION:

- (1) Move to approve and ratify the minutes of the Regular Meeting of August 19, 2025 with the following amendment(s):[insert amendments]**

CHARTER TOWNSHIP OF MERIDIAN
REGULAR MEETING TOWNSHIP BOARD **-DRAFT-**
5151 Marsh Road, Okemos MI 48864-1198
517.853.4000, Township Hall Room
TUESDAY, August 19, 2025, 6:00PM

PRESENT: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson

ABSENT: None

STAFF: Township Manager Dempsey, Township Deputy Manager Opsommer, Fire Chief Hamel, Finance Director Blonde, IT Director Gebes, Community Development and Planning Director Schmitt, Parks and Recreation Director Wisinski, Communications Manager Diehl

1. CALL MEETING TO ORDER

Supervisor Hendrickson called the August 19, 2025, Regular Township Board meeting to order at 6:00 pm.

2. PLEDGE OF ALLEGIANCE/INTRODUCTIONS

Supervisor Hendrickson led the Pledge of Allegiance.

3. ROLL CALL

Clerk Demas called the roll of the Board. All board members present at 6:01 pm.

4. PRESENTATION

A. Val Lafferty, Food Rescue US – Lansing Communities

Val Lafferty gave a presentation about Food Rescue US.

5. CITIZENS ADDRESS AGENDA ITEMS AND NON-AGENDA ITEMS

Supervisor Hendrickson opened public comment at 6:15 pm.

Beth Bechtel spoke about land preservation.

Supervisor Hendrickson closed public comment at 6:17 pm.

6. TOWNSHIP MANAGER REPORT

Manager Dempsey gave updates on:

- Budget preparations are in progress.
- Police awards ceremony and promotions
- National Night Out.
- Congratulations on police promotions and retirements

7. BOARD MEMBER REPORTS OF ACTIVITIES AND ANNOUNCEMENTS

Treasurer Deschaine announced his resignation effective September 16.

Trustee Trezise spoke about Meridian Township Police and Fire training provided to Okemos Schools.

Trustee Wilson noted that schools start Wednesday, August 20th and to drive safely.

Clerk Demas announced that the August 2025 election has been canvassed. She attended the police awards ceremony and the Lake Lansing Property Owners Association (LLPOA) meeting. A Democracy Class will be held on August 21st.

8. APPROVAL OF AGENDA

Treasurer Deschaine moved to approve the Agenda. Supported by Trustee Lentz.

VOICE VOTE: YEAS: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson

NAYS: NONE

Motion carried: 7-0

9. CONSENT AGENDA

Trustee Wilson moved to approve the Consent Agenda with a friendly amendment to address a minor spelling error to item 9.F. Supported by Trustee Trezise.

ROLL CALL VOTE: YEAS: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson

NAYS: NONE

Motion carried: 7-0

10. ACTION ITEMS

A. Ordinance 2025-06 Rooser Regulation Introduction

Director Schmitt gave an overview of the discussion that has occurred to date.

Trustee Wilson moved to adopt the resolution approving for introduction Text Amendment #2025-06 to amend the Code of Ordinances of the Charter Township of Meridian at Section 86-368 to update the standards for the keeping of roosters in the Township. Supported by Trustee Trezise.

ROLL CALL VOTE: YEAS: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson

NAYS: NONE

Motion carried: 7-0

11. BOARD DISCUSSION ITEMS

A. Parking Lot Landscaping Ordinance

Director Schmitt outlined the proposed ordinance update.

Board members asked about feedback from developers, for clarity regarding language, and that this item be presented for action at the next meeting.

12. COMMENTS FROM THE PUBLIC

Supervisor Hendrickson opened public comments at 6:38 pm.

Supervisor Hendrickson closed public comments at 6:38 pm.

13. OTHER MATTERS AND BOARD MEMBER COMMENTS

None

14. CLOSED SESSION

Trustee Wilson moved to enter closed session under MCL 15.268(1)(h) to consult with the Township attorney regarding a confidential written legal opinion. Supported by Trustee Trezise.

ROLL CALL VOTE: YEAS: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson

NAYS: NONE

Motion carried: 7-0

At 7:37, the Board returned to Open Session.

Trustee Trezise moved to accept the attorney's recommendation and proceed as recommended. Supported by Trustee Wilson.

VOTE: YEAS: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson

NAYS: NONE

Motion carried: 7-0

15. ADJOURNMENT

Treasurer Deschaine moved to adjourn. Seconded by Trustee Lentz.

VOICE VOTE **YEAS: Supervisor Hendrickson, Clerk Demas, Treasurer Deschaine, Trustee Lentz, Trustee Sundland, Trustee Trezise, and Trustee Wilson**

NAYS: NONE

Motion carried: 7-0

The meeting adjourned at 7:37 pm

Scott Hendrickson
Township Supervisor

Angela Demas
Township Clerk



To: Board Members
From: Bernadette Blonde, Finance Director
Date: September 2, 2025

**Charter Township of Meridian
Board Meeting
9/2/2025**

**MOVED THAT THE TOWNSHIP BOARD APPROVE THE TOWNSHIP
INVOICES/EXPENSES AS FOLLOWS:**

COMMON CASH	\$	504,756.90
PUBLIC WORKS	\$	2,373,313.99
TRUST & AGENCY	\$	-
TOTAL CHECKS:	\$	2,878,070.89
CREDIT CARD TRANSACTIONS 08/12/2025 to 08/20/2025	\$	6,418.99
TOTAL PURCHASES:	\$	<u>2,884,489.88</u>
ACH PAYMENTS	\$	<u>591,619.51</u>

08/28/2025 01:30 PM
User: BLONDE
DB: Meridian

INVOICE APPROVAL BY INVOICE REPORT FOR CHARTER TOWNSHIP OF MERIDIAN
EXP CHECK RUN DATES 09/02/2025 - 09/02/2025
BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID
BANK CODE: GF53

Vendor Code	Vendor Name	Description	Amount
AT&T5014	A T & T		
	321840834	JUL 28 - AUG 27 2025 - INTERNET M1	195.25
	327704413	AUG 5 - SEP 4 2025 - INTERNET F3	149.00
	327774829	AUG 7 - SEP 6 2025 - INTERNET F2	149.00
	327774999	AUG 7 - SEP 6 2025 - INTERNET P1	195.25
	327775054	AUG 9 - SEP 8 2025 - INTERNET F1	195.25
TOTAL FOR: A T & T			883.75
ABONMARCHE	ABONMARCHE CONSULTANTS INC		
	159793	PROF SERV THRU 7/31/2025 - 2025 LOCAL ROAD PROG EN	34,683.04
TOTAL FOR: ABONMARCHE CONSULTANTS INC			34,683.04
BLUECARD	ACROSS THE STREET PRODUCTIONS		
	28399	ANNUAL RENEWAL FOR BLUE CARD TRAINING PROGRAM	2,770.55
TOTAL FOR: ACROSS THE STREET PRODUCTIONS			2,770.55
ALLGRAPHIC	ALLGRAPHICS CORP		
	4574	PARKS & RECREATION STAFF LOGO WEAR	362.00
	4585	LOGO WEAR FOR PARKS & RECREATION DEPARTMENT	70.00
TOTAL FOR: ALLGRAPHICS CORP			432.00
AT& T	AT & T		
	7671504015	AUG 7 - SEP 6 2025 - TELEPHONE + INTERNET M1 83100	1,257.72
	9192964017	JUL 11 - AUG 10 2025 - INTERNET ASE 8310008214218	3,763.02
TOTAL FOR: AT & T			5,020.74
AT&T	AT & T		
	517347428508	JUL 2 - AUG 1 2025 - TELEPHONE P1 51734742859240	148.12
	517347602108	JUL 2 - AUG 1 2025 - TELEPHONE F1-3 51734760215648	419.16
	517347682608	JUL 2 - AUG 1 2025 - TELEPHONE P1 51734768261735	56.74
	517347970508	JUL 2 - AUG 1 2025 - TELEPHONE S1 51734797052196	57.71
TOTAL FOR: AT & T			681.73
AT&TMOBIL	AT & T MOBILITY		
	287252740666X0812	JULY 5 - AUG 4 2025 - WIRELESS 287252740666 517.33	76.48
	287312082574X0814	JUL 7 - AUG 6 2025 - 287312082574 517.331.8841	124.27
TOTAL FOR: AT & T MOBILITY			200.75
BOBCAT	BOBCAT OF LANSING		
	E08049	MOTOR POOL - PATHWAYS - 2022 BOBCAT TOOL CAT	6,509.13
	P76498	MP - PARKS 699	89.43
TOTAL FOR: BOBCAT OF LANSING			6,598.56
BOTACH	BOTACH		
	INV836905	2025 DEER CULL EQUIPMENT	631.81
TOTAL FOR: BOTACH			631.81
BOUNDTREE	BOUNDTREE MEDICAL		
	85869147	ORDER 106368838 - AMBULANCE SUPPLIES	4,884.62
	85871138	ORDER 106373396 - MEDICAL SUPPLIES/AMBULANCE SUPPL	546.86
	85875773	AMBULANCE SUPPLIES - CYNCH-LOK	49.58
	85884870	STANDING PO FOR MEDICAL SUPPLIES/AMBULANCE SUPPLIE	45.80
TOTAL FOR: BOUNDTREE MEDICAL			5,526.86

08/28/2025 01:30 PM
User: BLONDE
DB: Meridian

INVOICE APPROVAL BY INVOICE REPORT FOR CHARTER TOWNSHIP OF MERIDIAN
EXP CHECK RUN DATES 09/02/2025 - 09/02/2025
BOTH JOURNALIZED AND UNJOURNALIZED OPEN AND PAID
BANK CODE: GF53

Vendor Code	Vendor Name	Description	Amount
BOYNTON	BOYNTON FIRE SAFETY SERVICE		
	10003707	7/9/2025 SERVICE CALL - FIRE EXTINGUISHERS	1,165.00
	10004030	7/28/2025 - S FIRE - FIRE EXTINGUISHER MAINTENANCE	85.00
	10004031	7/28/2025 - C FIRE - FIRE EXTINGUISHER MAINT	490.00
	10004113	7/30/2025 ANNUAL BACKFLOW INSPECTION - HARTRICK PA	90.00
	10004114	07/30/2025 - MUNI - BACKFLOW INSPECTION	90.00
TOTAL FOR: BOYNTON FIRE SAFETY SERVICE			1,920.00
CINTAS	CINTAS CORPORATION #725		
	4239975743	08/13/2025 - MECHANICS UNIFORMS	50.78
	4240759256	MOTOR POOL - MECHANICS UNIFORMS 2025	50.78
	4241507085	MOTOR POOL - MECHANICS UNIFORMS 2025	50.78
TOTAL FOR: CINTAS CORPORATION #725			152.34
CITYPULSE	CITY PULSE		
	36478	4/16/2025 - TWP NOTICES	37.00
	36889	7/30/2025 - TWP NOTICES	555.00
	36923	08.13.2025 NOTICES	281.57
TOTAL FOR: CITY PULSE			873.57
COMCAST4	COMCAST		
	8529114160214502	AUG 29 - SEP 28 2025 - TELEPHONE + INTERNET S2	285.91
	8529114160257253	AUG 29 - SEP 28 2025 - TV P1	38.43
	8529114160280644	AUG 16 - SEP 15 2025 - INTERNET + TV F1	171.85
	8529114160280677	AUG 20 - SEP 19 2025 - TV F1	12.81
	8529114160296749	AUG 19 - SEP 18 2025 - INTERNET SCADA	309.90
TOTAL FOR: COMCAST			818.90
COMCAST3	COMCAST		
	8529010010000747	AUG 14 - SEP 13 2025 - INTERNET + TV HOMTV	483.61
TOTAL FOR: COMCAST			483.61
CONWAY	CONWAY SHIELD INC		
	0540659	GEAR BAGS (5)	228.50
	0541321	HELMET, WHITE, QTY: 1	452.50
TOTAL FOR: CONWAY SHIELD INC			681.00
CRYSTAL	CRYSTAL FLASH		
	175072	MOTOR POOL - 8/18/2025 FLEET FUEL	13,470.84
TOTAL FOR: CRYSTAL FLASH			13,470.84
DEFENSETEC	DEFENSE TECHNOLOGY LLC		
	159576	OFFICER TRAINING	2,190.00
TOTAL FOR: DEFENSE TECHNOLOGY LLC			2,190.00
EDGEWOOD	EDGEWOOD VILLAGE APARTMENTS		
	0819202505	EMERGENCY RENT ASSISTANCE	516.00
TOTAL FOR: EDGEWOOD VILLAGE APARTMENTS			516.00
ELECTIONSO	ELECTION SOURCE		
	25-2220	ON-SITE TESTING OF AV MACHINES	2,445.00
TOTAL FOR: ELECTION SOURCE			2,445.00
ELECTRICAL	ELECTRICAL TERMINAL SERVICE		
	2249342-00	MP - HITCHES FOR WATER TRUCKS #5, #675, #722	362.91
	2249342-01	MP - HITCH FOR WATER TRUCK ONE OF #5, #675, #722	172.20
TOTAL FOR: ELECTRICAL TERMINAL SERVICE			535.11

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
FAHEY	FAHEY SCHULTZ	BURZYCH RHODES PLC	
	31507	ENFORCEMENT MATTERS - LEGAL FEES	184.00
	31508	POLICE FOIA - LEGAL FEES	399.00
	31509	ADMIN FOIA - LEGAL FEES	2,584.50
	31510	PUBLIC WORKS - LEGAL FEES	3,910.00
	31511	BWL FRANCHISE - LEGAL FEES	1,150.00
	31512	C PARK DR DEVELOPMENT - LEGAL FEES	138.00
	31513	DEFECTIVE FIRE TRUCK - LEGAL FEES	851.00
	31514	CLERK- LEGAL FEES	44.39
	31515	COMMUNITY PLANNING & DEV - LEGAL FEES	221.97
	31516	FIRE DEPT - LEGAL FEES	902.68
	31517	FOIA/OMA - LEGAL FEES	414.34
	31518	HR/LABOR - LEGAL FEES	1,943.69
	31519	MANAGER - LEGAL FEES	207.17
	31520	PUBLIC WORKS - LEGAL FEES	477.40
	31521	POLICE DEPT - LEGAL FEES	429.14
	31522	SUPERVISOR - LEGAL FEES	44.39
	31523	TWP BOARD - LEGAL FEES	29.60
	31524	CONTRACT REVIEWS - LEGAL FEES	1,035.23
	31639	MTT 24-001887 - LEGAL FEES	1,673.00
	31640	MTT 24-002640 - LEGAL FEES	703.00
	31641	MTT 24-003099 - LEGAL FEES	786.00
	31642	MTT 25-000716 - LEGAL FEES	564.00
	31643	MTT 25-001505 - LEGAL FEES	279.00
	31644	MTT 25-001510 - LEGAL FEES	369.00
	31645	MTT 25-001401 - LEGAL FEES	42.00
	31646	MTT 25-001402 - LEGAL FEES	42.00
	31647	MTT 25-001310 - LEGAL FEES	619.00
	31648	MTT 25-001332 - LEGAL FEES	552.00
	31718	24-CV-750 - LEGAL FEES	1,081.00
	31719 - 2025	GRIEVANCES - LEGAL FEES	17,745.00
	31720 - 2025	EMPLOYMENT INVESTIGATION - LEGAL FEES	1,472.00
	31833	2025 TRAVIS MDCR (658266) - LEGAL FEES	3,449.00
TOTAL FOR: FAHEY SCHULTZ BURZYCH RHODES PLC			44,342.50
FDHAYES	FD HAYES ELECTRIC COMPANY		
	SD22659	2025 ANNUAL PM - GENERATOR HNC	225.00
TOTAL FOR: FD HAYES ELECTRIC COMPANY			225.00
FORESIGHT	FORESIGHT GROUP		
	228269011	WATER BILLS 8/18/2025 AND POSTAGE	571.70
TOTAL FOR: FORESIGHT GROUP			571.70
GRAINGER	GRAINGER		
	9611859712	MP - WATER 27	38.80
TOTAL FOR: GRAINGER			38.80
HAMMONDFAR	HAMMOND FARMS		
	2-369866	2025 BLANKET PO - PARKS AND PATHWAY MAINTENANCE S	59.25
TOTAL FOR: HAMMOND FARMS			59.25
HASLETT	HASLETT PUBLIC SCHOOLS		
	20250831	3RD QTR 2025 MAINTENANCE REIMB	4,434.39
TOTAL FOR: HASLETT PUBLIC SCHOOLS			4,434.39

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HYDROCHEM	HYDRO-CHEM SYSTEMS 31409	MP - CAR WASH SOAP - 55 GALLON DRUM	664.05
TOTAL FOR: HYDRO-CHEM SYSTEMS			664.05
INGHAM	INGHAM COUNTY ROAD DEPARTMENT 9267	LAKE LANSING/TOWAR RD INTERSECTION PROJECT	20,074.14
TOTAL FOR: INGHAM COUNTY ROAD DEPARTMENT			20,074.14
JANEWHITE	JANE EMILY WHITE JULY 2025	FARMERS MARKET	10.00
	MAY 2025	FARMERS MARKET	21.00
TOTAL FOR: JANE EMILY WHITE			31.00
BROUGHTON	JEFFORY BROUGHTON 18237	RADIO WORK AT STATION 91	210.00
	18245	RADIO WORK AT STATION 91	165.00
TOTAL FOR: JEFFORY BROUGHTON			375.00
JOHNARENS	JOHN ARENS 08112025	W BASEBALL RENOVATION/RESURFACING TOWNER ROAD PARK	32,625.00
TOTAL FOR: JOHN ARENS			32,625.00
KIMBALL	KIMBALL MIDWEST 103663112	ORDER 534542MW - SHOP SUPPLIES	312.50
TOTAL FOR: KIMBALL MIDWEST			312.50
KIWANISCLU	KIWANIS CLUB OF HASLETT-OKEMOS 2024-2025	2024-2025 MERIDIAN TWP DUES	175.00
TOTAL FOR: KIWANIS CLUB OF HASLETT-OKEMOS			175.00
3WAYDJ	KRISTINE M KING 08142025	FAMILY KARAOKE 7/17 & 8/14/2025 MARKETPLACE ON THE	300.00
TOTAL FOR: KRISTINE M KING			300.00
LAFONFORD	LAFONTAINE FORD OF LANSING 246725	COVER - FIRE - UNIT #700	3.46
	246947	MP - POLICE 695	438.24
	247036	MP - POLICE 732	54.00
	247094	MP - POLICE 721	118.32
	247123	MP - POLICE 696	104.88
	BUCS69795	FIRE - REPAIRS UNIT #663	1,612.30
TOTAL FOR: LAFONTAINE FORD OF LANSING			2,331.20
LANSINGUNI	LANSING UNIFORM COMPANY 107308-C	FIRE UNIFORMS (BADGES/COLLAR BRASS - NEW HIRES SUM	449.85
	107869-A	UNIFORM ITEMS - CODDINGTON/CRANE/SLAVICK	706.60
TOTAL FOR: LANSING UNIFORM COMPANY			1,156.45
LEAK	LEAK PETROLEUM EQUIPMENT INC 136828	MOTOR POOL - BI-ANNUALL AIR COMPRESSOR SERVICE AND	381.93
TOTAL FOR: LEAK PETROLEUM EQUIPMENT INC			381.93
LISKEYS	LISKEY'S AUTO & TRUCK SERVICE INC 248069	MP - POLICE 721	139.75
TOTAL FOR: LISKEY'S AUTO & TRUCK SERVICE INC			139.75

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SARTAIN	MAKENNA SARTAIN		
	278433	VENDOR BOND REIMBURSEMENT	500.00
TOTAL FOR: MAKENNA SARTAIN			500.00
MAYBERRY	MAYBERRY HOMES		
	8.15.2025	MAYBERRY PG/CONSTRUCTION BOND REFUNDS	83,500.00
TOTAL FOR: MAYBERRY HOMES			83,500.00
MICHIGANAS	MICHIGAN ASSESSORS ASSOCIATION		
	10/19/2025	A.WINSTEAD - CONFERENCE REGISTRATION	350.00
TOTAL FOR: MICHIGAN ASSESSORS ASSOCIATION			350.00
MICHIGANPA	MICHIGAN PAVING		
	PAY EST #4	2025 PAY EST #4 - ROAD	145,575.41
TOTAL FOR: MICHIGAN PAVING			145,575.41
MI SEPTIC	MICHIGAN SEPTIC LLC		
	3254-4	8/18/2025 - PUMP OUT PIT TOILETS HNC	383.00
TOTAL FOR: MICHIGAN SEPTIC LLC			383.00
MI-MAUI	MI-MAUI		
	202503	2025 MI-MAUI MEMBERSHIP ASSESSMENT	3,275.00
TOTAL FOR: MI-MAUI			3,275.00
ONDEMOSQ	ON DEMAND MOSQUITO MAN INC		
	1441	2025 - MOSQUITO TREATMENTS FOR PARKS AND BUILDINGS	1,535.00
TOTAL FOR: ON DEMAND MOSQUITO MAN INC			1,535.00
OVERHEAD	OVERHEAD DOOR OF LANSING		
	584890	2025 - S FIRE - PM OVERHEAD DOORS	375.00
	584900	2025 - GLENDALE - PM OVERHEAD DOORS	150.00
TOTAL FOR: OVERHEAD DOOR OF LANSING			525.00
PAWSOME	PAWSOME PETS OKEMOS LLC		
	67117	K9 FOOD 8/11/2025	58.98
	67322	K9 FOOD - 8/14/2025	77.98
	68109	DOG FOOD FOR K9	66.98
TOTAL FOR: PAWSOME PETS OKEMOS LLC			203.94
PITNEY	PITNEY BOWES		
	3321135871	JUNE 30 2025 TO SEPT 29 2025 - 3RD QTR LEASE ON PO	955.47
TOTAL FOR: PITNEY BOWES			955.47
QUALITYTIR	QUALITY TIRE INC		
	1-150466	WATER - TIRES BACKHOE	2,134.36
	1-150826	MP - PARKS 70	108.48
	1-151203	MP - PARKS MOWER TIRE STOCK	108.48
	1-151204	MP POLICE - 725	764.00
	1-GS150568	TIRES - WATER - UNIT #675	726.60
TOTAL FOR: QUALITY TIRE INC			3,841.92
RECLAIMED	RECLAIMED BY DESIGN		
	2025 GREEN GRANT	2025 GREEN GRANT - PINE CREEK CONDO ASSOCIATION	500.00
TOTAL FOR: RECLAIMED BY DESIGN			500.00

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SPALDINGDE	SPALDING DEDECKER ASSOCIATES		
	00101700	2024 LOCAL ROAD PROGRAM ENGINEERING & INSPECTION C	28,748.29
	00103562	PROF SERV APR 28 TO MAY 25 2025 - 2025 LOCAL ROAD	728.00
	00104738	JUNE 30 TO JULY 27 2025 - 2025 LOCAL ROAD PROG ENG	26,947.35
TOTAL FOR: SPALDING DEDECKER ASSOCIATES			56,423.64
SPARTANDIS	SPARTAN DISTRIBUTORS		
	7002839-00	REPAIR PARTS/LABOR - PARKS - UNIT #70	1,518.08
	7006738-00	REPAIR PARTS - PARKS - UNIT #689	655.38
	7007156-00	REPAIR PARTS - PARKS - UNIT #689	2,504.97
	7007826-00	TIRE/DECK STRUT ASM - PARKS - UNIT 70	342.75
	7007826-01	DECK STRUT ASM - PARKS - UNIT #708	282.63
	7011011-00	PANHARD ROD ASM - PARKS - UNIT #708	155.25
	7015873-00	PARKS BATWING MOWERS - CASTER TIRE ASM	745.21
	7016756-00	REPAIR PARTS - PARKS - UNIT #664	256.23
TOTAL FOR: SPARTAN DISTRIBUTORS			6,460.50
STMARTHA	ST MARTHA CONFERENCE OF		
	0819202501	EMERGENCY RENT ASSISTANCE	500.00
	0819202502	EMERGENCY RENT ASSISTANCE	437.50
TOTAL FOR: ST MARTHA CONFERENCE OF			937.50
STTHOMASAQ	ST THOMAS AQUINAS PARISH		
	0819202503	EMERGENCY RENT ASSISTANCE	500.00
	0819202504	EMERGENCY RENT ASSISTANCE	500.00
TOTAL FOR: ST THOMAS AQUINAS PARISH			1,000.00
GUILD	STEPHANEY KEROSON		
	AUGUST 2025	MILEAGE REIMBURSEMENT	6.37
TOTAL FOR: STEPHANEY KEROSON			6.37
SUPREMESAN	SUPREME SANITATION		
	71225	PORTABLE TOILETS FOR PARKS IN 2025	90.00
	71226	PORTABLE TOILETS FOR PARKS IN 2025	90.00
	71227	PORTABLE TOILETS FOR PARKS IN 2025	90.00
	71228	PORTABLE TOILETS FOR PARKS IN 2025	90.00
	71229	PORTABLE TOILETS FOR PARKS IN 2025	90.00
	71230	PORTABLE TOILETS FOR PARKS IN 2025	90.00
TOTAL FOR: SUPREME SANITATION			540.00
HARKNESSLA	THE HARKNESS LAW FIRM PLLC		
	081925	AUG 2025 - PROSECUTING SERVICES CONTRACT	7,920.33
TOTAL FOR: THE HARKNESS LAW FIRM PLLC			7,920.33
UPPERCUTTR	UPPERCUT TREE SERVICE LLC		
	962	TREE REMOVAL ON A PATHWAY	500.00
TOTAL FOR: UPPERCUT TREE SERVICE LLC			500.00
VRC	VRC COMPANIES LLC		
	5280665	ACCT 68251775 (GRR1) - DOCUMENT DESTRUCTION	70.00
TOTAL FOR: VRC COMPANIES LLC			70.00
TOTAL - ALL VENDORS			504,756.90

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BARKHAM	BARKHAM & CO		
	116034	NEW STEPS - SEWER MAIN ON 6251 E LAKE DR	1,000.00
	116035	RESTORATION SEWER MAIN - 6200 E LAKE DR	6,925.00
TOTAL FOR: BARKHAM & CO			7,925.00
BLACKBURN	BLACKBURN MFG CO		
	IN0012858	PAINT FOR WS STAKING	636.05
TOTAL FOR: BLACKBURN MFG CO			636.05
CITYOFEAST	CITY OF EAST LANSING		
	2026-10000007	2025 ANNUAL SEWER DEBT ALLOCATION	2,336,182.00
TOTAL FOR: CITY OF EAST LANSING			2,336,182.00
CONSUMER	CONSUMERS ENERGY		
	9328659024	FOREST HILLS LIFT STATION - GAS SERVICE FEE	4,260.89
TOTAL FOR: CONSUMERS ENERGY			4,260.89
CUMMINGS	CUMMINS INC		
	S3-250843414	GENERATOR MAINTENANCE 2025	1,026.75
	S3-250843428	GENERATOR MAINTENANCE 2025	748.92
TOTAL FOR: CUMMINS INC			1,775.67
FERGUSONWA	FERGUSON WATERWORKS #3386		
	0227625-1	WATER - ANGLE VALVES	12,125.00
	0230140	FERNCO SEWER REPAIR - SATINWOOD	101.56
	0230468	WATER - 2" METERS FOR GRAND PRESERVE IRRIGATION -	619.32
TOTAL FOR: FERGUSON WATERWORKS #3386			12,845.88
GIGUERE	GIGUERE HOMES INC.		
	PGE 23-24	REIMBURSEMENT OF PERFORMANCE GAURTANTEE - COMPLETI	1,954.00
TOTAL FOR: GIGUERE HOMES INC.			1,954.00
MICHIGANPA	MICHIGAN PAVING		
	PAY EST #4 SAN	2025 PAY EST #4 - SAN	2,200.00
TOTAL FOR: MICHIGAN PAVING			2,200.00
MICHIGANRU	MICHIGAN RURAL WATER ASSOC		
	2020-14625	ANNUAL MEMBERSHIP FEE FOR TWP 7.1.25 TO 6.30.26	1,020.00
TOTAL FOR: MICHIGAN RURAL WATER ASSOC			1,020.00
OLGERBRO	OLGER BROTHERS SAND & GRAVEL		
	6670	WATER - SAND , GRAVEL & TOPSOIL 2025	565.18
	6688	WATER - SAND , GRAVEL & TOPSOIL 2025	523.27
TOTAL FOR: OLGER BROTHERS SAND & GRAVEL			1,088.45
PAULDAVIS	PAUL DAVIS RESTORATION OF MID MICH		
	08415	RESTORATION WATER LEAK - EMILY LN	3,111.15
TOTAL FOR: PAUL DAVIS RESTORATION OF MID MICH			3,111.15
SHERWIN	SHERWIN WILLIAMS CO		
	5748-0	WATER - HYDRANT PAINT	104.90
TOTAL FOR: SHERWIN WILLIAMS CO			104.90
SPALDINGDE	SPALDING DEDECKER ASSOCIATES		
	00104741	JUNE 20 TO JULY 27 2025 - SEWER MAIN LAKE DR - RD/	210.00
TOTAL FOR: SPALDING DEDECKER ASSOCIATES			210.00

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Vendor Code	Vendor Name	Description	Amount
	Invoice		
TOTAL - ALL VENDORS			2,373,313.99

Credit Card Report 08/12/2025 - 08/20/2025

Transaction Date	Account Name	Transaction Amount	Transaction Merchant Name
8/12/2025	LAWRENCE BOBB	\$13.94	THE HOME DEPOT #2723
8/13/2025	LAWRENCE BOBB	\$1.58	HASLETT TRUE VALUE HARDWA
8/13/2025	LAWRENCE BOBB	\$80.07	THE HOME DEPOT 2723
8/14/2025	LAWRENCE BOBB	\$20.96	THE HOME DEPOT #2723
8/13/2025	ROBERT STACY	\$20.91	THE HOME DEPOT #2723
8/13/2025	TYLER KENNEL	\$63.45	SHERWIN-WILLIAMS701339
8/12/2025	TYLER KENNEL	\$31.43	THE HOME DEPOT #2723
8/14/2025	TYLER KENNEL	\$178.70	GRAINGER
8/20/2025	MICHAEL HAMEL	\$17.99	PANERA BREAD #608017 O
8/19/2025	RYAN CAMPBELL	\$107.88	MIDWEST POWER EQUIPMENT
8/18/2025	RUDY GONZALES	\$24.98	THE HOME DEPOT #2723
8/12/2025	JACOB FLANNERY	\$11.68	OFFICEMAX/OFFICEDEPT#3379
8/13/2025	ASHLEY WINSTEAD	\$449.35	COSTAR GROUP INC
8/16/2025	CHRISTOPHER JOHNSON	\$121.65	COSTCO WHSE#1277
8/16/2025	CHRISTOPHER JOHNSON	\$33.90	THE HOME DEPOT #2723
8/14/2025	TIMOTHY SCHMITT	\$45.25	MEIJER STORE #025
8/20/2025	TIMOTHY SCHMITT	\$158.48	AMAZON RETA* IJ37U8ZJ3
8/14/2025	BRIAN PENNELL	\$25.00	STATE OF MI EMS
8/14/2025	BRIAN PENNELL	\$25.00	STATE OF MI EMS
8/18/2025	BRIAN PENNELL	\$25.00	STATE OF MI EMS
8/18/2025	BRIAN PENNELL	\$25.00	STATE OF MI EMS
8/18/2025	BRIAN PENNELL	\$395.00	FS *DIGITALCOMBUST
8/13/2025	MELISSA MASSIE	\$44.99	AMAZON RETA* BN8L14P13
8/13/2025	MELISSA MASSIE	\$44.99	AMAZON RETA* 5T3HE6523
8/20/2025	MELISSA MASSIE	\$29.75	AMAZON RETA* ZW1TS6C43
8/15/2025	COURTNEY WISINSKI	\$66.31	QUALITY DAIRY#31
8/14/2025	KATIE LOVE	\$515.80	CONSUMER ENERGY
8/13/2025	KATIE LOVE	\$27.36	THE HOME DEPOT #2723
8/13/2025	TIMOTHY H DEMPSEY	\$25.00	MICHIGAN TOWNSHIPS
8/13/2025	JUSTIN C CAROEN	\$102.42	THE HOME DEPOT #2723
8/19/2025	STEPHEN GEBES	\$481.85	ZOOM.COM 888-799-9666
8/14/2025	RICHARD GRILLO	\$56.69	AMAZON MKTPL*870L56MD3
8/13/2025	RICHARD GRILLO	\$71.45	OFFICEMAX/OFFICEDEPT#3379
8/14/2025	RICHARD GRILLO	\$105.18	TOM'S FOOD
8/15/2025	RICHARD GRILLO	\$19.99	GANNETT MEDIA CO
8/14/2025	RICHARD GRILLO	(\$57.16)	OFFICEMAX/OFFICEDEPT#3379
8/14/2025	RICHARD GRILLO	\$4.50	THE HOME DEPOT #2723
8/18/2025	RICHARD GRILLO	\$9.98	TOM'S FOOD
8/18/2025	YOUNES ISHRAIDI	\$34.99	OFFICEMAX/OFFICEDEPT#3379
8/19/2025	YOUNES ISHRAIDI	\$22.14	FEDEX OFFIC40600004069
8/19/2025	KEITH HEWITT	\$19.50	A & L LOCKSMITH
8/15/2025	MICHELLE PRINZ	\$19.99	GANNETT MEDIA CO
8/19/2025	MICHELLE PRINZ	\$19.99	GANNETT MEDIA CO
8/19/2025	MICHELLE PRINZ	\$19.99	GANNETT MEDIA CO
8/18/2025	CATHERINE ADAMS	\$43.90	SMARTSIGN
8/15/2025	ED BESONEN	\$282.50	PARK PLACE HOTEL
8/14/2025	ED BESONEN	\$500.00	PAYPAL *NATIONALASS
8/14/2025	ED BESONEN	\$35.00	PAYPAL *NATIONALASS
8/18/2025	BART CRANE	\$25.00	IN *SHATTUCK SPECIALTY A
8/14/2025	PHIL DESCHAINE	\$56.02	TST* BUDDY'S PIZZA - OKEM
8/12/2025	DAN PALACIOS	\$13.94	THE HOME DEPOT #2723
8/18/2025	DAN PALACIOS	\$23.96	THE HOME DEPOT #2723
8/13/2025	ROBERT MACKENZIE	\$370.52	NORLAB INC

8/15/2025	ROBERT MACKENZIE	\$1,287.84	GRAINGER
8/17/2025	ROBERT MACKENZIE	\$203.93	USABLUEBOOK
8/13/2025	CURT SQUIRES	\$13.48	AMAZON MKTPL*2Q8ND2U73

TOTAL

\$6,418.99

ACH Transactions

Date	Payee	Amount	Purpose
8/14/2025	Blue Care Network	\$ 21,407.28	Employee Health Insurance
8/18/2025	ELAN	\$ 25,295.40	Credit Card Payment
8/20/2025	Various Financial Institutions	\$ 384,886.29	Payroll Deductions 8/22/2025
8/20/2025	IRS	\$ 140,388.14	Payroll Taxes 8/22/2025
8/21/2025	Blue Care Network	\$ 19,642.40	Employee Health Insurance
Total ACH Payments		<u>\$ 591,619.51</u>	



To: Board Members

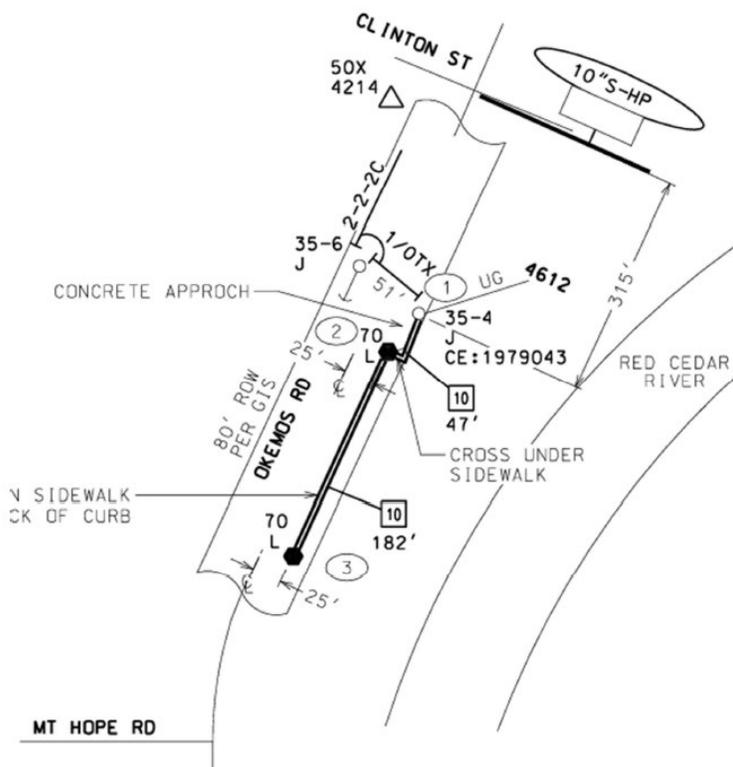
From: Dan Opsommer, Deputy Township Manager
Director of Public Works and Engineering

Date: August 8, 2025

Re: Authorization for Change in Consumers Energy Standard Lighting Contract Form 547

Township staff have been working with Consumers Energy on a plan to restore two of the fluted green streetlight poles that were demolished due to the new design of the Okemos Road bridge.

The attached Authorization for Change in Consumers Energy Standard Lighting Contract Form 547 would allow for two green fluted streetlight poles to be installed on the east side of Okemos Road between the north end of the bridge retaining wall and Clinton St.



The estimated cost to restore these two streetlights is currently \$10,775.25.

This work requires a change to the existing streetlighting contract between the Township and Consumers Energy.



Memo to Township Board
February 20, 2024
Re: Disposal of Surplus Equipment

The following motions have been prepared for the Board's consideration:

MOVE TO APPROVE THE AUTHORIZATION FOR CHANGE IN CONSUMERS ENERGY STANDARD LIGHTING CONTRACT FORM 547 TO INSTALL TWO GREEN FLUTED STREETLIGHTS ON THE EAST SIDE OF OKEMOS ROAD FROM THE OKEMOS ROAD BRIDGE TO CLINTON ST, AND TO AUTHORIZE THE TOWNSHIP SUPERVISOR AND CLERK TO EXECUTE THE CONTRACT.

Attachments:

1. Authorization for Change in Consumers Energy Standard Lighting Contract Form 547



A CMS Energy Company

CEM Support Center

Consumers Energy, Lansing Service Center, Rm. 122, 530 W. Willow St., Lansing, MI 48906-4754

August 18, 2025

NOTIFICATION #:
1074612214

MERIDIAN TOWNSHIP
5151 MARSH RD
OKEMOS, MI 48864-1104

REFERENCE: OKEMOS RD SOUTH OF CLINTON ST, OKEMOS

Dear Valued Customer,

Thank you for contacting Consumers Energy for your energy needs. Please note the Notification Number above and include it on any correspondence you send. Please note the Account Number, located above the Account Name on your invoice, when submitting payment.

Enclosed for approval and signature is the original Authorization for Change and Resolution covering the replacement and/or installation of streetlight(s). You are responsible for the final restoration.

The estimated cost for your energy request is as follows:

Non Refundable Agreement for Installation of Electric Facilities:

Winter Construction Costs:	\$ -
Installation Charge:	\$ 10,775.25
Additional Costs	
Total Estimated Cost:	\$ 10,775.25
Less Prepayment Received:	\$ -
Total Estimated Cost Due:	<u>\$ 10,775.25</u>

Please sign and return the original Authorization for Change and Resolution in the enclosed self-addressed envelope or email to: POBoxCEServiceRequest@cmsenergy.com. Payment in full is required before the installation can be scheduled for construction.

Please review all attached materials carefully and direct inquiries for your request to:

Kyle Brott at 269-370-3665



A CMS Energy Company

Dear New Electric Customer:

Thank you for your request for electric service. In order to expedite your request and meet your schedule, we have developed the following list of items requiring action by you (Customer Responsibilities). These requirements must be met before we can install your service.

CUSTOMER RESPONSIBILITIES

- 1) Service Location: A copy of our design document may be included in your customer packet. If included, your service entrance equipment should be located at the spot indicated by an "X" as shown on the design document (Form 2804). Install the meter socket 3½ - 5 feet above final grade of this location.
- 2) Meter Socket: Residential metering equipment furnished free of charge, owned and maintained by Consumers Energy includes: meters and one or two position self-contained meter sockets. Contact the company representative assigned to your notification for locations to pick-up the meter socket. For metering installations that require a three or more position self-contained meter socket, the customer will be required to purchase approved meter sockets from a distributor or supplier of their choice.
- 3) Payment: An invoice may be included in your customer packet. If included, the deposit amount on the invoice must be paid prior to installation of your service. Additional charges may apply and will be billed/or a refund issued upon completion of your service installation.
- 4) Site Conditions: The site must be within three (3) inches of final grade before we can install your service. If you have requested an underground service, you will need to clear a 12-foot wide path that is free of building materials, brush, trees, shrubs, etc, along the proposed service route to avoid delays. Our Forestry Department can provide this service for you at an additional charge. For overhead service, nominal line clearing will be provided at no charge. Any extensive line clearing may require additional charges. After your service is installed, we will backfill and place excavated earth over the trench. You are responsible for the final restoration and ensuring that the grading over the trench is at the required level.
- 5) Staking: To avoid damage, you must mark (stake) your existing private underground facilities such as: well, septic systems, sprinkler system, any underground wires, buried LPG tanks, piping, or other unusual buried facilities. These stakes must be apparent when we arrive to install the service. We cannot reimburse you for damage to facilities that are not properly staked. You do not need to stake the utilities' electric, gas or communication lines.
- 6) Mobile Home or Temporary Service: If you requested service to a mobile home or temporary electric service, you will be required to set your own pole or install a pipe for underground service in accordance with Consumers Energy specifications. Contact the Consumers Energy representative assigned to your notification for additional information.
- 7) Construction Repair: If additional line work is required to reach your location due to site conditions or other unusual circumstances, extra charges may be incurred.
- 8) **ELECTRICAL INSPECTION: YOU ARE RESPONSIBLE FOR ENSURING THAT ALL ELECTRICAL PERMITS AND INSPECTIONS ARE OBTAINED BEFORE ANY SERVICE CONNECTIONS CAN BE MADE. WIRINGS MUST COMPLY WITH LOCAL AND STATE ELECTRICAL CODES. NOTE: CAUTION SHOULD BE USED WHEN WORKING INSIDE FUSE PANEL. PANEL MAY BE ENERGIZED AFTER SERVICE IS**
- 9) Additional Charges: Underground services installed during the months of December through April may be subject to an additional charge. Unusual site conditions may also require an additional charge. These charges will be communicated to you in advance of construction.
- 10) Joint Trenching: Discounts for installation of electric and gas service in the same trench (joint trench) are applied in calculating the gas service contribution.
- 11) Usage Rate: Customers are billed at a general service rate while the structure is under construction. If the structure is a home, then the owner of the home, upon receiving a Certificate of Occupancy, should call 1-800-477-5050 to ensure the gas and/or electric rates are changed to an appropriate rate.

Please keep these procedures in a convenient location to review as we proceed with designing your service and constructing the job. If any of the characteristics of the service request are changed and not communicated to us, you may experience delays and/or additional charges.

If you have any questions regarding these requirements please direct inquiries to:

Kyle Brott at **269-370-3665**

PLEASE RETURN THE CHECKED DOCUMENTS BELOW TO CONSUMERS ENERGY IN THE ENVELOPE PROVIDED

TO EXPEDITE SERVICE, RETURN VIA EMAIL TO:

POBoxCEServiceRequest@cmsenergy.com

<input type="checkbox"/>	AGREEMENT FOR INSTALLATION (Please return all pages of contracts) (Form 93, Form 94 and Form 95 - 2 Page Document Each) (Form 861, Form 862 and Form 230 - 4 Page Document Each)
<input checked="" type="checkbox"/>	PAYMENT WITH INVOICE STUB (BOTTOM STUB IS REQUIRED FOR PROCESSING)
<input type="checkbox"/>	REQUEST FOR ELEVATED CUSTOMER DELIVERY PRESSURE
<input checked="" type="checkbox"/>	STANDARD LIGHTING CONTRACT (MUST BE CERTIFIED BY CLERK) EMAIL STREETLIGHT CONTRACTS TO: <u>street_lighting@cmsenergy.com</u>
<input type="checkbox"/>	SIGNED CUSTOMER ATTACHMENT PROGRAM (CAP) CONTRACT (PLEASE ENSURE TO CHECK PAYMENT OPTION ON CONTRACT)
<input type="checkbox"/>	GO READY FORM (FORM 1250) TO EXPEDITE SERVICE, RETURN VIA EMAIL TO: <u>POBoxCEServiceRequest@cmsenergy.com</u>
<input type="checkbox"/>	SITE READY PHOTO(S) TO EXPEDITE SERVICE, RETURN VIA EMAIL TO: <u>POBoxCEServiceRequest@cmsenergy.com</u>
<input type="checkbox"/>	OTHER:
ELECTRIC SERVICE NOTIFICATION:	
GAS SERVICE NOTIFICATION:	
ELECTRIC OH DISTRIBUTION NOTIFICATION:	
ELECTRIC UG DISTRIBUTION NOTIFICATION:	
GAS MAIN NOTIFICATION:	
STREETLIGHT NOTIFICATION: 1074612214	



MERIDIAN TOWNSHIP
5151 MARSH RD
OKEMOS MI 48864-1104

Amount Due: \$10,775.25
Please pay by: September 01, 2025

Invoice Number	9328682414
PO Number	
PO Date	
Bill Date	08/18/25

Account: 3000 2483 1285

OKEMOS RD SOUTH OF CLINTON ST OKEMOS - STREETLIGHTING - NOTIFICATION NUMBER (s): 1074612214 -

NONENERGY INVOICE

DESCRIPTION	QUANTITY	UNIT PRICE	AMOUNT
Electric Streetlights	1.0 EA	\$10,775.25	\$10,775.25
TOTAL DUE:			\$10,775.25

See Page 2 for Payment Options.

Consumers Energy is regulated by the Michigan Public Service Commission, Lansing, Michigan

INVOICE QUESTIONS - Contact: Kyle Brott -269-370-3665 -

Fold, detach and mail this stub with your check made payable to Consumers Energy. Please write your account number on your check.



CONSUMERS ENERGY
CEM Support Ctr - Lansing RM 122
530 W Willow St
Lansing, MI 48906-4754

PREPAYMENT REQUEST

Account: 3000 2483 1285

Amount Due: \$10,775.25
Please pay by: September 01, 2025
Enclosed:

6 330038149730 000010775252 0000 2056 4 300024831285 H

Ways to pay your nonenergy bill:



Same-day payment
ConsumersEnergy.com

Discover® MasterCard®
Visa® or eCheck



Same-day payment
866-329-9593

Discover® MasterCard®
Visa® or eCheck



By mail
Check, money order

Consumers Energy
Payment Center
P.O. Box 740309
Cincinnati, OH 45274-0309



In person
Cash, check, card
or money order

Varies by authorized payment location

Fee may apply



**AUTHORIZATION FOR CHANGE IN STANDARD LIGHTING
CONTRACT(COMPANY-OWNED) FORM 547**

Contract Number: 103025042856

Consumers Energy Company is authorized as of _____ by the Township of MERIDIAN, to make changes, as listed below, in the lighting system(s) covered by the existing Standard Lighting Contract between the Company and the Township of MERIDIAN, dated 1/6/2016.

Lighting Type: General Unmetered Light Emitting Diode Lighting Rate GU-LED

Except for the changes in the lighting system(s) as herein authorized, all provisions of the aforesaid Standard Lighting Contract dated 1/6/2016 shall remain in full force and effect.

Notification Number(s): 1074612214

Comments: DD: 11790348 O: 44904111

Township of MERIDIAN

By: _____

(Signature)

(Printed)

Its: _____

(Title)

This Agreement may be executed and delivered in counterparts, including by a facsimile or an electronic transmission thereof, each of which shall be deemed an original. Any document generated by the parties with respect to this Agreement, including this Agreement, may be imaged and stored electronically and introduced as evidence in any proceeding as if original business records. Neither party will object to the admissibility of such images as evidence in any proceeding on account of having been stored electronically.

RESOLUTION

RESOLVED, that it is hereby deemed advisable to authorize Consumers Energy Company to make changes in the lighting service as provided in the Standard Lighting Contract between the Company and the Township of MERIDIAN, dated 1/6/2016, in accordance with the Authorization for Change in Standard Lighting Contract dated _____,

heretofore submitted to and considered by this commission council board; and

RESOLVED, further, that the _____ Clerk be and are authorized to execute such authorization for change on the behalf of the Township.

STATE OF MICHIGAN
COUNTY OF INGHAM

I, _____, clerk of the Township of MERIDIAN do hereby certify that the foregoing resolution was duly adopted by the

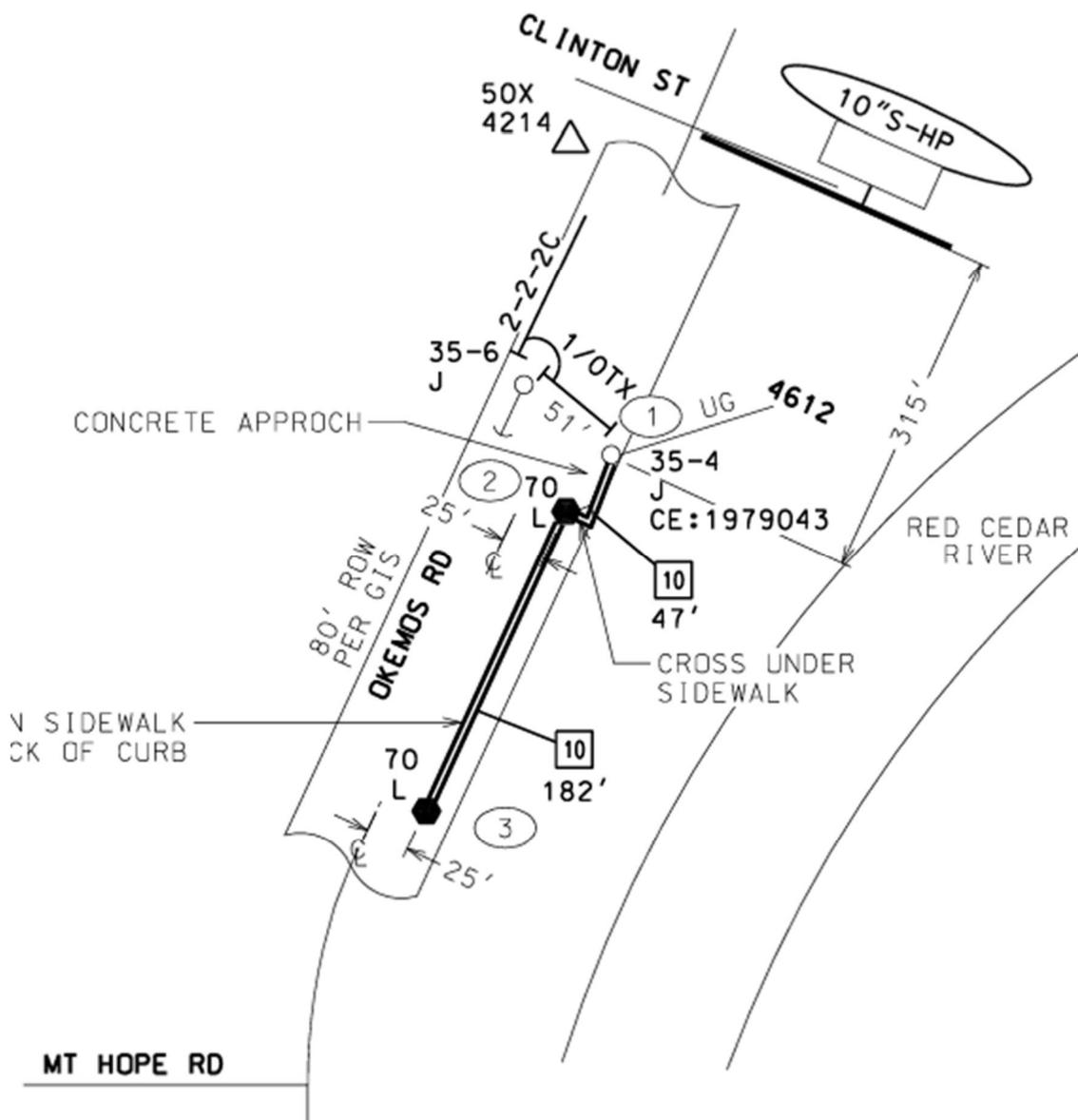
commission council board of said municipality, at the meeting held on _____.

Dated:

Municipal Customer Type: Township

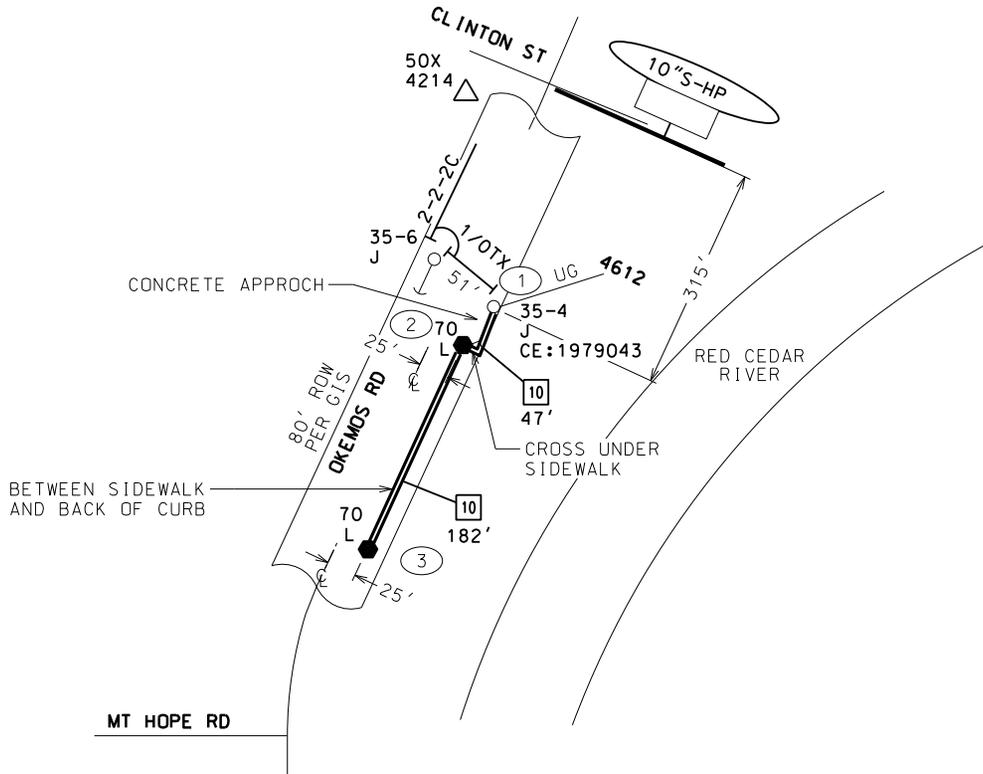
GENERAL UNMETERED LIGHT EMITTING DIODE LIGHTING RATE GU-LED

- (2) 70 watt LED White Post Top Avery to Install at location West side of Okemos Rd, south of Clinton, north of bridge;





- ① INSTALL
2/C-#10 CU RISER
- ② INSTALL
GREEN FIBERGLASS POLE WITH BASE
FIGURE 42-212-4
70W LED AVERY POST TOP FIXTURE
FIGURE 42-215-8
- ③ INSTALL
GREEN FIBERGLASS POLE WITH BASE
FIGURE 42-212-4
70W LED AVERY POST TOP FIXTURE
FIGURE 42-215-8



CAUTION!
TRANSMISSION PIPELINE IN AREA.

PIPELINE OWNER: CONSUMERS ENERGY

PIPELINE OWNER CONTACT INFO:
NAME: KEVIN COUTURIER
ADDRESS: EAST TAWAS, MI 48730
PHONE: 989-574-7538

SPECIAL NOTES:
KEVIN.COUTURIER@cmsenergy.com

UNDERGROUND LEGEND

⑩ Streetlighting conductor (2/C-#10 CU)



SUBSTATION OKEMOS	WD NO. 0604	METER ORDER NUMBER	METER NUMBER	READ	METER LOCATION	JOB PURPOSE: CUSTOMER REQUESTED STREETLIGHTS			
CIRCUIT FERGUSON PARK	CKT NO. 02	TLM NUMBER 0401214214	# OF RODS	OHMS	Okemos Rd s/o Clinton, Okemos, ECNC STL				
 <small>A CMS Energy Company</small> ELECTRIC		CE STAKING REO'D <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		CM NO. 100008029975	ORDER TYPE	UPSTREAM SECTIONALIZING DEVICE: XFMR 0401214214 LOCATION: SEE PRINT			
		FORESTRY REO'D <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		MAT. TYPE	NOTIFICATION NUMBER		DESIGN NUMBER	ORDER NUMBER	
Consumers Energy <small>A CMS Energy Company</small> ELECTRIC				ECNC	STL	1074612214	11790348	CONSUMERS ENERGY CONTACTS	
		DEPARTMENT	NAME	NUMBER					
		COORDINATOR	DESIGNER	KYLE BROTT	DAN HOEKSEMA	269-370-3665	989-251-8599		
SHEET B SHEET 1 OF 1 SCALE 1"=100'		INGHAM		CO		MERIDIAN		TWP T 04N R 01W SEC. 21	



To: Board Members
From: Scott Hendrickson, Township Supervisor
Date: August 29, 2025
Re: Youth Commission Appointments

In fall 2024, the Township Board established the Youth Commission, a new advisory committee designed to engage youth citizens to assist in shaping Township policy, events, and activities. The Commission aims to amplify youth voices and foster civic involvement among residents aged 14–19 who either attend school within the Township boundaries or reside in the Township.

The application window closed on July 31, 2025, with 28 qualified applications received. These submissions reflect a vibrant and engaged youth community eager to contribute to public service.

To ensure balanced representation across gender, age, and school districts, we recommend the following **nine** individuals for appointment to the Youth Commission:

- **Autumn Gebara**
- **Reilly Higgins**
- **Finn Reagan**
- **Riley Gay**
- **Addison McCarthy**
- **Jacob Stecovich**
- **Rishabh Mahale**
- **Neha Sampathkumar**
- **Krishaan Shah**

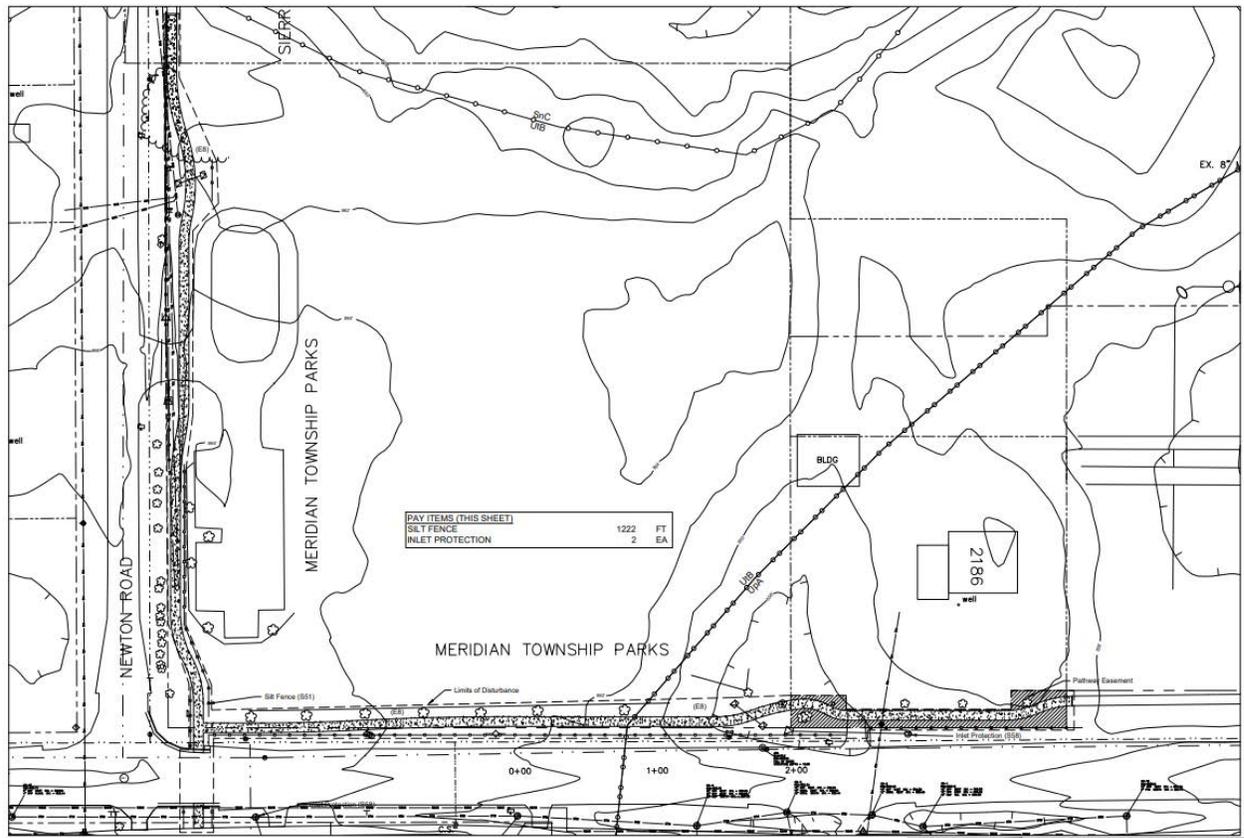
The Youth Commission will meet the third **Monday of the month at 5:30** in Meridian Township Hall 5151 Marsh Road, Okemos, MI 48840.

MOTION TO APPOINT THE FOLLOWING INDIVIDUALS TO THE YOUTH COMMISSION FOR AN INITIAL TERM COMMENCING SEPTEMBER 3, 2025: AUTUMN GEBARA, REILLY HIGGINS, FINN REAGAN, RILEY GAY, ADDISON MCCARTHY, JACOB STECOVICH, RISHABH MAHALE, NEHA SAMPATHKUMAR, AND KRISHAAN SHAH



To: Board Members
From: Dan Opsommer, Deputy Township Manager
Director of Public Works and Engineering
Date: August 26, 2025
Re: 2025 Newton Road Park Pathway Contract Award

Township staff recently [requested proposals for the construction of a concrete pathway along the east side of Newton Rd and the north side of Lake Lansing Rd](#) to fill in this gap in the existing pathway system:



This contract also includes replacing some existing pathway on W Hidden Lake Dr just south of Burcham Dr that has settled and no longer meets current ADA requirements.

The low bid was \$149,075 from Lopez Concrete Construction, LLC. This contractor holds existing contracts with the Township and has performed good work for the Township for many years now.

Memo to Township Board
August 26, 2025
Re: 2025 Newton Road Park Pathway Contract Award

Township staff recommend awarding this contract in the amount of \$149,075 to the low bidder, Lopez Concrete Construction, LLC.

The Board approved funding for this project under the second quarter budget amendments. This project shall be paid out of 216-000.000-974.000.

We are happy to answer any questions the Board may have.

The following motion has been prepared for the Board's consideration:

MOVE TO APPROVE THE CONTRACT WITH LOPEZ CONCRETE CONSTRUCTION, LLC IN THE AMOUNT OF \$149,075 AND DIRECT THE TOWNSHIP SUPERVISOR TO EXECUTE THE AGREEMENT.

Attachment:

1. 2025 Newton Road Park Pathway Contract Bid Tab
2. 2025 Newton Road Park Pathway Contract
3. 2025 Newton Road Park Pathway Construction Plans

Newton Rd Park Pathway 2025

ITEM	DESCRIPTION	QTY		Lopez Concrete Construction		Able Concrete, Inc		TL Contracting		Leavitt & Starck Excavating, Inc		Mike & Son Asphalt, Inc		Engineer's Estimate	
				PRICE	AMOUNT	PRICE	AMOUNT	PRICE	AMOUNT	PRICE	AMOUNT	PRICE	AMOUNT	PRICE	AMOUNT
1a	Traffic Control	1	LS	\$2,000.00	\$2,000.00	\$8,000.00	\$8,000.00	\$10,823.00	\$10,823.00	\$6,000.00	\$6,000.00	\$6,500.00	\$6,500.00	\$ 1,000.00	\$ 1,000.00
1b	Sign, W11-15	2	EA	\$2,000.00	\$4,000.00	\$400.00	\$800.00	\$1,207.00	\$2,414.00	\$720.00	\$1,440.00	\$1,000.00	\$2,000.00	\$ 300.00	\$ 600.00
9a	Pavt, Rem, Asphalt	290	SF	\$27.00	\$7,830.00	\$1.75	\$507.50	\$5.00	\$1,450.00	\$1.60	\$464.00	\$4.00	\$1,160.00	\$ 15.00	\$ 4,350.00
10a	Mobilization, Max \$10,000	1	LS	\$5,000.00	\$5,000.00	\$4,000.00	\$4,000.00	\$6,211.00	\$6,211.00	\$10,000.00	\$10,000.00	\$7,000.00	\$7,000.00	\$ 5,000.00	\$ 5,000.00
10b	Tree Removal, 18"	1	EA	\$2,000.00	\$2,000.00	\$5,000.00	\$5,000.00	\$1,239.00	\$1,239.00	\$3,000.00	\$3,000.00	\$2,000.00	\$2,000.00	\$ 5,000.00	\$ 5,000.00
40a	Concrete, 4 inch	9862	SF	\$6.00	\$59,172.00	\$7.25	\$71,499.50	\$7.00	\$69,034.00	\$6.20	\$61,144.40	\$6.75	\$66,568.50	\$ 6.62	\$ 65,286.44
40b	Concrete, 6 inch	105	SF	\$7.00	\$735.00	\$9.25	\$971.25	\$8.00	\$840.00	\$10.50	\$1,102.50	\$8.50	\$892.50	\$ 7.72	\$ 810.60
40c	Concrete, 7 inch	185	SF	\$8.00	\$1,480.00	\$11.25	\$2,081.25	\$9.00	\$1,665.00	\$11.00	\$2,035.00	\$9.50	\$1,757.50	\$ 8.82	\$ 1,631.70
41a	Sidewalk Ramp, ADA	140	SF	\$7.00	\$980.00	\$11.50	\$1,610.00	\$11.00	\$1,540.00	\$12.10	\$1,694.00	\$9.00	\$1,260.00	\$ 8.82	\$ 1,234.80
41b	Detectable Warning Surface, 7 Foot	28	SF	\$90.00	\$2,520.00	\$65.00	\$1,820.00	\$54.00	\$1,512.00	\$110.00	\$3,080.00	\$82.00	\$2,296.00	\$ 66.15	\$ 1,852.20
43a	Embankment	615	CY	\$20.00	\$12,300.00	\$40.00	\$24,600.00	\$44.00	\$27,060.00	\$28.50	\$17,527.50	\$35.00	\$21,525.00	\$ 30.00	\$ 18,450.00
44a	Aggregate, 21AA	30	TN	\$40.00	\$1,200.00	\$48.00	\$1,440.00	\$48.00	\$1,440.00	\$110.00	\$3,300.00	\$50.00	\$1,500.00	\$ 78.75	\$ 2,362.50
45a	Curb and Gutter, Rem	14	FT	\$22.00	\$308.00	\$15.00	\$210.00	\$38.00	\$532.00	\$20.00	\$280.00	\$40.00	\$560.00	\$ 19.85	\$ 277.90
45b	Curb and Gutter, Inst	4.5	FT	\$28.00	\$126.00	\$40.00	\$180.00	\$54.00	\$243.00	\$300.00	\$1,350.00	\$80.00	\$360.00	\$ 28.67	\$ 129.02
46a	Subgrade Preparation	1470	FT	\$9.90	\$14,553.00	\$8.75	\$12,862.50	\$8.00	\$11,760.00	\$20.20	\$29,694.00	\$24.00	\$35,280.00	\$ 5.78	\$ 8,496.60
53a	Erosion Control, Silt Fence	1563	FT	\$3.00	\$4,689.00	\$5.00	\$7,815.00	\$4.00	\$6,252.00	\$4.25	\$6,642.75	\$4.00	\$6,252.00	\$ 2.75	\$ 4,298.25
53b	Erosion Control, Inlet Protection, Fabric Drop	2	EA	\$200.00	\$400.00	\$189.00	\$378.00	\$105.00	\$210.00	\$250.00	\$500.00	\$75.00	\$150.00	\$ 300.00	\$ 600.00
54a	Site Restoration	1	LS	\$19,000.00	\$19,000.00	\$13,200.00	\$13,200.00	\$21,854.00	\$21,854.00	\$16,540.00	\$16,540.00	\$20,580.00	\$20,580.00	\$ 1,500.00	\$ 1,500.00
55a	Culv, CSP, 16 Gauge, 12 Inch	15	FT	\$166.00	\$2,490.00	\$35.00	\$525.00	\$70.00	\$1,050.00	\$190.00	\$2,850.00	\$45.00	\$675.00	\$ 50.00	\$ 750.00
55b	Culv, CSP, 16 Gauge, 18 Inch	22	FT	\$186.00	\$4,092.00	\$45.00	\$990.00	\$61.00	\$1,342.00	\$222.00	\$4,884.00	\$50.00	\$1,100.00	\$ 55.00	\$ 1,210.00
55c	Culv, End Sect, 12 Inch	2	EA	\$900.00	\$1,800.00	\$350.00	\$700.00	\$326.00	\$652.00	\$300.00	\$600.00	\$170.00	\$340.00	\$ 250.00	\$ 500.00
55d	Culv, End Sect, 18 Inch	2	EA	\$1,200.00	\$2,400.00	\$400.00	\$800.00	\$395.00	\$790.00	\$400.00	\$800.00	\$250.00	\$500.00	\$ 300.00	\$ 600.00
Total:				\$149,075.00	Total:	\$159,990.00	Total:	\$169,913.00	Total:	\$174,928.15	Total:	\$180,256.50	Total:	\$ 125,940.01	

Indicates corrected figure

Newton Road Park Pathway - 2025

MERIDIAN TOWNSHIP

DEPARTMENT OF PUBLIC WORKS

INGHAM COUNTY, MICHIGAN

Newton Road Park Pathway – 2025

FOR
CHARTER TOWNSHIP OF MERIDIAN

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CHARTER TOWNSHIP OF MERIDIAN

Newton Road Park Pathway - 2025

ADVERTISEMENT FOR BIDS

Sealed proposals will be received by the Charter Township of Meridian, Ingham County, Michigan, at the Meridian Township Clerk's Office, Municipal Building, 5151 Marsh Road, Okemos, Michigan, 48864-1198, Ph. 517.853.4000, up to 3:30 pm, local time on Monday, August 25, 2025 for the installation of a new shared use pathway near Newton Road Park in Meridian Township.

Bids are solicited on a unit price basis. The work involves the following major bid items:

- Installation of shared use pathway near Newton Road Park
- Remove and replace damaged shared use pathway at various locations
- Installation of two (2) corrugated steel pipe culverts

Proposals shall include the furnishing of all labor, material, and some equipment to complete the project.

Work on the project must commence within 10 (ten) days of issuance of the "Notice To Proceed." Construction shall be completed by November 1st, 2025. Completion is defined as being constructed, tested, placed in service, and the site restored.

Each proposal shall be accompanied by a certified check or a bid bond by a recognized surety company similar to a U.S. Government Standard form bid bond, in the amount of five percent (5%) of the bid, payable to the Charter Township of Meridian, Ingham County, Michigan as security for the acceptance of the Contract.

Insurance and bonds are required from the successful bidder for this project; please see pages G-2 thru G-3 for those requirements. *Please note Owner/Contractors Protective Liability is required for all our contracts.*

The vendor's agreement to pay prevailing wage rates is one relevant consideration that Meridian Township may make in its determination of which bidder should receive this contract. Meridian Township may thus consider in awarding this contract whether any vendor voluntarily pays employees and sub-contractors, directly upon the site of work, at least the prevailing wages and fringe benefits as determined and published by the United States Department of Labor for the Ingham County area.

The contract documents may be examined at the following locations:

- Meridian Charter Township, Dept of Public Works, 5151 Marsh Road, Okemos, MI 48864
- Builders Exchange of Lansing & Central MI, 1240 E. Saginaw St., Lansing, MI 48906-5522
- Builders Exchange of Michigan, 678 Front Ave. NW, Ste. 330, Grand Rapids, MI 49504
- Construction Assoc of MI, 43636 Woodward, Bloomfield Hills, MI 48302
- Dodge Data & Analytics, 2521 E. Michigan Avenue, Lansing, MI 48912-4010

PDF copies of the plans and contract documents can be downloaded from the Township website here: <https://www.meridian.mi.us/government/township-projects>. To be added to the Township's list of prospective bidders, please make sure to contact the Engineering Office, as described below.

Hard copies of the contract documents for the work may be obtained from the Department of Public Works & Engineering at 5151 Marsh Road, Okemos, Michigan, for a non-refundable fee of ten dollars (\$10). There is a five dollar (\$5.00) fee for mailing contract documents. Contract documents may be obtained via email free of charge. Questions regarding this contract may be addressed to Meridian Township Department of Public Works & Engineering by phone at 517.853.4440, or by email at DPW@meridian.mi.us.

In submitting this bid, it is understood that the right is reserved by the Owner to reject any or all bids, to award the Contract to other than the low bidder, to award separate contracts for each project and/or phase, to waive irregularities and/or formalities, and in general, to make award in any manner deemed by it, in its sole discretion, to be in the best interest of the Owner.

INSTRUCTIONS TO BIDDERS

1. PROPOSALS

Proposals must be made upon the forms provided, without modifications or changes and all other data submitted as required.

The proposal must be enclosed in a sealed envelope marked "Bid Proposal – Meridian Township Newton Road Park Pathway" clearly indicating the name and address of the bidder, and filed at the place and by the time specified in the Advertisement.

2. BASIS OF PROPOSALS

Proposals are solicited on the basis of unit prices for the entire work of the contract. Proposals may be submitted for any one or all of the projects or phases, as may be applicable.

The right is reserved by the Owner to reject any and all bids, to award the Contract to other than the low bidder, to award separate Contracts for each project and/or phase, to waive irregularities and/or formalities, and in general, to make award in any manner deemed by it, in its sole discretion, to be in the best interest of the Owner.

3. BID DEPOSITS

Each proposal shall be accompanied by a certified check, or bid bond from a recognized surety company, in the amount of five percent (5%) of the total amount of the bid, payable to the order of the Owner, to be forfeited to the Owner in case of failure on the part of the successful bidder to enter into the attached form of Contract to do the work covered by such Proposal at the price and within the time stated therein. The bid deposit of all except the successful bidder will be returned within four weeks after opening of bids. The bid deposit of the successful bidder will be returned within 48 hours after the executed Contract has been finally approved by the Owner.

4. QUALIFICATION OF BIDDERS

It is the intention of the Owner to award the Contract(s) to contractor(s) fully capable, both financially and as regards experience to perform and complete all work in a satisfactory manner. Evidence of such competency must be furnished, including a listing of similar projects which the bidder has satisfactorily undertaken and completed.

5. INTERPRETATION OF DOCUMENTS

If the bidder is in doubt as to the true meaning of any part of the plans, specifications or Contract Documents, he may submit to the Engineer a written request for an interpretation thereof. Any interpretation made in response to such query will be mailed or duly delivered to each prospective bidder. The Owner will not be responsible for any other explanation or interpretation of the Contract Documents.

6. REQUIREMENT OF SIGNING BIDS

Bids which are not signed by the individual making them shall have attached thereto a power of attorney evidencing authority to sign the bid in the name of the person for whom it is signed.

Bids, which are signed by a partnership, shall be signed by all of the partners or by an attorney-in-fact. If signed by an attorney-in-fact, there shall be attached to the bid a power of attorney evidencing authority to sign the bid, executed by the partners.

Bids which are signed for a corporation shall have the correct corporate name thereof and the signature of the president or other authorized officers of the corporation manually written below the corporate name following the word "By". If such a bid is manually signed by an officer other than the president of the corporation, a certified copy of a resolution of the board of directors evidencing the

INSTRUCTIONS TO BIDDERS

authority of such official to sign the bid shall be attached to it. Such a bid shall also bear the attested signature of the secretary of the corporation and the corporate seal.

7. EXECUTION OF AGREEMENT

The bidder to whom an award is made will be required to enter into the written contract included herein, within ten (10) calendar days after being notified of the acceptance of his bid and receipt by him of the copies of the documents to be executed. In case of failure to comply with this requirement, he may be considered to have abandoned all his rights and interests in the award and his certified check or amount of bidder's bond may be declared to be forfeited to the Owner and the Contract may be awarded to another bidder.

8. INSURANCE (Ref. General Conditions - GC.2)

The contractor will be required to carry Worker's Compensation Insurance, Bodily Injury and Property Damage, Builder's Risk Insurance and Owner's Protective Liability in the amounts specified in the General Conditions. Certificates of such insurance must be attached to each copy of the executed Contract Documents.

9. BONDS (Ref. General Conditions - GC.1)

The successful bidder will be required to furnish for each set of executed Contract Documents and conformed copies thereof an original completed Performance Bond, and Labor and Material Bond with surety acceptable to the Owner as set forth in the General Conditions.

10. BIDDER'S RESPONSIBILITY FOR EXAMINING PLANS AND SITE

At the time of opening bids, each bidder will be presumed to have made a personal investigation of the site of the work and of existing structures, and to have read and be thoroughly familiar with the plans, specifications and Contract Documents (including all addenda). He shall determine to his own satisfaction the conditions to be encountered, the nature of the ground, difficulties involved in completing the Contract and all factors affecting the work proposed under this Contract.

The bidder to whom this contract is awarded will not be entitled to any additional compensation by reason of his failure to fully acquaint himself with the conditions at the site or by his failure to fully examine the plans, specifications and Contract Documents.

11. NON-DISCRIMINATION IN EMPLOYMENT

The Contractor shall adhere to all applicable Federal, State and local laws, ordinances, rules and regulations prohibiting discrimination with regards to employees and applicants for employment. The contractor and his/her subcontractors shall not discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions or privileges of employment, including a benefit plan or system or a matter directly or indirectly related to employment, because of race, color, religion, national origin, sex, age, height, weight, condition of pregnancy, marital status, physical or mental limitation, disability, source of income, familial status, educational association, sexual orientation, gender identity or expression, or HIV status. Breach of this section shall be regarded as a material breach of this Contract.

PROPOSAL

TO: Charter Township of Meridian
5151 Marsh Road
Okemos, MI 48864

RE: NEWTON ROAD PARK PATHWAY - 2025

Board of Trustees:

The undersigned, as a bidder, hereby declares that these bids are made in good faith, without fraud or collusion with any person or persons bidding on the same Contract, that he has read and examined the Advertisement, Instruction to Bidders, Proposal, Contract, General Conditions, Specifications, Special Provisions and Plans and understands all of the same; that he or his representative has made personal investigation at the site and has informed himself fully with regard to the conditions to be met in the execution of the Contract.

In submitting this bid, it is understood that the right is reserved by the Owner to reject any or all bids, to award the Contract to other than the low bidder, to award separate contracts for each project and/or phase, to waive irregularities and/or formalities, and in general, to make award in any manner deemed by it, in its sole discretion, to be in the best interest of the Owner.

It is further understood and agreed by the undersigned that any qualifying statement or conditions made to this proposal as originally published, as well as any interlineation, erasures, omissions or entered wording obscure as to its meaning, may cause the bid to be declared irregular and may be cause for rejection of the bid.

The undersigned agrees to start work within ten (10) days of issuance of the Notice to Proceed. The undersigned further agrees to complete all work covered by this Proposal to the point of use of the project by the Owner by the completion date stated in the Advertisement or within the number of calendar days stated in the Advertisement; and that for all days thereafter until final acceptance, there will be charged, as liquidated damages, the sum of \$1,000 per calendar day per project for each and every day thereafter until final acceptance.

The undersigned hereby proposes to perform everything required to be performed and to furnish all labor, materials, tools, equipment and all utility and transportation services necessary to complete in a workmanlike manner all the work to be done under this Contract, including addenda thereto, for the sums set forth in the following Bidding Schedule:

NEWTON ROAD PARK PATHWAY - 2025

PROPOSAL

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>QTY</u>	<u>UNIT</u>	<u>UNIT PRICE</u>	<u>AMOUNT</u>
1a.	Traffic Control	1	LS	\$ _____	\$ _____
1b.	Sign, W11-15	2	EA	\$ _____	\$ _____
9a.	Pavt, Rem, Asphalt	290	SF	\$ _____	\$ _____
10a.	Mobilization, Max \$10,000	1	LS	\$ _____	\$ _____
10b.	Tree Removal, 18"	1	EA	\$ _____	\$ _____
40a.	Concrete, 4 Inch	9862	SF	\$ _____	\$ _____
40b.	Concrete, 6 Inch	105	SF	\$ _____	\$ _____
40c.	Concrete, 7 Inch	185	SF	\$ _____	\$ _____
41a.	Sidewalk Ramp, ADA	140	SF	\$ _____	\$ _____
41b.	Detectable Warning Surface, 7 Foot	28	SF	\$ _____	\$ _____
43a.	Embankment	615	CY	\$ _____	\$ _____
44a.	Aggregate, 21AA	30	TN	\$ _____	\$ _____
45a.	Curb and Gutter, Rem	14	FT	\$ _____	\$ _____
45b.	Curb and Gutter, Inst	4.5	FT	\$ _____	\$ _____
46a.	Subgrade Preparation	1470	FT	\$ _____	\$ _____
53a.	Erosion Control, Silt Fence	1563	FT	\$ _____	\$ _____
53b.	Erosion Control, Inlet Protection, Fabric Drop 2		EA	\$ _____	\$ _____
54a.	Site Restoration	1	LS	\$ _____	\$ _____
55a.	Culv, CSP, 16 Gauge, 12 Inch	15	FT	\$ _____	\$ _____
55b.	Culv, CSP, 16 Gauge, 18 Inch	22	FT	\$ _____	\$ _____
55c.	Culv, End Sect, 12 Inch	2	EA	\$ _____	\$ _____
55d.	Culv, End Sect, 18 Inch	2	EA	\$ _____	\$ _____

TOTAL BID: \$ _____

Give the name of the Owners and dates of other projects which the Bidder has constructed or has had responsible charge of construction:

NAME

DATE

The Bidder acknowledges that his bid is in accordance with the information contained in Addendum No. ____, ____, ____, ____.

The Bidder is hereby reminded that the Pay Items listed under the Bidding Schedule are the only items for which he will receive payment under this Contract. In the event that lesser or greater quantities of specific Pay Items are required to complete the work and place the system in operation, the total amount bid for the specific item will be adjusted by the unit price bid to the actual quantities utilized. In the event that an error is made in extending the unit prices, the Bidder is hereby notified that the unit prices as bid, will govern in determining the Total Base Bid. It is expressly understood and agreed that the Total Base Bid is the basis for establishing the amount of Bid Security on this Proposal and for comparison of bids only and is not to be constructed as a lump sum Proposal.

The undersigned attaches hereto a certified check or bidder's bond in the sum of not less than five percent (5%) of the Total Base Bid as required by the Advertisement and Instructions to Bidders and the undersigned agrees that in case he shall fail to fulfill his obligations under this Proposal and/or shall fail to furnish bonds, as specified, the Owner may, at its option determine that the certified check or amount of said certified check or bidder's bond accompanying this Proposal has been forfeited to the Owner, but otherwise the said certified check or bidder's bond shall be returned to the undersigned upon the execution of the Contract and acceptance of the bond.

The undersigned further agrees that this proposal shall be effective for a period of sixty (60) days from the date established for opening of all bids.

Date _____ Company Name _____

By _____ Address _____
Signature

Printed Name

Title _____ Phone Number _____

Email Address _____

The vendor's agreement to pay prevailing wage rates is one relevant consideration that Meridian Township may make in its determination of which bidder should receive this contract. Meridian Township may thus consider in awarding this contract whether any vendor voluntarily pays employees and sub-contractors, directly upon the site of work, at least the prevailing wages and fringe benefits as determined and published by the United States Department of Labor for the Ingham County area.

Will the bidder voluntarily pay its employees and sub-contractors, directly upon the site of work, at least the prevailing wages and fringe benefits as determined and published by the United States Department of Labor for the Ingham County area. Please circle one below:

Yes or No

NEWTON ROAD PARK PATHWAY - 2025

THIS CONTRACT, dated _____, 2025 by and between _____, hereinafter called the "CONTRACTOR", and Meridian Charter Township, 5151 Marsh Road, Okemos, MI 48864-1198, hereinafter called the "OWNER".

WITNESSETH, that the CONTRACTOR and the OWNER for the consideration herein agree as follows:

ARTICLE I. SCOPE OF WORK.

The CONTRACTOR shall perform everything required to be performed and shall provide and furnish all labor, materials, necessary tools, expendable equipment and all utility and transportation services required to perform and complete in a workmanlike manner all the work required for constructing the project as described in the Advertisement and Proposal and for performing all related work for the OWNER, required by and in strict accordance with the plans and specifications, including any and all addenda, and other Contract Documents mentioned and made a part hereof.

ARTICLE II. THE CONTRACT PRICE.

The OWNER shall pay for constructing the project complete with all labor, materials, equipment, appurtenances, surface restoration and related work in strict accord with the Plans and Specifications, ready for use, the unit prices as listed in the Proposal and herein made a part of this Contract. Payment shall be made to the CONTRACTOR in accordance with and subject to the conditions specified under General Conditions.

ARTICLE III. TIME.

Time is of the essence in the performance of this contract. The CONTRACTOR agrees to start work within ten (10) days of issuance of the Notice to Proceed and to fully complete the work so as to permit use of the project by the OWNER within the number of calendar days or by the completion date listed in the Advertisement.

ARTICLE IV. DELAYS AND DAMAGES.

If the CONTRACTOR refuses or fails to prosecute the work, or any separate part thereof, with such diligence as will insure its substantial completion, ready for operation within the number of consecutive calendar days specified herein, or any extension thereof, or fails to complete said work within such time, the OWNER may, by written notice to the CONTRACTOR, terminate the CONTRACTOR's right to proceed with the work or such part of the work as to which there has been delay. In such event, the OWNER may take over the work and prosecute the same to completion by contract or otherwise, and the CONTRACTOR and his sureties shall be liable to the OWNER for any excess cost occasioned thereby. If the CONTRACTOR's right to proceed is so terminated, the OWNER will take possession of and utilize in completing work such materials, appliances, and plant as may be on the site of the work and necessary therefore.

If the OWNER does not terminate the right of the CONTRACTOR to proceed, the CONTRACTOR shall continue to work, in which event the actual damages for the delay will be impossible to determine and in lieu thereof the CONTRACTOR shall pay the OWNER the sum of one thousand dollars (\$1,000.00) per day as fixed, agreed, and liquidated damages for each calendar day of delay until the work is substantially completed, ready for operation and the CONTRACTOR and his sureties shall be liable for the amount thereof. However, the right of the CONTRACTOR to proceed shall not be terminated or the CONTRACTOR charged with liquidated damages because of any delays in the completion of the work due to unforeseeable causes beyond control and without the fault or negligence of the CONTRACTOR, including, but not restricted to acts of God, or of the public enemy, acts of the OWNER, fires, floods, epidemics, quarantine restrictions, delays of subcontractors due to such causes, if the CONTRACTOR shall, within ten (10) days from the beginning of any such delay (unless the OWNER shall grant a further period of time prior to the date of final settlement of the Contract) notify the OWNER in writing of the cause of delay and extend the time for completing the work when, in OWNER's judgement, the finding of fact justify such an extension and OWNER's findings of fact thereon shall be final and conclusive on the parties thereto. In no event shall bankruptcy or labor disputes, or the like, either of CONTRACTOR or any of its subcontractors or suppliers, be considered as an unforeseeable cause beyond the control and without the fault or negligence of the CONTRACTOR.

ARTICLE V. COMPONENT PARTS OF THIS CONTRACT.

This Contract consists of the following component parts, all of which are as fully a part of the Contract as if herein set out verbatim, or, if not attached: 1) Advertisement, 2) Instructions to Bidders, 3) Proposal, 4) Addenda, 5) Contract, 6) Bonds and Insurance, 7) General Conditions, 8) General Specifications, 9) Ingham County Department of Transportation and Roads Specifications, 10) Standard Specifications, 11) Special Provisions, 12) Plans, and 13) Notice to Proceed.

IN WITNESS WHEREOF, the parties hereto have caused this instrument to be executed in three (3) original counterparts the day and year first above written.

CONTRACTOR

WITNESS:

By: _____

Title: _____

CHARTER TOWNSHIP OF MERIDIAN
OWNER

WITNESS:

By: _____

Scott Hendrickson

Title: Supervisor

Date: _____

NOTICE OF AWARD

Dated: _____

TO: _____

ADDRESS: _____

CONTRACT: NEWTON ROAD PARK PATHWAY - 2025

You are notified that your Bid dated _____, for the above Contract has been considered. You are the apparent Successful Bidder and have been awarded a Contract for **NEWTON ROAD PARK PATHWAY - 2025.**

The Contract Price of your Contract is: \$ _____.

Three copies of each of the proposed Contract Documents accompany this Notice of Award.

You must comply with the following conditions within 10 days of the date you receive this Notice of Award.

1. Deliver to the OWNER **three** fully executed counterparts of the Contract Documents. (Each of the Contract Documents must bear your signature on page C-3.)
2. Deliver with the executed Contract Documents the Contract security (Bonds and Insurance) as specified in General Conditions (GC).
3. If not listed as the owner, president, or partner, we need a letter (on letterhead) stating the person signing contract, has permission to sign the contract.

Failure to comply with these conditions within the time specified will entitle OWNER to consider your Bid in default, to annul this Notice to Award and to declare your Bid security forfeited.

Within ten days after you comply with the above conditions, OWNER will return to you one fully executed counterpart of the Contract Documents.

CHARTER TOWNSHIP OF MERIDIAN

By: _____

Dan Opsommer
Deputy Township Manager
Director of Engineering & Public Works

NOTICE TO PROCEED

Dated: _____

TO: _____

ADDRESS: _____

CONTRACT: **NEWTON ROAD PARK PATHWAY - 2025**

You are notified that the Contract Times under the above Contract will commence to run on _____ 2025. By that date, you are to start performing your obligations under the Contract Documents. In accordance with Article III of the Contract, the date of Completion is: _____ **2025.**

Deliver to **OWNER** an acknowledged copy of this Notice to Proceed.

MERIDIAN TOWNSHIP

By: _____
Younes Ishraidi, P.E.
Township Engineer/Deputy Director PW

ACKNOWLEDGEMENT OF ACCEPTANCE OF NOTICE TO PROCEED

CONTRACTOR acknowledges acceptance of this Notice to Proceed this _____ day of _____, 2025.

By: _____
.

GENERAL CONDITIONS

GENERAL CONDITIONS

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- GC.1 CONTRACT SECURITY
- GC.2 CONTRACTORS' AND SUBCONTRACTORS' INSURANCE
 - A. Policies, Coverages and Endorsements
 - B. Builder's Risk Insurance (Fire and Extended Coverage)
 - C. Owner's Protective Liability
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 - F. Indemnification and Hold Harmless
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GENERAL CONDITIONS

GC.1 CONTRACT SECURITY

The Contractor shall furnish a surety bond, by a duly authorized surety company satisfactory to the Owner, in an amount equal to 100 percent (100%) of the Contract price as security for the faithful performance of this Contract. The Contractor shall also furnish a separate surety bond, by a duly authorized surety company satisfactory to the Owner, in an amount equal to 100 percent (100%) of the Contract price as security for the payment of all persons performing labor and/or furnishing materials.

The surety company writing the bid, performance, labor and material, and maintenance bond shall be: 1) acceptable to the Owner, 2) be listed in the Federal Register as published by the U.S. Department of Treasury under most recently revised Circular 570; 3) have an A.M. Best Company's Insurance reporting rating of no less than A- (Excellent); and 4) authorized to do business in the State of Michigan by the Michigan Department of Licensing & Regulatory Affairs Office of Financial and Insurance Regulations. Upon request, the Contractor shall submit evidence of such insurance.

GC.2 CONTRACTORS' AND SUBCONTRACTORS' INSURANCE

The Contractor shall not commence work under this Contract until he/she has obtained all the insurance required under this section and such insurance has been approved by the Owner, nor shall the Contractor allow any subcontractor to commence work on his/her subcontract until all similar insurance required of the subcontractor has been so obtained and approved. Contractors and subcontractors are required to file with the Owner completed certificates of insurance, as evidence that they carry adequate insurance to comply with the requirement of this section. New Certificates of Insurance shall be furnished to the Owner at the renewal date of all policies named on these certificates.

A. Policies, Coverages, and Endorsements

The Contractor agrees to maintain, or to cause its personnel providing services under this Contract to maintain, at its sole cost and expense or the cost and expense of his personnel, the following insurance policies, with the specified coverages and limits, to protect and insure the Owner and Contractor against any claim for damages arising in connection with Contractors responsibilities or the responsibilities of Contractors personnel under this Contract and all extensions and amendments thereto.

1. **Commercial General Liability**

a.	General Aggregate	\$2,000,000
b.	Each Occurrence	\$1,000,000

Such insurance shall include, but not be limited to, coverage for:
Comprehensive form, Premises-operations, Explosion and collapse hazard, Underground hazard, Products/completed operations hazard, Contractual insurance, Broad form property damage, Independent contractor, Personal injury

2. **Workers' Compensation & Employer' Liability** (if applicable)

a.	Medical & Indemnity	Statutory Requirements
b.	Bodily Injury by Accident	\$500,000 Each Accident
c.	Bodily Injury by Disease	\$500,000 Each Employee
d.	Bodily Injury by Disease	\$500,000 Policy Limit
e.	Employers Liability	\$500,000

3. **Automobile Liability**

Including hired and non-owned Automobiles \$1,000,000 (Combined Single Limit)
Such insurance shall include, but not be limited to, coverage for:
Comprehensive form, Owned vehicles, Hired vehicles, Non-owned vehicles

GENERAL CONDITIONS

GC.2 CONTRACTORS' AND SUBCONTRACTORS' INSURANCE (Cont'd.)

B. Builder's Risk Insurance (Fire and Extended Coverage)

Until the project is completed and accepted by the Owner, the Contractor is required to maintain Builder's Risk Insurance (fire and extended coverage) on a 100 percent completed value basis on the insurable portion of the project for the benefit of the Owner, the Contractor, and subcontractors as their interests may appear.

C. Owner's Protective Liability

The Contractor shall procure and shall maintain during the life of this Contract Owner's/Contractor's Protective Liability Insurance, listing the Owner as the named insured. The minimum limit of liability shall be not less than \$1,000,000.00 per occurrence/aggregate.

D. Insured Parties

All policies shall contain a provision naming The Charter Township of Meridian, it's Board of Trustees, agents, officers, employees, and volunteers as Additional Insured parties on the original policy and all renewals or replacements during the term of this Contract.

E. Acceptable Insurance Companies

All insurance companies required by this section shall be: 1) acceptable to the Owner; 2) authorized to do business in the State of Michigan by the Michigan Department of Licensing & Regulatory Affairs Office of Financial and Insurance Regulations, and 3) have an A.M. Best Company's Insurance reporting rating of no less than A- (Excellent). Upon request, the Contractor shall submit evidence of such insurance.

F. Indemnification and Hold Harmless

The Contractor shall, at its own expense, protect, defend, indemnify and hold harmless the Owner and its elected and appointed officers, employees, and agents from all claims, damages, costs, lawsuits and expenses, including, but not limited to, all costs for administrative proceedings, court costs and attorney fees that they may incur as a result of any acts, omissions, or negligence of the Contractor, its subcontractors, sub-subcontractors or any of their officers, employees, or agents. This includes but is not limited to injury or death to any person or persons, including the contractors employees, and damage to property. The furnishing by the Contractor of any insurance required by this Contract, or the acceptance or approval thereof by the Owner as provided in this Contract, or otherwise, shall not diminish the Contractor's obligation to fully indemnify the Owner, its elected and appointed officers, employees, and agents as required in this section.

The Contractor shall not cancel or reduce the coverage of any insurance required by this section without providing 30-day prior written notice to the Owner. All such insurance must include an endorsement whereby the insurer shall agree to notify the Owner immediately of any reduction by the Contractor. The Contractor shall cease operations on the occurrence of any such cancellation or reduction, and shall not resume operations until new insurance is in force.

GC.3 QUALIFICATION FOR EMPLOYMENT

The Contractor shall employ competent laborers and mechanics for the work under this Contract, and shall comply with all applicable regulations of the United States Department of Labor and any other agencies having jurisdiction.

GC.4 PROGRESS SCHEDULE

The Contractor, if requested by the Owner, immediately after being awarded the Contract, shall prepare and submit to the Owner and its representative an estimated progress schedule for the work in relation to the entire project. This schedule shall indicate the dates for the starting and completion of the various stages of construction.

GENERAL CONDITIONS

GC.4 PROGRESS SCHEDULE (Cont'd.)

If the Contractor chooses to work overtime, they will be backcharged for inspection. Overtime is any Township recognized holiday and/or any time other than 8:00 a.m. to 5:00 p.m., local time, Monday through Friday. No work will be allowed at the site prior to 7:00 a.m. or after 7:00 p.m., or dusk, of any working day. No work will be allowed on Sundays with the exception of work necessitated by an emergency.

GC.5 ACCIDENT PREVENTION

Precaution shall be exercised at all times for the protection of persons (including employees) and property, and hazardous conditions shall be guarded against or eliminated. The Contractor is entirely responsible for all aspects of job safety and shall execute the work under this Contract in strictest conformance with all state and local safety codes, rules and regulations.

GC.6 CONTRACT PRICE SCHEDULE

The Contractor, if requested by the Owner, shall submit to the Owner a cost breakdown for the various items of the work. The schedule shall be prepared in a manner acceptable to the Owner as to both form and completeness and supported by data as necessary to substantiate its correctness.

GC.7 PAYMENT TO CONTRACTOR

The Contractor shall submit semi-monthly, or at longer intervals, if he so desires, an invoice covering work previously performed for which he believes payment, under the Contract terms, is due, and shall deliver said invoice to the Owner. Each request for payment shall be accompanied by a statement certifying that all bills for labor and materials have been paid up for all previous pay requests.

Each progress payment request shall be paid within one of the following time periods, whichever is later:

- A. Thirty (30) days after the Owner has certified that the work is in place in the portion of the facility covered by the applicable request for payment in accordance with the documents.
- B. Fifteen (15) days after the Owner has received the funds with which to make the progress payment from a department or agency of the federal or state government, if any funds for the facility are to come from either of these sources.

To assure proper performance of the Contract by the Contractor, the Owner shall retain ten percent (10%) of the dollar value of all work in place until the work is fifty percent (50%) in place. After the work is fifty percent (50%) in place, additional retainage shall not be withheld unless the Owner determines that the Contractor is not making satisfactory progress, or for other specific cause relating to the Contractor's performance under the Contract. In the event of such a determination the Owner may retain up to but not to exceed ten percent (10%) of the dollar value of the work more than fifty percent (50%) in place.

Any funds retained by the Owner shall not exceed the prorated share of the Owner's matching requirement if the project is funded, in part, with federal or state funds. Any retained funds shall not be commingled with other funds of the Owner and shall be deposited in an interest-bearing account in a regulated financial institution.

At any time after ninety-four percent (94%) of the work under the Contract is in place and at the request of the Contractor, the Owner shall release the retainage plus interest, only if the Contractor provides to the Owner an irrevocable letter of credit in the amount of the retainage plus interest, issued by a bank authorized to do business in the State of Michigan, containing terms mutually acceptable to the Contractor and Owner.

Retainage shall be released to the Contractor together with the final progress payment.

GENERAL CONDITIONS

GC.7 PAYMENT TO CONTRACTOR (Cont'd.)

Owner and Contractor agree that disputes concerning retainage, at the option of the Owner, shall be submitted to the decision of the agent as provided in Section 4 of Act 524 of the Michigan Public Acts of 1980 (MCLA 125.1564; MSA 5.2949 (104)) and that interest earned on retainage shall be released to the Contractor together with the final progress payment except as provided in said Section 4 of 1980 PA 524.

The final progress payment request by the Contractor shall include:

- A. A final invoice in a form satisfactory to the Owner.
- B. A sworn statement certifying that all bills for labor and materials have been paid by the Contractor.
- C. A sworn statement waiving any further claims (other than the final payment, retainage and interest, if any) by the Contractor against the Owner.
- D. A certificate from Contractor's bonding company approving issuance of final payment.

All payments shall take due account of additions to or deductions from the Contract price as herein provided.

The acceptance by the Contractor of payment on the final progress payment request shall be conclusive evidence of Contractor's acceptance and approval of estimates, accounting and deductions, and of full payment by the Owner for all work, labor, materials and services done or furnished hereunder, and a full satisfaction, discharge, release and waiver of all claims and demands of or on behalf of the Contractor, its agents or employees against the Owner arising out of this agreement.

GC.8 SUBCONTRACTING

The Contractor shall not award any work to any subcontractor, supplier, manufacturer or fabricator without prior written approval of the Owner, which approval will not be given until the Contractor submits a written statement to the Owner concerning the proposed award to the subcontractor. Said statement shall contain such information as the Owner may require.

The Contractor shall be as fully responsible to the Owner for the acts and omissions of his subcontractors and of persons either directly or indirectly employed by them, as he is for the acts and omissions of persons directly employed by him.

The Contractor shall cause appropriate provisions to be inserted in all subcontracts relative to the work to bind subcontractors to the Contractor by the terms of the General Conditions and other Contract documents insofar as applicable to the work of the subcontractors, and to give the Contractor the same power of terminating any subcontract that the Owner may exercise over the Contractor under any provision of the Contract documents.

Nothing contained in this Contract shall create any contractual relation between any subcontractor and the Owner.

GC.9 ASSIGNMENTS

The Contractor shall not assign the whole or any part of this Contract or any monies due or to become due hereunder without written consent of the Owner. In case the Contractor assigns all or any part of any monies due or to become due under this Contract, the instrument of assignment shall contain a clause substantially to the effect that it is agreed that the right of the assignee in and to any monies due or to become due to the Contractor shall be subject to prior liens of all persons, firms and corporations for services rendered or materials supplied for the performance of the work called for in this Contract.

GENERAL CONDITIONS

GC.10 EXTRAS

Except as otherwise herein provided, no charge for any extra work or materials will be allowed unless the same has been ordered in writing by the Owner and the price stated in such order.

GC.11 CHANGES IN WORK/PAYMENT ADJUSTMENTS

Adjustments, if any, in the amounts to be paid by the Contractor by reason of changes in, additions to, or deductions from the work to be performed or the materials to be furnished under this Contract, shall be made on the basis of the acceptable unit prices or lump sums submitted by the Contractor covering such changes, additions or deductions.

Failing an acceptable lump sum or unit price basis for extra work caused by changes or additions, the Contractor may be directed to proceed with extra work on the basis of actual total cost of:

- A. Labor, including foremen (including fringe benefits);
- B. Materials entering permanently into the work;
- C. The ownership or rental cost of construction plant and equipment during the time of use on the extra work at a rate not to exceed AGC rates;
- D. Power and consumable supplies for the operation of power equipment;
- E. Insurance;
- F. Social Security and unemployment contributions.

To the cost of the six items above, there shall be added a fixed fee, to be agreed upon but not to exceed fifteen percent (15%) of the actual cost of the work. The single fee shall be compensation to both the Contractor and/or subcontractor to cover the cost of supervision, overhead, bond, profit and any other general expenses.

Failing an acceptable lump sum or unit price basis for adjustment for any decrease in work caused by changes or deductions, the amount of such adjustment may be determined on a similar basis to that described for extra work, with the Contractor furnishing all pertinent cost data from his/her books and records that may be available and necessary for determination of the amount of adjustment.

All changes in, additions to, or deductions from the work specified shall be made only by written order by the Owner or by an authorized representative of the Owner. No claim for extra work will be allowed, unless ordered in writing as above stated, and the claim therefore presented in writing by the Contractor on or before the fifth (5th) day of the month following that in which the work was done.

GC.12 TIME OF MAKING CLAIMS

If the Contractor shall claim compensation or extension of time for any losses, damages, or delays sustained by reason of the acts of the Owner or its agents or other causes, he/she shall make a written statement of the nature of the loss, damage, or delay sustained to the Owner, within ten (10) days after the sustaining of such loss, damage, or delay. At the time of delivery and as a part of the Contractor's Declaration as hereinafter provided, the Contractor shall file with the Owner an itemized statement of the details and amounts of the loss, damage, or delay, and unless the statement shall be made as thus required, the Contractor's claim for compensation or extension of time shall be forfeited and invalidated, and he/she shall not be entitled to payment or extension of time on account of any such loss, damage or delay.

GENERAL CONDITIONS

GC.13 MATERIALS, SERVICES, AND FACILITIES

It is understood that except as otherwise specifically stated in the Contract documents, the Contractor shall provide and pay for all materials, labor, tools, equipment, water, light, power, transportation, superintendence, temporary construction of every nature and all construction facilities whatsoever necessary to execute, complete, and deliver the work within the specified time.

Any work necessary to be performed after regular working hours, or Sundays and legal holidays, shall be performed without additional expense to the Owner.

GC.14 TERMINATION FOR BREACH

In the event that any of the provisions of this Contract are violated by the Contractor or by any of his subcontractors, the Owner may serve written notice upon the Contractor and the Surety of its intention to terminate the Contract, such notice to contain the reasons for terminating the Contract, and unless within ten (10) days after the serving of such notice upon the Contractor, the violation shall cease and satisfactory arrangements for correction be made, the Contract shall cease and terminate. In the event of a termination of the Contract, the Owner shall immediately serve notice thereof upon the Surety and the Contractor, and the Surety shall have the right to take over and perform the Contract.

However, if the Surety does not commence performance thereof within 30 days from the date of mailing said Notice of Termination to such Surety, the Owner may take over the work and prosecute the same to completion by contract for the account and at the expense of the Contractor. The Contractor and his Surety shall be liable to the Owner for any excess cost incurred by the Owner in completing the work, and Owner may take possession of and utilize in completing the work, all materials, appliances and plants as may be on the site of the work and necessary therefore.

GC.15 OWNER'S RIGHT TO WITHHOLD CERTAIN AMOUNTS AND MAKE APPLICATION THEREOF

The Owner may withhold a sufficient amount of any payment otherwise due to the Contractor to cover:

- A. Payments that may be past due and payable for just claims for labor, materials, or equipment furnished in and about the performance of the work on the project under this Contract.
- B. For defective work not remedied.
- C. For failure of the Contractor to make proper payments to his subcontractors.

The Owner shall disburse and shall have the right to act as agent for the Contractor in disbursing such funds as have been withheld pursuant to this paragraph to the party or parties who are entitled to payment therefrom. Any payment so made by the Owner shall be considered as a payment made under the Contract by the Owner to the Contractor. The Owner will render to the Contractor a proper accounting of all funds disbursed in behalf of the Contractor.

GC.16 SUPERINTENDENCE

The Contractor shall give his/her personal superintendence to the work or have a competent foreman or superintendent, satisfactory to the Owner, on the worksite at all times during work progress, with authority to act for the Contractor.

GENERAL CONDITIONS

GC.17 NOTICE AND SERVICE THEREOF

Where in any of the Contract documents there is any provision in respect to the giving of any notice, such notice shall be deemed to have been given; as to the Owner, when written notice shall be delivered to the Owner, or shall have been placed in United States mails with first-class postage pre-paid addressed to the chief executive officer of the Owner at the place where the bids or proposals for the Contract were opened; as to the Contractor, when a written notice shall be delivered to the chief representative of the Contractor, at the site of the project or by mailing such written notice in the United States mails with first-class postage pre-paid addressed to the Contractor at the place stated in the papers prepared by him to accompany his proposal as to the address of his permanent place of businesses; as to the Surety, when a written notice is placed in the United States mails with first-class postage pre-paid addressed to the Surety at the home office of such Surety or to its agent or agents who executed bonds in behalf of such surety.

GC.18 COMPLIANCE WITH LAW, APPLICABLE LAW, AND VENUE

The Contractor shall comply with all applicable Federal, State, County, and Municipal laws, ordinances, rules and regulations.

This contract shall be construed according to the laws of the State of Michigan.

The venue for the bringing of any legal or equitable action under this contract shall be the County of Ingham, of the State of Michigan. In the event that any action is brought under this Contract in Federal Court, the venue for such action shall be the Federal Judicial District of Michigan, Western District, Southern Division.

GC.19 PERMITS

The Township will secure and pay for the Building Permit from the Meridian Township Building Department. All other permits or licenses which may be needed for prosecution of the work are to be obtained by the Contractor at the Contractor's expense.

GC.20 ROYALTIES AND PATENTS

The Contractor shall pay for all royalties and patents, and defend all suits or claims for infringement on any patent right, and shall save and hold harmless the Owner from loss on account thereof.

GC.21 INSPECTIONS

The Owner and its representative shall at all times have access to the work wherever it is in preparation or progress and the Contractor shall provide facilities for such access and for inspection.

The Owner and/or its representative shall have the right to reject materials and workmanship which are defective, or require their correction. Work on the project may be ordered terminated until correction is made. Rejected workmanship shall be satisfactorily corrected, and rejected materials shall be removed from the premises without charge to the Owner. If the Contractor does not correct condemned work and remove rejected materials within a reasonable time, fixed by written notice, the Owner may remove them and charge the expense to the Contractor.

Should it be considered necessary or advisable by the Owner at any time before final acceptance of the entire work to make an examination of work already completed, by removing or tearing out same, the Contractor shall on request promptly furnish all necessary facilities, labor, and materials. If the work is found to be defective in any material respect, due to fault of the Contractor or their subcontractors, they shall defray all the expenses of examination and satisfactory reconstruction. If, however, the work is found to meet the requirements of the Contract, the actual cost of labor and material necessarily involved in the examination and replacement, plus 15 percent (15%) shall be allowed the Contractor.

GENERAL CONDITIONS

GC.22 CORRECTION OF WORK AFTER FINAL PAYMENT

Neither the final payment nor any provision in the Contract documents nor partial or entire occupancy of the premises by the Owner shall relieve the Contractor of the responsibility for negligence or faulty materials or workmanship within the extent and period provided by law, and, upon written notice, he/she shall repair any defects due thereto and pay for any damage due to other work resulting therefrom, which shall appear within **one year** after date of completion and acceptance.

GC.23 PROTECTION OF WORK

The Contractor shall continuously maintain adequate protection of all his/her work from damage and shall protect the Owner's and adjacent property from injury arising in connection with this Contract, and shall be responsible for all damage and/or injury caused by or arising out of his operations.

GC.24 USE OF JOB SITE

The Contractor shall confine his/her equipment apparatus, the storage of materials and operations of his/her workmen to limits indicated by law, ordinances, permits or directions of the Owner and shall not encumber the premises with his materials.

GC.25 "OR EQUAL" CLAUSE

Whenever in any of the Contract documents an article, material or equipment is defined by describing a proprietary product, or by using the name of a manufacturer or vendor, the term "or equal" if not inserted, shall be implied. The specific article, material or equipment mentioned shall be understood as indicating the type, function, minimum standard of design, efficiency, and quality desired and shall not be construed in a manner so as to exclude manufacturer's products of comparable quality, design and efficiency. The Contractor shall comply with the requirement of the Contract documents relative to the Owner's approval of materials and equipment before they are incorporated in the project.

GC.26 PLANS AND SPECIFICATIONS

The Contractor shall keep on the worksite a copy of the drawings and specifications and shall at all times give the Owner access thereto. Anything mentioned in the specifications and not shown on the drawings, or shown on the drawings and not mentioned in the specifications, shall be of like affect as if shown or mentioned in both. In case of difference between drawings and specifications the specifications shall govern. In any case of discrepancy in the figures, drawings or specifications, the matter shall be immediately submitted to the Owner, without whose decision said discrepancy shall not be adjusted by the Contractor, save only at his/her own risk and expense.

The Owner shall furnish from time to time such detail drawings and other information as he/she may consider necessary, unless otherwise provided. The Contractor shall keep such drawings at the site of the work.

GC.27 OWNER'S RIGHT TO DO WORK

If the Contractor should neglect to prosecute the work properly or fail to perform any provision of this Contract, the Owner three (3) days after given written notice to the Contractor and his/her Surety may, without prejudice to any other remedy the Owner may have, make good such deficiencies and may deduct the cost thereof from the payment due to the Contractor.

GENERAL CONDITIONS

GC.28 CLEANING UP

The Contractor shall at all times keep the premises free from accumulations of waste material or rubbish caused by his/her employees or work, and at the completion of the work he/she shall remove all his/her rubbish from and about the work and all his/her tools, equipment, scaffolding and surplus materials and shall leave his/her work clean and ready for use. In case of dispute, the Owner may remove the rubbish and surplus materials and charge the cost to the several Contractors in proportion to the amounts as shall be determined to be just.

GC.29 REPORTS, RECORDS AND DATA

The Contractor and each of his/her subcontractors shall submit to the Owner such schedules of quantities, costs, progress schedules, payrolls, reports, estimates, records, and other data as the Owner may request concerning work performed or to be performed under this Contract.

GC.30 NON-DISCRIMINATION IN EMPLOYMENT

The Contractor shall adhere to all applicable Federal, State and local laws, ordinances, rules and regulations prohibiting discrimination with regards to employees and applicants for employment. The Contractor, as required by law, shall not discriminate against an employee or applicant for employment with respect to hire, tenure, terms, conditions or privileges of employment, or a matter directly or indirectly related to employment because of race, color, religion, national origin, age, sex, height, weight, marital status, or handicap that is unrelated to the individual's ability to perform the duties of a particular job or position. Breach of this section shall be regarded as a material breach of this Contract.

GC.31 DEFINITIONS

The following terms as used in these Contract documents are respectively defined as follows:

- (a) "Contractor" The person, firm or corporation to whom the within Contract is awarded by the Owner and who is subject to the terms hereof.
- (b) "Subcontractor" A person, firm or corporation other than a Contractor, supplying labor and materials or labor for work at the site of the project.
- (c) "Project" The total construction proposed by the Owner to be constructed in part or in whole pursuant to the within Contract.
- (d) "Work on the Project" Work to be performed, including work normally done, at the location of the project.
- (e) "Surety" Any person, firm or corporation that has executed, as surety, the Contractor's performance and/or labor and material bonds securing the attached Contract.
- (f) "Owner" The public body or authority for whom the work is to be performed and as identified in the advertisement and proposal.
- (g) "Engineer" The Director of Public Works and Engineering for the Meridian Township or their authorized representative.

GENERAL SPECIFICATIONS

GENERAL SPECIFICATIONS

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GS.1 DEFINITION

The Contractor shall furnish all materials specified herein, shown on the plans, and required to be incorporated in the work of the Contract. They shall furnish all labor, construction equipment, tools, supplies and facilities required to construct the elements designated by the Contract documents and shall construct all of the designated elements complete and in full conformance with the requirements of these documents. They shall comply with all regulatory provisions of the Contract, General Conditions and the Specifications.

GS.2 ELEVATIONS

All the elevations shown on the plans or referred to herein are in feet above mean sea level datum as established by the United States Geological Survey, unless otherwise noted. The Contractor shall verify all the existing structure locations and elevations at points of connection or possible interference between their work and the existing structures and shall report at once to the Engineer any interference's or discrepancies discovered.

GS.3 QUALITY OF MATERIALS AND EQUIPMENT FURNISHED

All materials and equipment furnished by the Contractor hereunder shall be new and conform to specifications herein.

Materials, supplies, and equipment, whether furnished by the Contractor or the Owner, shall be stored at the site of the work in such manner as not to interfere with traffic, convenience to public or other Contractors on the site or in the vicinity. The Contractor shall be responsible for any damage caused to new or existing structures by reason of such storage or handling of materials, supplies, or equipment.

Flammable materials in portable containers are not to be stored overnight on the site. This includes, but is not limited to, gasoline and diesel fuel for use in construction machinery. Portable containers

GENERAL SPECIFICATIONS

suitably protected, will be allowed overnight at the site, if confined to permanent tanks which are a normal part of the construction machinery.

GS.3 QUALITY OF MATERIALS AND EQUIPMENT FURNISHED (Cont'd.)

Where the Contractor is required to do work within rights of way under the jurisdiction of governmental bodies, they shall meet the requirements of said governmental bodies for work and storage within their jurisdiction. Such requirements must be met as a minimum requirement, and if the specifications given herein impose further limitation on the work, they shall also be met as the required work standard.

The Contractor's attention is directed to the Ingham County Road Department permit specifications, Section 5. Restoration and Maintenance of Right-Of-Way (e.), for dust control requirements.

GS.4 CARE OF EXISTING STRUCTURES

The Contractor shall be solely responsible for any damage to any existing underground services or structures, or to structures and roadway above ground caused by their operations or those of their subcontractors and suppliers.

GS.5 CARE OF NEW STRUCTURES

The Contractor shall use every reasonable precaution to prevent injury to the new structures being constructed hereunder. They shall be responsible to correct all injury or damage resulting from their operations and/or occurring while the work is under their supervisory control. They shall furnish and install such guards, coverings and other protection as may be needed to insure that the structures remain undamaged prior to completion of the entire work.

In the event damage does occur to the finished portions of the work, or to the work in progress, the Contractor shall take such corrective action and measures as may be necessary to repair the damage to the satisfaction of the Engineer.

GS.6 EXISTING PUBLIC UTILITIES

Existing public utilities and underground structures such as pipelines, electric conduits and sewers are shown on the drawings from available information. The Contractor shall, through Miss Dig and any other reasonable measures, verify the exact location of underground utilities for themselves.

The Contractor shall conduct their operations so as not to damage any existing utility whether or not shown on the plans. The Contractor shall correct, at their own expense, any damage or injury that may be caused by them during their operations or damage or injury caused during the operations of their subcontractors or suppliers.

The Contractor shall be responsible for coordinating relocation or repair of existing public and private utilities with the appropriate utility or owner. No extra payment will be allowed for repairs.

If the Contractor desires, or is required by the utility companies, to relocate any power or telephone poles to facilitate their work, any expense encountered from such relocation shall be borne by the Contractor.

GS.7 PROTECTION OF TREES AND SHRUBS

All trees and shrubs encountered along the route of the project shall be protected from damage by the Contractor and saved from harm resulting from any of their operations or operations of their subcontractors and suppliers. Only those trees and shrubs marked for removal on the plans shall be removed. All others will be saved from damage by tunneling or by slightly adjusting the alignment of the project as directed by the Engineer.

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GS.8 SAFETY PRECAUTIONS

During the progress of the work, the Contractor shall maintain adequate facilities for the protection and safety of all persons and property. The Contractor and all their subcontractors and suppliers shall comply with the "Construction Safety and Health Standards" as published by the Michigan Occupational Safety and Health Administration, and to all other local, state and federal laws, ordinances, rules and regulations pertaining to safety of persons or property.

GS.9 SANITARY REQUIREMENTS

The Contractor shall provide adequate sanitary facilities for all persons employed on this Project. The sanitary facilities shall conform in every way to the requirements of the "Construction Health and Safety Standards" as published by the Construction Safety Standards Commission of the State of Michigan.

GS.10 UTILITIES

The Contractor shall make all necessary arrangements for the provision of all utility services required to prosecute the work under this Contract. The Contractor shall pay the costs for such connections and service. Where the Owner has utility service at the site, the Contractor may obtain service by connection to the Owner's service, subject to reasonable regulation of its use and satisfactory agreement as to charges. In the event that the Contractor's use of any or all of the Owner's utility services causes the Owner to have an inadequate supply of such service, the Contractor shall disconnect said service and provide their own separate supply at no cost to the Owner.

All utility services shall be inspected by and meet the requirements of the applicable local codes and governmental bodies.

GS.11 PUMPING AND DRAINAGE

Adequate pumping and drainage facilities shall be provided and water from whatever sources entering the work during any stage of construction shall be removed promptly and disposed of. All pumping and drainage shall be done with no damage to property or structures and without interference with the right of the public, owners of private property, pedestrians, vehicular traffic, or the work of other contractors. Dewatering shall be done in such a manner that the soil under or adjacent to existing structures shall not be disturbed, removed or displaced.

The overloading or obstructing of existing drainage facilities shall not be permitted, and the Contractor shall be solely responsible for damages caused to such existing drainage facilities by their operations. Additionally, sufficient measures shall be utilized to prevent migration of soil from the site due to any pumping or drainage activities.

GS.12 WINTER CONSTRUCTION

The Engineer has authority over approving the prosecution of work which is proposed to be done during the winter months. The Contractor shall provide adequate weather protection, temporary heating and take any other measures which are necessary to ensure that work performed during the winter months is properly installed and protected against damage from freezing.

Reference is made in Division 4 of the Technical Specifications to the requirements for performing concrete construction and masonry construction in cold weather.

GS.13 USE OF FACILITIES BEFORE FINAL COMPLETION

The Owner shall have the right to make use of, during construction, such portions of completed and acceptably tested facilities as it finds practicable. Such use by the Owner shall not relieve the Contractor from responsibility for any defective work which may be subsequently discovered.

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GS.14 TEST OF MATERIALS

All laboratory tests, except as otherwise noted, are to be made at the expense of the Contractor as specified in the Technical Specifications. The Contractor shall furnish satisfactory containers for taking and shipping samples. The name of the laboratory making the test must be submitted by the Contractor to the Engineer for approval.

In all cases "laboratory" refers to an independent laboratory of recognized standing. Acceptance of materials tested shall be based upon compliance with the specifications hereinafter stated for the various items. Where no particular tests are specified, the tests shall be those normally made for determination of the fitness of the particular material. Certificates of tests shall be furnished by the testing laboratory or producer, in triplicate, to the Engineer.

The Owner may require, at its own option and expense, additional mill and/or shop inspection by competent parties. The Owner may require, at its own option and expense, additional field inspection by a qualified inspector.

All materials failing to meet the requirements of the specifications, as determined by test or otherwise, shall be rejected and not used in the work. The cost of testing materials which fail to meet requirements shall be paid by the Contractor. All follow-up testing required shall also be paid by the Contractor. Materials, if rejected at the site, shall be immediately removed therefrom and shall not be used in the work.

GS.15 OTHER WORK

The Contractor shall cooperate with other Contractors on the site or adjoining work to the end that the entire Project may proceed with the utmost harmony and with a minimum of delay.

Where the work under this Contract is to involve work completed under other contracts or existing facilities or structures, the Contractor shall investigate the condition of such other work or facility to determine its suitability for incorporation into the work of this Contract. Any defect or discrepancy in other work of facility making it unsuitable for proper execution of this Contract shall be immediately reported to the Owner who shall order such adjustments in the work of the project as necessary for proper completion, and unless such defect or discrepancy is reported promptly, the Contractor shall be solely responsible for any adjustments in the work as shall be found necessary to properly complete the work on this project.

GS.16 LINES AND GRADES

General control lines and grades will be established by the Owner. The Contractor shall notify the Engineer no less than 48 hours prior to requiring such control. The Contractor shall furnish all stakes and labor for driving them and rodmen to assist the Owner in this work. The Contractor shall carefully preserve the general control lines and grades established by the Engineer. The cost of replacement of stakes which are damaged or lost shall be borne by the Contractor.

Construction lines and grade shall be transferred and set by the Contractor from the control lines and grades established by the Engineer, and the Contractor shall furnish necessary instruments and competent personnel for performing such work, and they shall be responsible for the accuracy of the transferred line and grade. The Owner will check the work at intervals, as it deems necessary, and the Contractor shall make correction of error, if any, at their own expense, as may be required for the proper function and performance of the structure and installed equipment.

GS.17 COMPLETE WORK REQUIRED

It is the intent of the Contract documents to provide that the Project to be constructed under this Contract will be complete and ready for use. Any minor items not specifically called for on the plans or specifications, but which are clearly necessary, are to be included.

GENERAL SPECIFICATIONS

GS.18 PROPERTY MARKERS

The Contractor shall take precautions not to move or destroy any monuments or stakes marking the boundaries of property along or near the work. A licensed surveyor shall reestablish property irons in the proper location if disturbed. Buried property irons shall be extended 1/2" diameter rods. The Contractor shall pay for reestablishment.

GS.19 RECORDS AND MEASUREMENTS

The Contractor shall keep careful records showing measured overall length of underground facilities installed and distances of such from any available line as may be designated by the Engineer. Such records shall be turned over to the Engineer as the work progresses and the records must be accurate and complete.

GS.20 GUARANTEE

The Contractor shall guarantee and shall secure from the manufacturer of each item of manufactured equipment used in the project a written guarantee that all materials and equipment furnished by them shall be first class and free from defects, and the guarantor agrees that they will, upon notice and without delay, make good or repair without expense to the Owner the whole or any part of the equipment furnished by them hereunder, which within a year from date of acceptance of that portion of completed work incorporating such equipment shall fail or develop unfitness for the purpose for which it is intended as a result of any defect in design, material, workmanship, erection or construction.

**INGHAM COUNTY ROAD DEPARTMENT
SUPPLEMENTARY PERMIT SPECIFICATIONS
FOR UTILITY INSTALLATIONS**

As referred to herein:

“Board” shall denote the Board of Ingham County Road Commissioners or its duly appointed agents.

“Utility” shall denote any cable, conduit, pipe, structure, or similar facility installed within the road right-of-way.

“Contractor” shall denote an individual or legal entity contracted to perform a proposed utility’s installation.

1. GENERAL

- a. All proposed utility installations within county road right-of-way shall be reviewed and approved by means of a permit issued by the Board, regardless of the type, size, location, or installation method. The Board shall have absolute authority over any work to be performed within the county road right-of-way and shall exercise said authority at its discretion. The Board reserves the right to impose, at its discretion, cash bond requirements for any permit granted. The cash bond may be used to reimburse the Board for work not performed by the Contractor, restoration of roadways caused by Contractor activities, costs associated with detour signing, and other reasonable expenses incurred by the road commission.
- b. The Board shall have the authority to direct any work or stop any work, permitted or not permitted, that in its opinion is not being performed to the Board’s satisfaction. All costs for corrective work or work stoppages shall be the responsibility of the Contractor.
- c. To issue a utility installation permit, the applicant must provide drawings that illustrate all the work to be performed, the method of installation, and materials to be used. If road or lane closures are proposed, along with the information required below, the approximate start and completion date shall be provided on the permit application.

2. ROAD CROSSINGS

- a. All proposed utility crossings of county roads shall be performed using methods other than open cut methods unless otherwise permitted by the Board. The following are general specifications or provisions to be followed when installing utilities using methods other than open cut methods.
 1. The methods of utility installation described in this section include, but are not limited to, tunneling, bore and jacking, and directional boring. These methods represent preferred installation methods and are employed to allow installation of utility road crossings without closing the road to through traffic or damaging the existing road pavement. The Board, at its discretion, may require that a particular installation method be employed by the Contractor.
 2. When a utility is to be installed by tunneling methods, the tunnel shall be adequately sheeted and shored to prevent the tunnel walls from collapsing and the road pavement from settling or cracking.
 3. When a utility is to be installed by bore and jacking methods, a casing pipe will be required with the utility to be installed inside the casing pipe. The annular space between the utility and the casing pipe shall be filled and sealed using pressure grouting or other approved methods.
 4. All shafts or pits not sheeted and shored shall be located, at least, 10 feet off the edge of road pavement in rural sections and 6 feet behind the back of curb in urban sections.

5. If any settlement or other changes in grade occur in the vicinity of the utility crossing within one year of the work, upon notification the road shall be immediately reconstructed to the proper grade at the Contractor's expense. In addition, damage to the roadway embankment, shoulder, and pavement shall also be immediately repaired to the Board's satisfaction.
 6. Unless otherwise approved by the Board, all utilities shall have a minimum cover of 4 feet below the road surface. Where approved construction plans indicate cover greater than 4 feet, the plan depth shall govern.
 7. All costs for maintaining traffic, including flagging operations, shall be the responsibility of the permitted party. Traffic control shall be erected in accordance with the current edition of the Michigan Manual of Uniform Traffic Control Devices (MMUTCD) or as directed by the Board. Modifications to traffic control measures may be ordered by the Board, at its discretion, and the cost of any modifications shall be the responsibility of the Contractor. Once work is completed for the day, traffic control signs which are not appropriate shall be covered or removed so that the motoring public is made aware of the road's condition and how to safely traverse through the work zone.
 8. If, in the opinion of the Board, traffic conditions warrant suspension of utility installation operations and restoration of a road's full capacity, the Contractor shall comply immediately. All costs associated with such an action shall be borne by the Contractor.
- b. If the Board permits a proposed utility crossing of a county road using open cut methods, the following general specifications or provisions shall be followed:
1. Large projects that involve many utility crossings and or may extend for several months shall be completed in "sections". The intent being, that once a particular crossing, of many, is completed or a 1/4 mile "section" of a multi-mile utility has been installed, the Contractor shall restore the road and right-of-way to the satisfaction of the Board before moving on to the next crossing or section of utility installation.
 2. In general, open cut utility crossings will not be allowed during winter months.
 3. Open cut utility crossings shall be performed during off-peak traffic hours unless specifically permitted by the Board. Off-peak hours vary, but they are typically between the hours of 9:00 am to 3:00 pm.
 4. Unless otherwise approved by the Board, all utilities shall have a minimum cover of 4 feet between the utility and the road surface. Where approved construction plans indicate cover greater than 4 feet, the plan depth shall govern.
 5. All costs for maintaining traffic, including flagging operations, shall be the responsibility of the permitted party. For road closures intended to last one or two days, the contractor will submit a deposit with the permit application, the Ingham County Road Department will set up, maintain, and dismantle the road closure, the actual costs incurred will be subtracted from the deposit and the remainder returned to the contractor. If incurred costs exceed the deposit, the contractor will be billed for the overage. For road closures intended to last an extended period of time, the Contractor shall set up, maintain, and dismantle the closure per the approved detour plan. Regardless, traffic control shall be erected in accordance with the current edition of the Michigan Manual of Uniform Traffic Control Devices (MMUTCD) or as directed by the Board. All traffic control schemes are to be approved prior to the beginning of work. Modifications to traffic control measures may be ordered by the Board, at its sole discretion, and the cost of any modifications shall be the responsibility of the Contractor.

6. If a proposed road closure is not permitted, at least one lane of traffic shall be maintained with proper flagging operations in effect throughout the work day. Road cuts shall be backfilled, flush with the driving surface at the end of each working day, appropriately signed, and opened for overnight traffic. Depending on traffic volumes and other conditions, the Board may require the permit applicant to provide by-pass lanes (either paved or unpaved) to maintain traffic.
7. Maintenance of open cut work zones is the responsibility of the Contractor and shall be in effect 24 hours a day for the duration of the work.

3. PAVEMENT AND GRAVEL SURFACE REMOVAL AND REPLACEMENT

- a. All proposed open cut utility installations or existing utility installations needing corrective reconstruction shall conform to the following specifications or provisions:
 1. All pavement to be removed shall be saw cut, full depth, to its removal limit and carefully removed as to not damage the saw cut edge. All damaged edges shall be subsequently saw cut and removed back to sound pavement. The pavement removal limit shall extend, at least, 1 foot beyond both sides of the open cut trench.
 2. Both bituminous and concrete pavement removal shall have a minimum width of 6 feet, be perpendicular to the centerline of the road, and extend the full width of existing lanes. Diagonal pavement removal and replacements will not be allowed unless approved by the Board.
 3. Concrete pavement removal limits are to utilize existing joints whenever possible. The minimum distance between a concrete replacement slab and an existing pavement joint shall be 5.5 feet unless approved by the Board. The Contractor shall verify concrete pavement removal limits with the Board prior to pavement replacement.
- b. Pavement replacement and gravel road surface restoration shall conform to the following specifications or provisions:
 1. Aggregate base material under pavement shall be a minimum of 8-inches thick and meet MDOT 21AA or 22A aggregate specifications, as determined by the Board. The proposed aggregate base material shall conform to the characteristics of the insitu aggregate base material as much as possible. Bituminous pavement replacement shall either match the existing pavement thickness or be 5-inches thick, whichever is greater, and utilize hot mix asphalt materials that meet or exceed MDOT 13A bituminous mix specifications. Concrete pavement replacement shall either match the existing pavement thickness or be 7-inches thick, whichever is greater, and utilize 4500 psi strength concrete that meets or exceeds MDOT specifications. Concrete pavement patch size and geometry shall be determined by the Board and shall be doweled into adjacent concrete pavement. Aggregate surfaced roads and shoulder material shall be a minimum of 6-inches thick and meet MDOT 22A or 23A aggregate specifications. Aggregate base shall be compacted to 95% of its maximum density, hot mix asphalt is to be compacted to 97% of its maximum density, and aggregate shoulder material shall be sufficiently graded and compacted to prevent standing water and erosion problems.
 2. The finished driving surface shall be installed to conform to the vertical profile of the existing roadway and not exhibit “dips” or “humps” that are noticeable to the motoring public. “Mounding” over excavations to allow for future settlement will not be permitted. If settling or upheavals occur at pavement replacement locations, the Contractor may be required to remedy the situation. Failure to do so may result in a stoppage of subsequent work or denial of subsequent permits.

3. Bituminous pavements shall not be replaced using lifts that exceed 250 lbs/syd (2 1/4 inches thick). A tack coat emulsion shall be applied between successive lifts of bituminous paving.
4. Replacement concrete pavement shall be doweled into adjacent pavement using 18-inch long by #9 and #5 epoxy coated deformed bars. The dowels shall be drilled, inserted 9-inches, and grouted in accordance with current MDOT specifications. Dowels installed along the pavement edge, parallel to the lane lines (#9), shall be spaced at 18-inches on center. Dowels installed along the pavement edge, perpendicular to the lane lines (#5), shall be spaced at 24-inches on center.
5. Composite pavements, such as asphalt overlaying concrete pavement shall be replaced to match the existing pavement structure using the same provisions described above. If approved by the Board, composite pavements may be replaced with full depth asphalt equal in thickness to the existing pavement structure.

4. BACKFILLING AND COMPACTION

- a. All utility trenches, holes, bore pits, and other excavations within the county road right-of-way shall be backfilled with granular material that meets or exceeds MDOT class II material. Excavation backfill shall be placed and compacted to 95% of its maximum density in successive layers that are no more than 12-inches thick. In-place backfill density shall be verified and reported to the Board by an independent testing laboratory. The cost of said verification and reporting shall be the responsibility of the Contractor. The above backfilling and compaction provisions shall apply to that portion of the subgrade that is within the influence of the roadway pavement structure, including the shoulder. Refer to MDOT Trench Detail "B". Failure to meet said backfill and compaction requirements may result in a stoppage of subsequent work, replacement of deficient backfill, and denial of subsequent permits.
- b. All under drain systems and similar facilities destroyed or disturbed due to the utility installation shall be rebuilt using similar materials and in a manner that completely restores their function.

5. RESTORATION AND MAINTENANCE OF RIGHT-OF-WAY

- a. All drainage courses shall be restored with topsoil, seed, and mulch immediately after completion of utility installations. The Contractor shall employ and maintain soil erosion and sedimentation measures to stabilize all disturbed grounds per the Ingham County Drain Commissioner's (ICDC) standards. Disturbed drainage courses or backslopes that have steep grades, as determined by the Board, shall be stabilized with mulch blanket, rock check dams, or both. The Contractor shall follow ICDC and Michigan Department of Environmental Quality (MDEQ) Best Management Practices (BMS) for soil erosion and sedimentation control.
- b. All existing storm sewer, drainage structures, culverts, and similar facilities shall be protected during utility installation. If permitted by the Board and the structure owner, the Contractor may remove and replace said facilities if needed for utility installation. All replacement facilities shall be in accordance with current agency (owner) requirements for materials and construction standards, regardless of existing condition. Any damaged facilities left in place during utility installation shall be fully repaired to the satisfaction of the Board, or be replaced in accordance with current agency (owner) requirements. It is the responsibility of the contractor to research and obtain permission from the appropriate "owner" for the proposed work.
- c. All traffic signs requiring replacement or that need to be relocated due to utility installation shall be replaced or relocated by Ingham County Road Department personnel and their costs reimbursed by the Contractor.

- d. Encroachments (private installations) within the road right-of-way, such as fences, mailboxes, and hedges that must be removed due to utility installation may be replaced or re-installed, within the right-of-way, upon approval of the Board. In general, removed objects, other than mailboxes, cannot be re-installed within the road right-of-way. Please be aware that the Ingham County Road Department will not become involved with negotiations between the utility owner and property owners relative to encroachment removal and replacement, but the Board will ultimately approve or disapprove whether replacements are allowed, and their subsequent locations.
- e. The Contractor shall maintain a safe work area, free from dust and free from dirt and mud being tracked onto the adjacent roadway. The Contractor shall make arrangements to have paved roads swept and gravel roads treated with dust palliative for the duration of installation activities. If requested by the Board, the Contractor shall sweep roads or apply dust palliative within 4 hours of the request. Failure to do so may result in a stoppage of work.

6. MANHOLE CASTING, VALVE, AND FIRE HYDRANT LOCATIONS

- a. Permitted utility manhole structures and vaults shall conform to the following specifications or provisions:
 - 1. In general, proposed manhole castings and valve boxes shall be located outside the paved road surface and somewhere other than in the roadside ditch. If approved by the Board, manhole castings and valve boxes installed within a paved surface or parkway shall be located flush with the existing surface, manhole castings and valve boxes installed within the traveled portion of a gravel road shall be located 6-inches below the road's surface, and manhole castings and valve boxes installed in a ditch bottom shall be located, at least 12-inches below the ditch bottom. The contractor may be required to re-route the ditch around manhole castings and valve boxes, at the discretion of the Board.
 - 2. Manhole castings and valve boxes shall not protrude from the backslope of the road or above the normal ground contour by more than 6-inches. The contractor may be required to adjust a manhole casting or regrade the area, to the Board's satisfaction, at their expense.
 - 3. Proposed manhole casting and valve box type shall be approved by the Board prior to the start of installation. If at any future time it is determined that the type of casting or valve box must be changed due to road reconstruction, widening, resurfacing, etc., the utility owner agrees, by performing under permit, to bear all costs for the change
 - 4. Proposed fire hydrant installations shall be approved by the Board prior to the start of installation. If at any future time it is determined that the fire hydrant must be moved due to road reconstruction, widening, resurfacing, etc., the utility owner agrees, by performing under permit, to bear all costs for moving the fire hydrant.

7. TREE REMOVAL, TRIMMING, AND TUNNELING

- a. All tree removals, trimming, and tunneling within county road right-of-way shall be reviewed and approved by means of permit by the Board of Ingham County Road Commissioners. Any trees, regardless of their location, that cannot be protected due to utility installation or are in eminent danger of dying as a result of utility installation shall be removed by the Contractor. All stumps shall either be removed or ground flush with the average ground surface in the vicinity of the stump.
- b. Proposed tree removals, trimming, and tunneling shall be sufficiently illustrated on construction plans along with the tree's species and size so that a proper review and site visit can be performed.
- c. Trees that are located close to proposed utility installations, in the county road right-of-way, and reside within maintained lawn areas shall be protected from above ground and below ground

damage. Any trees, as described above, that are to be removed due to utility installation, shall only be removed after the Contractor has given notice to the adjacent property of the intent to remove the tree(s) and offered replacement trees. In general, the Board will require the Contractor to replace “lawn” trees removed due to utility installation. Replacement trees shall be planted outside the road right-of-way or at locations approved by the Board.

- d. All stumps, logs, limbs, and litter shall become the property of the utility installation contractor and be properly disposed of. The adjacent property owners have the right of ownership of wood felled within the right-of-way, therefore the Contractor shall offer to leave the felled wood for the property owners use. Wood requested by the property owner shall be left outside of the county road right-of-way.

8. CONDUCT OF OPERATIONS

- a. The Contractor shall control and ensure that trucking operations related to utility installations adhere to the current Michigan Vehicle Code and restrictions imposed by the Board, including spring weight restrictions. Failure to do so will result in the truck operator being ticketed and may also result in a stoppage of work.
- b. Contractors, permitted or not permitted, who conduct utility installation operations in a manner detrimental to the Board’s statutory obligation to maintain county roads reasonably safe for the public will be required to cease utility installation activities and correct all detrimental conditions immediately. If deemed necessary by the Board, cash deposits to cover the cost of a full-time ICRD inspector to ensure proper operations may have to be submitted to the Board before utility installation continues.
- d. Dewatering water disposed of by the Contractor within the county road right-of-way must be approved by the Board in advance of any discharge and conform to Michigan Department of Environmental Quality (MDEQ) Best Management Practices (BMS) for soil erosion and sedimentation control. In general, discharge of water into roadside ditches for more than a couple of hours will not be allowed. If the Board deems it necessary that dewatering activities be modified or discontinued altogether, the Contractor shall comply and devise another method to complete their work. The Contractor, by performing under permit, accepts the responsibility of restoring the road right-of-way and affected drainage system to the satisfaction of the Board and the Ingham County Drain Commissioner after dewatering system removal.
- e. The Contractor shall store construction materials as far off the road so that the materials do not pose a hazard nor block the vision of the traveling public and those seeking egress and ingress to private property. Only materials to be installed immediately can be stored within the right-of-way. All other materials and equipment shall be stored outside of the right-of-way.
- e. For location of underground utilities, the Contractor shall call Miss Dig at 1-800-482-7171 a minimum of three working days prior to utility installation.

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EARTHWORK (DIVISION 1)

MERIDIAN TOWNSHIP TECHNICAL SPECIFICATIONS DIVISION 1

EARTHWORK

INDEX

1.01 SCOPE

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 5. BACKFILLING & ROUGH GRADING
 6. EXTRA SAND BACKFILL
 7. EXTRA STONE BEDDING
 8. RESTORATION & CLEAN UP
-

1.01 SCOPE

The Contractor shall furnish all labor, materials, tools and equipment for all excavation and backfilling required for work under this contract, including all sheeting, shoring and bracing, dewatering of excavation, and other work as herein specified. All work shall be done in accordance with the current Michigan Department of Transportation Standard Specifications for Construction, except as stated within this specification.

1.02 CONSTRUCTION METHODS

1. Clearing the Site

The Contractor shall clear the site of all brush and debris which may be present and interfering with construction operations and shall remove and dispose of the same. No trees or shrubs are to be removed unless shown on the plans or permitted by the Engineer. Concrete, asphalt, trees, and shrubs shown on the plans to be removed shall be disposed of at a suitable location off the site of the work.

2. Protection of Trees

All trees which are to be preserved or which, in the opinion of the Engineer, might be subject to damage by the Contractor's operations, shall be adequately protected against damage to the bark by 2-inch thick vertical planking securely wired or tied completely around the tree trunk. Such protection shall not be removed until authorized by the Engineer.

No excavation greater than 1 foot in depth shall be made by machine within 5 feet of any tree. If the excavation cuts within the canopy (dripline) of a tree, the Contractor shall tunnel under roots and protect them from injury throughout the work. All roots greater than 2" shall be cleanly cut, if removed.

Trees which interfere with the work, and the removal of which is permitted, shall be removed by the Contractor in a safe manner and incidental to construction unless otherwise noted on plans and proposal. No trees are to be removed without the expressed approval of the governmental body or property owner having jurisdiction thereof, and of the Engineer.

Trees, trunks, and limbs to be removed that are greater than six inches in diameter shall be trimmed and cut into lengths less than eight feet and piled outside of the right of way for use if the abutting property owner so desires. If the property owner does not desire the timber, the timber becomes the property of the Contractor. All other timber, brush, limbs, and stumps shall be disposed of by the Contractor. Onsite burning will not be allowed.

EARTHWORK (DIVISION 1)

1.02 CONSTRUCTION METHODS (Cont'd.)

3. Erosion Control

Erosion Control devices shall be installed as shown on the plans and as needed to eliminate the migration of soil from the worksite. Typical devices include catch basin fabric drops (silt sacks) and silt fence. Additional requirements, as necessary, can be found in the Special Provisions.

Fabric drops shall be designed and constructed for use in the specified structure. Drops shall be installed prior to construction, cleaned and maintained in a working state for the duration of the project, and removed and disposed of upon final completion and restoration of the construction site.

Silt fence shall be a product in accordance with the MDOT 2020 SSC, Section 910.

Grass shall be growing before the erosion control measures are removed. Retainage will not be released until the sediment guards are removed.

4. Excavation

A. General

Trench excavation shall be by open cut, except as otherwise shown or permitted. Excavation may be performed by any practical method consistent with the integrity and protection of the work, adjoining structures, and the protection of workers and the public.

Excavation of trenches for piping shall provide a minimum net clearance of six inches outside the barrel of the pipe and, in all cases, shall be of sufficient width to permit the convenient placing of pipe and making of joints. The bottom of the trench shall be shaped so as to conform as nearly as possible to the outside of the pipe, particular care being taken to recess the bottom of the trench in such a manner as to relieve the bell of all load and to provide continuous soil bedding under the lower quadrant of the pipe.

Excavation for structures shall be extended sufficiently beyond the limits of the structure to provide ample room for practical construction methods to be followed.

If excess excavation is made or the material becomes disturbed so as to require removal beyond the prescribed limits, the resulting space shall be refilled with selected material. It shall be thoroughly tamped into place in not more than six inch layers, to the satisfaction of the Engineer, before the construction work proceeds. Alternatively it may be filled with Class B Concrete or Flowable Fill.

Foreign materials such as slabs of wood, boulders, etc. which obstruct the excavation, shall be removed with other excavation; and where such obstructions occur at or near the bottom, requiring excavation below grade for their removal, the excavated area shall be brought back to grade as in the previous paragraph, and incidental to construction. Unnecessary excavation below grade by the Contractor shall be refilled to grade as in previous paragraph, and at the Contractor's expense.

B. Existing Utilities and Structures

The Contractor shall cooperate with all utility firms, in advance, to locate and avoid interference with and damage to existing facilities, insofar as possible. Means for elimination of interference and correction of damage shall be subject to the instruction or approval of the Engineer. Where any apparent conflicts with underground utilities become evident, the Contractor shall excavate the utility in advance of working in the area. The Engineer shall then determine if any conflict exists and, if so, shall determine the action to be taken. Exploration for underground utilities is incidental to the other work performed.

Underground pipes or structures encountered in excavation shall be adequately supported during the Contractor's operations. Before backfilling, the structure shall receive a permanent support of a suitable material approved by the Engineer, extending from the bottom of the excavation to the underside of the pipe or other structure.

EARTHWORK (DIVISION 1)

1.02 CONSTRUCTION METHODS

4. **Excavation**

B. Existing Utilities and Structures (Cont'd.)

The Contractor shall use care not to damage adjoining structures and existing underground utilities. Existing underground pipes and cables are shown on the plans insofar as information is reasonably available. The Contractor shall be responsible to ascertain the locations of all utilities, whether shown on the plans or not.

Work within MDOT and Ingham County Road Department (ICRD) rights of way is done under separate permit from the agency involved. In addition, to these specifications, the Contractor shall adhere to all conditions contained in such permits.

When excavating along paved roads, extreme care shall be taken that the existing pavement and structures will not be damaged or undermined. All sheeting, bracing, and other equipment necessary to prevent damage shall be furnished by the Contractor. Where a trench must be cut through a roadway or driveway, particular care shall be taken not to unnecessarily damage adjoining areas of pavement. Existing pavement shall be sawcut prior to excavation.

Sheeting or other suitable protection, as required, shall be provided wherever excavation is performed adjacent to an existing structure. Any material removed from beneath the foundation of an existing structure shall be replaced with Class B concrete. Sheeting, bracing, and shoring required to support the sides of excavation shall be removed with care after completion of the work. Any injury to the work or to adjacent property resulting from the removal shall be repaired by the Contractor.

The Contractor shall be responsible for any damage caused by their operations to pipes, structures, poles and accessories, and the like above or below ground, whether shown on the plans or not. They shall make good and repair any such damage to the satisfaction of the Engineer. Particular care shall be exercised where excavation or other work is being prosecuted near electric or telephone lines.

C. Ground Water

Excavations shall be kept dry during placing of pipe and initial backfill. The Contractor shall supply stone sumps and pumps as necessary to maintain satisfactory conditions. This work is considered incidental to the pipe cost.

The Contractor shall take all necessary precautions to prevent the accumulation of water to such a level as might cause damaging uplift pressure to partially completed structures. The Contractor shall be responsible for any damage to partially completed structures because of inadequate or improper protection from uplift pressure, and shall repair or remove and replace at their own expense, to the satisfaction of the Engineer, all work so damaged.

D. Dewatering

The Engineer may direct the installation of a dewatering system if they deem it necessary to lower the adjacent water table. This is a pay item which includes all costs to furnish and operate the system, including down-time and remobilization. Only use this method when normal methods, outlined in above paragraph (4C), prove to be insufficient.

5. **Backfilling and Rough Grading**

A. Bedding and Initial Backfill

The backfilling and bedding of utilities shall not incorporate frozen materials. Trench backfill shall be carefully placed such that pipeline and grade are not disturbed. Bedding and initial backfill shall be as specified for ductile iron, plastic, and concrete pipe in Division 2 and for ductile iron pipe in Division 3 of the Technical Specifications.

EARTHWORK (DIVISION 1)

1.02 **CONSTRUCTION METHODS**

5. **Backfilling and Rough Grading (Cont'd.)**

B. Final Backfill Outside Right of Way

The remainder of the trench, if not in a roadway, may be backfilled with excavated material unless it contains peat, muck, cinders, stones larger than 6" in diameter, or other undesirable material as determined by the Engineer. This undesirable material shall, upon written order of the Engineer, be removed and replaced with Extra Sand Backfill or material approved by the Engineer.

In a field, above a point 12-inches over the pipe, water main trenches may be backfilled completely with loose material and compacted from the top of the trench. Sewer trenches shall be backfilled and compacted in layers of 3'. In lawn areas the layers in each case shall not exceed 12".

Excavated material, above a point 12-inches over the top of the pipe, shall be compacted by running the wheel or track of excavation equipment along the trench or by methods and equipment approved by the Engineer. At least 30" cover over the top of pipe is required for wheeled or tracked vehicles and 48" cover for machine mounted compactors. Temporary mounding of excess material over the trench will be allowed only until such time as lawn repairs are completed.

C. Backfill within Roadway Zone of Influence

Where excavation cuts through a road, drive, or sidewalk, or is in the zone of influence of a pavement, the trench shall be backfilled with granular material and compacted in accordance with MDOT or ICRD specifications, whichever is applicable. Road crossings are incidental to pipe installation. Longitudinal trenches will be paid as the bid item Extra Sand Backfill, unless otherwise specified.

D. Rough Grading

At the end of each working day, all excavations shall be completely backfilled up to existing grade with all excess excavated material being removed from the site. The excavation at the point where pipe installation is to start on the next working day need not be backfilled if it is greater than 6 feet deep, adequately protected, fenced, and lighted. However, in all cases, roadways and driveways should be made accessible overnight.

Excessive soil settlement and any resulting damage which occurs within one year of final approval shall be repaired by the Contractor at no cost to the owner.

6. **Extra Sand Backfill**

When the Engineer deems the native backfill material above the pipe to be unsuitable (such as rocks, peat or landfill outside the right of way or clay within the right of way) they may order extra sand backfill.

The unsuitable material shall be removed from the site and replaced with an approved granular material. This granular material shall be compacted as previously specified for excavated material.

Sand used under paved driveways, for road crossings, for pavement sub-base or for pipe bedding and backfill to a point 12" over the pipe is considered incidental to the project and does not qualify as Extra Sand Backfill, unless it is the result of a plan change.

7. **Extra Stone Bedding**

This item is used, as directed by the Engineer, to replace any unsuitable earth foundation, (such as muck, landfill or rubble), below the pipe bedding or trench bottom. The unsuitable material shall be removed from the site and replaced with one-inch crushed stone.

Stone used for dewatering purposes and for pipe bedding and backfill is considered incidental to the project and does not qualify as Extra Stone Bedding.

EARTHWORK (DIVISION 1)

1.02 CONSTRUCTION METHODS (Cont'd.)

8. Restoration & Clean-Up

As construction operations proceed, the Contractor shall follow their operations with a general clean-up which shall include rough grading, removal of debris, temporary replacement of mailboxes, temporary restoration of driveways, etc. The general clean-up shall follow construction such that no more than 1000 feet shall remain uncompleted at any time. Access to individual homes and parcels shall remain uninterrupted during construction operations with all driveways temporarily restored to use at the end of each working day. Temporary driveways and roads shall be maintained by the Contractor during the period of construction.

After all construction has been completed, the Contractor shall finish, grade and rake all areas disturbed by construction. Topsoil shall then be spread on the prepared areas to a depth of 3-inches. All stones and lumps larger than 1-inch diameter plus all roots, litter and other foreign material shall be raked out prior to seeding or sodding.

Lawn areas and vacant land shall be repaired with seeding, fertilizer and mulch. 12-12-12 fertilizer shall be evenly applied at a rate of 200 lbs./acre. Seed shall be MDOT "THM" mixture and shall be sown following or in conjunction with the fertilizer and while topsoil is in a friable condition. Seed shall be evenly sown at a rate of 220 pounds per acre and shall not be sown through mulch. Mulch blankets shall be installed immediately after seeding and shall be pinned in place, unless otherwise specified.

If called for, lawn areas shall be repaired with first-quality commercial lawn sod. The existing sod in the excavated areas shall be cut, trimmed and removed as necessary to accept a minimum 12-inch width of new sod without overlapping new sod onto the existing or without leaving gaps between the new sod and existing. Watering of new sod shall be the responsibility of individual property owners.

Driveways and approaches shall be repaired with material of the same quality, width and thickness as that which existed prior to construction, but shall not be less than the following:

- i. Concrete shall be 6-sack, transit-mixed; formed, jointed and finished to match existing. Slabs less than 24-inches wide shall be removed and replaced with new concrete – see Division 4 of the Technical Specifications for additional requirements.
- ii. Asphalt shall be MDOT HMA 13A, three inches compacted thickness and rolled to a uniform, dense surface. Prior to placing of new asphalt, the existing asphalt shall be trimmed with a concrete saw to straight edges which are parallel with the adjoining roadway. Overlays shall be preceded by an asphalt primer. Thicknesses greater than two inches shall be placed in two layers that have cooled between courses.

It is the intent that upon completion of the work all surfaces will be returned to the standard of profile and conditions that existed prior to this work. All gravel, top soil, seeding, sodding, surface restoration, paving, etc., shall be performed under this contract. Surface restoration shall include replacement of mailboxes, posts, fences, signs, culverts, ditches and other miscellaneous improvements. No deviations from existing conditions will be allowed without the written permission of both the Engineer and the affected property owner.

CONCRETE WORK (DIVISION 4)

**MERIDIAN TOWNSHIP TECHNICAL SPECIFICATIONS
DIVISION 4**

CONCRETE WORK

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4.03	CONSTRUCTION METHODS 1. SUBGRADE PREPARATION 2. FORMWORK 3. PLACEMENT 4. FINISHING 5. JOINTS 6. CURING & PROTECTION
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4.01 **SCOPE**

This work shall consist of furnishing all labor, materials and equipment necessary for the proper mixture and placement of concrete. The current MDOT Standard Specifications for Construction (SSC) shall be followed, unless otherwise specified.

4.02 **MATERIALS**

1. Supplier

The use of transit-mix concrete is required. The Contractor shall notify the Engineer who the supplier will be prior to beginning work. The Engineer must approve the concrete supplier and the mixer trucks used to transport the concrete.

2. Concrete Mixture

Batching and mixing operations shall conform to ASTM C94. Water shall not be added to the mix after the trucks leave the batching plant. The mix for sidewalk shall be MDOT P1 with approximated proportions of one part cement; two parts fine aggregate, and three parts coarse aggregate. The mix shall contain 6 sacks of cement per cubic yard, with a maximum allowable slump of 3½" (three and one-half inches).

Coarse aggregate shall conform to MDOT 6AA. Fine aggregate shall conform to MDOT 2NS. Cement shall be Type 1A air-entraining Portland cement conforming to ASTM Specification C150 or Type 1 with an air entrainment admixture. Air shall be 6% plus or minus 1%.

The compressive strength of Class A concrete shall not be less than 3,500 pounds per square inch (psi) after 28 days. The compressive strength of Class B concrete shall not be less than 3,000 psi after 28 days.

CONCRETE WORK (DIVISION 4)

4.02 MATERIALS

2. **Concrete Mixture** (Cont'd.)

Water shall be clean and free from deleterious substances such as oil, alkali and organic matter. Potable water shall be used from sources approved by the Engineer.

No admixtures will be used unless approval is received from the Engineer, or is specified. Admixtures, if approved, shall be used in strict accordance with manufacturer's directions and shall conform with applicable ASTM Standards.

3. **Reinforcing**

Concrete slabs, walls and footings shall be reinforced with steel bars or mesh as shown on the plans. Bars shall be rust-free, new deformed billet-steel conforming to ASTM A615, Grade 60 and mesh shall conform to ASTM A1064.

The Contractor shall prepare and submit to the Engineer shop drawings showing bending and assembly diagrams, splicing, laps of bars, shapes, dimensions and details of bars. Scaled dimensions from drawings shall not be used in determining the lengths of reinforcing bars.

4.03 CONSTRUCTION METHODS

1. **Subgrade Preparation**

The earthgrade shall be prepared by removing the topsoil, vegetative cover and root mat. The base shall then be prepared by excavating and/or placing of embankment material to achieve the grade and cross-section required. All soft and yielding material shall be removed and replaced with acceptable material.

When a pathway is benched into cut or fill slopes, grading shall be done in accordance with the MDOT 2020 SSC, Section 205, Roadway Earthworks. Subgrade density shall be not less than 95% of Maximum Unit Weight in fills. In cuts, the Engineer will visually inspect the grade and may order additional compaction to achieve the desired subgrade density.

A minimum of three (3) inches of Class II granular material shall be used under all pathway construction. The base shall be smoothed, trimmed and compacted prior to placement of forms. The Engineer may order additional compaction to achieve the desired subgrade density after visual inspection.

2. **Formwork**

All concrete work shall be accurately formed to the lines and grade shown on the plans. Forms shall extend to the full depth and width of the specified concrete surface. Forms shall be shored and braced from the outside to maintain ¼" tolerance in thickness, line and grade. All formwork shall be oiled with an approved non-staining form oil before placing concrete. Formwork shall be left in place until the concrete is sufficiently hard so as to not be damaged upon removal.

Construct all formwork to provide continuous, straight, smooth surfaces and edges. Exposed edges to have ½" chamfer. Curved walks shall be formed on a radius with flexible forms.

CONCRETE WORK (DIVISION 4)

4.03 CONSTRUCTION METHODS (Cont'd.)

3. **Placement**

All formwork and reinforcement placement shall be inspected by the Engineer prior to placement of concrete. The Contractor shall give ample notice and time so that such inspection can be made.

No concrete shall be deposited until the area has been dewatered and not until after the Contractor has made satisfactory provisions to eliminate all possibility of water entering or flowing through the concrete while it is being poured or is curing.

Subgrades shall be wetted and forms shall be oiled prior to concrete placement. All debris shall be removed from forms and reinforcement.

Time Between Charging Mixer and Placing Concrete (minutes)			
Type of Unit	Concrete Temperature (ASTM C1064)		
	<60 °F	60 °F - 85 °F	>85 °F
Truck Mixers	90	60	45
Truck Mixers with Concrete containing Water-Reducing Retarding Admixture	120	90	70

Exposed concrete shall not be poured when the atmospheric temperature is below 40 °F or when the concrete temperature is below 55 °F as placed. Concrete shall not be poured on frozen ground. Concrete shall not be cast if the temperature of the concrete is above 90 °F.

~~Tickets shall be prepared in accordance with the MDOT 2020 SSC, Section 602, Portland Cement Concrete For Pavements.~~

When placement of concrete is started, it shall be carried on as a continuous operation until the placement of the section is completed. Concrete in walls shall be placed in 24-inch lifts keeping surface of concrete level throughout. Concrete shall be deposited to the full depth of the forms in one pour. Drops of greater than 5' shall use tubes.

Reinforced concrete greater than six inches in finished thickness shall be compacted by high frequency internal vibrators. The concrete shall be thoroughly worked around the reinforcement and into the corners of the forms, using procedures which minimize air pockets and honeycombs. Care shall be taken in vibrating concrete so as not to move reinforcement out of place.

Concrete less than six inches in finished depth shall be compacted by spading along all edges and joints and by alternately tamping and striking off the surface until all voids are removed.

4. **Finishing**

Horizontal, exposed surfaces shall be floated and troweled just enough to produce a smooth, dense surface, free from irregularities. All joints and edges shall be rounded to a radius of one-quarter inch by the use of an approved edging tool. After completion of floating and finishing a fine brush shall be drawn across the finished surface to remove tool marks, and provide a non-slip surface.

CONCRETE WORK (DIVISION 4)

4.03 CONSTRUCTION METHODS

4. **Finishing** (Cont'd.)

Formwork panels are intended to provide a satisfactory finish for vertical, exposed surfaces. Finishing shall be limited to minor rubbing, removal of fins and patching of honeycombed areas. Unexposed surfaces need not be finished except for patching of honeycombed areas.

All concrete sidewalk and driveway approaches shall be legibly stamped with the name of the Contractor and the year, with figures 1½" to 2½" tall. The stamps shall be used at the ends of each segment, each truck load, and at intervals no greater than 100 feet in length.

5. **Joints**

1. Construction cold joints not indicated on the plans shall be so made and located so as to least impair the strength of the structure. The location of all construction joints shall be approved by the Engineer. Slabs shall have a cold joint at the end of each truck load.
2. Transverse expansion joints ½" thick shall be placed in sidewalk at approximately 100 foot intervals. ½" thick expansion joints shall be placed anywhere that the walk meets the back of curb, and where the walk meets the edge of concrete driveways or building walls.

Expansion joints material shall be pre-molded of bitumen filled fiber placed at right angles to the line of the walk, perpendicular to the surface and shall extend from ¼" below the surface of the walk to the subgrade.

3. Contraction (plane of weakness) joints shall be placed at a minimum distance equal to the width of the sidewalk. Contraction joints for bicycle pathways (7-foot width) shall be spaced approximately nine feet apart. The joint shall be sawed to a width of 1/8" and to a depth of ¼ of the slab thickness.

Sawing must be accomplished as soon as the concrete has hardened such that no excess raveling or spalling occurs, but before any random cracks develop. Joints shall be at right angles to the line of the walk, and perpendicular to its surface. Tooled joints are not allowed.

6. **Curing and Protection**

Sidewalks and other slabs on grade shall be treated with a curing compound conforming to the requirements of ASTM C309. The compound shall be sprayed or rolled on to provide a continuous film over the entire surface of the walk after completion of finishing, and as soon as all free water has left the surface. Compound shall be applied at the rate of not less than one gallon per 200 square feet. Immediately upon removing sidewalk forms, the exposed concrete edge shall be sprayed with curing compounds or backfilled with earth. The final grading of topsoil will be such that the mature sod will be ½" below the concrete.

All concrete shall be protected from vehicles for the first 72 hours after placing. The period of protection will increase to 7 days as the temperature decreases to 40 degrees. Any concrete found to be defective or damaged due to weather, vandalism, or other causes shall be removed and replaced, at the Contractor's expense. Damaged sections of sidewalk and curb and gutter shall be removed back to the nearest joint or as indicated by the Engineer.

Freshly placed concrete shall be protected from rain by covering with polyethylene film.

CONCRETE WORK (DIVISION 4)

4.03 CONSTRUCTION METHODS

6. Curing and Protection (Cont'd.)

Concrete shall not be allowed to freeze for 72 hours. Protection must be provided when there is a forecast for freezing.

Barricades shall be placed at the areas under repair from the time the damaged section is removed until it is ready for use. Lighted barricades will be required for intersection areas left under repair overnight.

4.04 TESTING

The Contractor shall make arrangements for and coordinate various concrete tests as ordered by the Engineer. The testing company will be selected by the Township and the Township will pay for the tests. The Contractor will be charged for any waiting time suffered by the testing company. All tests will be done according to ASTM standards.

**MERIDIAN TOWNSHIP TECHNICAL SPECIFICATIONS
DIVISION 7**

PAY ITEMS, METHOD OF MEASUREMENT & BASIS OF PAYMENT

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PAY ITEMS (DIVISION 7)

7.01 SCOPE

It is intended that payment for all work done under the Contract Documents including the furnishing of all labor, equipment and materials and the performing of all operations in connection with the construction of the project, will be made under the following pay items. Other work for which there is not a specific pay item will be considered included in the Contract Unit Price for the various specified pay items and no additional compensation will be allowed.

The Owner reserves the right to alter the plans, extend or shorten the improvement and increase or decrease the quantities of work to be performed to accord with such changes, including the deduction or cancellation of any one or more of the Pay Items. Such changes shall not be considered as a waiver of any conditions of the Contract nor to invalidate any of the provisions thereof. A supplemental agreement between the Contractor and the Owner will be required when such changes involve a net increase or decrease in the total amount of the original contract of more than 25 percent. For a net increase or decrease of less than 25 percent, the Contractor will accept payment according to contract prices for such items of work as appear in the original contract.

The work will be done in compliance with the Contract Documents and paid for under the Pay Items or Contract Items herein listed. The Contractor shall take no advantage of any apparent error or omission in the plans or specifications, and the Engineer shall be permitted to make such corrections and interpretations as may be deemed necessary for the fulfillment of the intent of the Contract.

7.02 SPECIFIC PAY ITEMS

1-19 GENERAL

1. Traffic Control

- A. Description: The Contract Unit Price on this item includes labor, equipment, and material necessary to complete traffic control for this project in accordance with the Michigan Manual of Uniform Traffic Control Devices and, as applicable, Michigan Department of Transportation (MDOT) or Ingham County Road Department (ICRD) requirements.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price on the following basis: after first use of traffic control measures, 25% will be paid; once 50% of the original contract price is completed, 50% will be paid; once 75% of the original contract price is completed, 75% will be paid; once the contract work is complete, 100% will be paid.

2. Road Repair

- A. Description: The Contract Unit Price on this item includes restoration of all public roads to at least their conditions as existed prior to the start of construction. Specific examples are furnishing and placing of subbase, gravel or asphalt base and gravel, asphalt or concrete surface plus all other miscellaneous work associated with the complete restoration of all public roads including shoulders. All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price when all public roads have been restored to their original condition.

PAY ITEMS (DIVISION 7)

7.02 SPECIFIC PAY ITEMS

1-19 GENERAL (Cont'd.)

3. Extra Sand Backfill [Ref. Sec. 1.02 (E)]

- A. Description: When the Engineer deems the native backfill material above the pipe to be unsuitable (such as rocks, peat or landfill outside the right of way and clay within the right of way) the Engineer may order extra sand backfill. It includes the excavation and disposal of the unsuitable material. Fill material shall be Class II granular material and placed at the direction of and to the satisfaction of the Engineer.

Sand used under paved driveways, for pavement subbase at road crossings, or for pipe bedding and initial backfill is considered incidental to sewers or water main and will not be paid for under this item.

- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price for the total volume actually furnished and placed. Volume will be determined compacted-in-place (CIP) by measurements obtained at the site unless otherwise stated.

4. Extra Stone Bedding [Ref. Sec. 1.02 (F)]

- A. Description: The Contract Unit Price on this item includes the furnishing and placing of crushed stone bedding material to replace unsuitable subgrade material under the pipe. This work shall be done at the direction of, and to the satisfaction of, the Engineer.

Stone used for dewatering purposes or to stabilize water sand is considered incidental to sewers or water main and will not be paid for under this item.

- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price for the total volume actually furnished and placed. Volume will be determined in place by measurements obtained at the site unless otherwise stated.

5. Road and Railroad Crossing

- A. Description: The Contract Unit Price on this item includes all extra work over and above that described under Sewers, Site Restoration, and Road Repair herein. Specific work includes furnishing and installing the steel casing pipe (by methods other than open cut), placing crushed stone around the carrier pipe, sealing the casing ends plus all miscellaneous related work.

- B. Method of Measurement & Basis of Payment: This item will be paid for the Contract Unit Price after the work is completed. The lineal footage of pipe installed inside the casing will be paid for under the pay item sewer or water main in addition to this item.

6. Abandonment

- A. Description: The Contract Unit Price on this item includes everything necessary to abandon the structure or facility as described in the contract.

- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price per pile set for the actual number placed and incorporated into the finished work.

7. Dewatering [Ref. Sec. 1.02 (4.D)]

- A. Description: The Contract Unit Price on this item includes the furnishing, installation, operation and removal of all materials and equipment to lower the groundwater level adjacent to the construction area to expedite the excavation for and installation of the work.

PAY ITEMS (DIVISION 7)

7.02 **SPECIFIC PAY ITEMS**

1-19 GENERAL

7. Dewatering (Cont'd.) [Ref. Sec. 1.02 (4.D)]

- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price per lineal foot of excavation actually dewatered or as lump sum. Measurement will be along the centerline of the pipeline.

8. Special Structure

- A. Description: The Contract Unit Price on this item includes the furnishing and installation of labor and materials to complete the structure as shown on the plans, including excavation, backfilling, access openings and covers, floor drains and associated piping, pre-cast concrete sections, poured-in-place concrete, waterproofing, vent piping, removal of surplus excavated material and restoration of surface to within three inches of finished grade.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price for each special structure as actually installed.

9. Pavement Removal

- A. Description: The Contract Unit Price on this item includes all labor, equipment, and material necessary to remove and dispose of existing concrete or asphalt as marked in the field by the Engineer and as described herein. The Contractor shall **SAWCUT** the existing pavement to the full depth to ensure clean and proper removal. Any additional sawcutting, removal, and replacement necessitated by damage caused by the Contractor shall be incidental.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price as measured in the field.

10. Miscellaneous Items

- A. Description: This item includes the complete labor, equipment, and materials for constructing and/or placing in service a bid item not found elsewhere in this division.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price.

20-29 SANITARY

20. Sewer Mains

- A. Description: The Contract Unit Price on this item includes clearing the work site of all trees, brush, structures and other objects which interfere with the placement of the sewer under construction, all excavation, the furnishing and placing of sewer pipe complete including wyes or tees, bedding material, backfilling, removal of surplus excavated material, testing, concrete work, protection and replacement or repair of existing utilities, and restoration of the surface to within three inches of original grade or to bottom of pavement base course. All work shall be done in accordance with the plans and specifications.

20. Sewer Mains

- B. Method of Measurement & Basis of Payment: The length of sewers to be paid for at the Contract Unit Price will be determined by measurement along the centerline of the various diameters, classes and depths of pipe as actually furnished and installed. Diameters, classes and depths shall be as shown on the proposal. Measurements shall be from center to center of adjacent manholes with no deduction for manhole diameter. Depth shall be determined by measuring the distance from sewer invert to existing grade at each manhole plus at a point midway between manholes; the average of the three measurements shall be the average depth of the sewer.

PAY ITEMS (DIVISION 7)

7.02 SPECIFIC PAY ITEMS

20-29 SANITARY (Cont'd.)

21. Manholes

- A. Description: The Contract Unit Price on this item includes all excavation, the furnishing and placing of precast sections and cast iron frame and cover, concrete work, drop pipes, connection of existing and new pipes, backfilling, removal of surplus excavated material, and restoration of surface to within three inches of original grade. All work shall be in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price per manhole for the various depths as actually installed. The depth shall be determined by measuring the distance from sewer invert to top of casting.

22. Sewer Services

- A. Description: The Contract Unit Price on this item includes all the work and materials (excepting wyes and tees but including necessary bends) as described in sewer main above.
- B. Method of Measurement & Basis of Payment: The length of sewers to be paid for at the Contract Unit Price will be determined by measurement along the centerline of the pipe including risers as actually furnished and installed. Measurement shall be from end of tee or wye to end of service.

23. Bypass Pumping

- A. Description: The Contract Unit Price on this item includes everything necessary to provide bypass pumping sufficient to complete the contract work.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price.

30-39 WATER

30. Ductile Iron Water Mains

- A. Description: The Contract Unit Price on this item includes clearing the work site of all trees, brush, structures and other objects which interfere with the placement of the water main under construction, all excavation, the furnishing and placing of water main testing, concrete work, disinfecting, backfilling and the removal of surplus excavated material, protection and replacement or repair of existing utilities, and restoration of the surface to within three inches of original grade or to bottom of pavement base course. All work shall be done in accordance with the plans and/or specifications.
- B. Method of Measurement & Basis of Payment: The length of water mains will be paid for on a lineal foot basis for pipe measured along the centerline of the various diameters and classes of pipe actually furnished and installed. There will be no deductions for fitting lengths. Unit price includes all labor and materials and related work described above.

31. Water Main Fittings

- A. Description: The contract unit price includes the furnishing and installation of the fittings delineated in the proposal.
- B. Method of Measurement & Basis of Payment: Fittings will be paid for at the Contract Unit Price for each piece successfully installed, complete with restraints, thrust block, and required appurtenances.

PAY ITEMS (DIVISION 7)

7.02 **SPECIFIC PAY ITEMS**

30-39 WATER (Cont'd.)

32. Water Valves and Boxes

- A. Description: The Contract Unit Price on this item includes the furnishing and installation of valves and valve boxes. All work shall be done in accordance with the Plans and/or Specifications and result in an operating valve.
- B. Method of Measurement & Basis of Payment: This work will be paid for at the Contract Unit Price per valve specified by size of valve on the proposal, which price includes all labor, materials, and related work as described above.

33. Fire Hydrants

- A. Description: The Contract Unit Price on this item will consist of furnishing and installing fire hydrants. It shall also include the furnishing and installation of the tee, auxiliary valve, valve box, connecting piping, thrust block, drainage pit, and miscellaneous appurtenances. All work shall be done in accordance with the plans and/or specifications and result in an operating hydrant.
- B. Method of Measurement & Basis of Payment: Fire hydrants will be paid for at the Contract Unit Price per complete Fire Hydrant assembly, which payment includes the furnishing and placing of all materials, the labor, and all related work necessary to complete the work as described above.

34. Live Tap

- A. Description: The Contract Unit Price on this item will consist of furnishing and installing tapping sleeves and valves on existing mains without loss of pressure in the existing main. It shall also include the installation of a valve box and a thrust block. All work shall be done in accordance with the plans and/or specifications.
- B. Method of Measurement & Basis of Payment: This work will be paid for at the Contract Unit Price per live tap as specified on the proposal, which price includes all labor, materials, and related work as described above.

35. Water Services

- A. Description: The Contract Unit Price on this item includes the furnishing and installation of corporation stops, curb stops, curb boxes and service pipe in accordance with the plans and or specifications. Work includes all excavation, backfill, furnishing and replacement of sand backfill, tapping of main, and removal of surplus excavated material. Long side service leads includes crossing of roads. Short side service leads are those which do not cross roads.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price for each service lead completely installed.

40-49 PAVEMENT

40. Concrete Sidewalk

- A. Description: The Contract Unit Price on this item includes furnishing all labor, equipment, and materials required in connection with forming, placing, and curing of the concrete sidewalk to the lines and grade shown on the plans or as directed. All work shall be done in accordance with the plans and specifications.

PAY ITEMS (DIVISION 7)

7.02 SPECIFIC PAY ITEMS

40-49 PAVEMENT

40. Concrete Sidewalk (Cont'd.)

- B. Method of Measurement: Concrete sidewalk will be measured and paid for in square feet, determined by multiplying the actual length as measured along the centerline of the surface of the pathway, by the actual width. The area of fillets and odd shaped sidewalk will be computed separately. Deductions will be made for structures, crossroads, sidewalk ramps, and other discontinuities in the sidewalk. Sidewalk ramps and other appurtenances included in the contract as pay items will be paid for separately.

41. Sidewalk Ramps

- A. Description: Sidewalk Ramps consist of several different pay items, the combination of which include all labor, equipment, and material necessary to construct an ADA compliant curb ramp, in accordance with MDOT Special Detail R-28. The ramp pay items are depicted below in **7.04 RAMP PAY ITEMS**. All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: The ramp components will be measured and paid for at each Contract Unit Price.

42. Bituminous Construction

- A. Description: The Contract Unit Price on this item includes all labor, equipment, and material necessary for the construction of a bituminous surface, on a prepared foundation, at the specified application rate. If the bituminous mixture is not specified, the type used shall meet the approval of the Engineer. Construction methods shall conform to the latest edition of the MDOT Standard Specifications for Construction (SSC). All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price as verified at the site through load tickets from the supplier or by field measurements.

43. Embankment

- A. Description: The Contract Unit Price on this item includes all labor, equipment, and materials required in connection with delivery and placement of granular embankment material. Embankment includes areas requiring fill as called for on the plans and the 3" of base for concrete sidewalk. All work shall be done in accordance with the plans and specifications. Granular material as noted shall mean Class II material per the MDOT 2020 SSC, Section 902.
- B. Method of Measurement & Basis of Payment: Embankment material shall be as measured in the vehicle transporting the material to the site. Load tickets from the supplier are required to verify the delivered amount.

44. Aggregate Base or Surface Course

- A. Description: The Contract Unit Price for this item includes all labor, equipment, and materials required in connection with the delivery and placement of the material. This work includes the required shaping, grading, and compacting of the material for the foundation of the asphalt ramps and driveway approaches.

The material shall be 21AA or 22A aggregate per the MDOT 2020 SSC, Section 902, unless otherwise specified. All work shall be done in accordance with the plans and specifications.

PAY ITEMS (DIVISION 7)

- B. Method of Measurement & Basis of Payment: Aggregate Surface Course shall be as measured in the vehicle transporting the material to the site. Load tickets from the supplier are required to verify the delivered amount.

7.02 SPECIFIC PAY ITEMS

40-49 PAVEMENT (Cont'd.)

45. Curb and Gutter

- A. Description: The Contract Unit Price on this item includes furnishing all labor, equipment, and materials required for forming, placing, and curing of the concrete curb and gutter to the line and grade as shown on the plans, including excavation, backfill, reinforcing steel, removal of existing curb and gutter, and all joints and joint materials. All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: The length of curb and gutter to be paid for at the Contract Unit Price will be determined by measurement along the face of the curb as actually installed, with no deductions in length for catch basins, inlet castings or gutters through concrete driveway openings.

46. Subgrade Preparation

- A. Description: The work of subgrade preparation includes furnishing all labor, equipment, and material necessary for clearing and grubbing, including all tree and bush removal, tree trimming, topsoil stripping, grading to shape the earth to develop the typical cross section shown on the plans, and any additional excavation required to construct the pavement to the grade shown on the plans.
- B. Method of Measurement & Basis of Payment: This item will be paid on a basis of lineal feet of pathway for work completed according to the specifications.

50-59 LANDSCAPE

50. Retaining Wall

- A. Description: The Contract Unit Price for this item includes all labor, equipment, and materials required in connection with the construction of a retaining wall, as shown on the plans. All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: Retaining walls will be measured by the square foot of the exposed face, above the pathway/sidewalk.

51. Fence

- A. Description: The Contract Unit Price for this item includes all labor, equipment, and materials required in connection with the construction of a fence, as shown on the plans. All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: The fence will be measured along the centerline of the fence, from centerline to centerline of the end posts.

52. Ditching

- A. Description: The Contract Unit Price on this item includes all excavation, and grading to develop the cross sections such that upon completion of site restoration the final grade shall be within plus or minus 0.1 foot of the required lines and grade. This item will also include clearing the work site of all trees, brush, structures and other objects which interfere with the performance of the work. All work shall be done in accordance with the plans and specifications. Final restoration will be paid for separately.

PAY ITEMS (DIVISION 7)

- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price when the required cross section has been obtained. Measurement will be made along the centerline of the ditch. Payment for any final trimming of the subgrade required prior to site restoration is included in this pay item.

7.02 **SPECIFIC PAY ITEMS**

50-59 LANDSCAPE (Cont'd.)

53. Erosion Control

- A. Description: The Contract Unit Price on these items includes all labor, equipment, and material necessary to install and maintain the specified erosion control device(s).
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price for each erosion control item used.

54. Site Restoration

- A. Description: The Contract Unit Price on this item includes restoration of the ground surface to at least its preconstruction state. Specific examples are final grading of the top three inches of ground surface, furnishing and installation of seed and mulch, driveway and parking area repair, culvert replacement, sidewalk repair, replacement of signs, mailboxes, and fences, plus all other miscellaneous work associated with the complete restoration of the project site. The slope between new sidewalks and a lawn shall not exceed 1:3. All work shall be done in accordance with the plans and specifications.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price when the complete project site has been restored to its original condition.

55. Drainage Pipe

- A. Description: The Contract Unit Price on these items includes all labor, equipment, and material necessary to install drainage pipe of the type and size specified, as shown on the plans.
- B. Method of Measurement & Basis of Payment: This item will be paid for at the Contract Unit Price for the length installed, as measured along the ground surface.

Newton Road Park Pathway - 2025

SPECIAL PROVISIONS

These Special Provisions are in addition to the provisions in the General and Technical Specifications and supersede the other specifications in the event of a conflict.

GENERAL

NOTIFICATION – The Contractor shall notify the homeowner to mark private utilities seven (7) days prior to work in front of the subject property. In addition, the Contractor shall notify the homeowner a minimum of 24 hours before removing any driveway concrete. The Engineer will supply the Contractor with the necessary notification forms (door hangers).

CONTINUITY OF WORK – Once construction has begun at any location, the work shall proceed without delay until that facility is substantially complete and back open to the public, barring delays due to inclement weather or acts of God that are outside of the Contractor's control. If the Contractor fails continuously to prosecute the work and causes an unnecessary delay, the Owner may apply liquidated damages to those calendar days when work should have been taking place.

TESTING – The Contractor will be responsible for scheduling concrete, asphalt, and compaction testing at the direction of the Engineer. Testing will be done by Soil and Materials Engineers, Inc. (SME), (517) 887-9181. The cost will be paid by Meridian Township, except for any wait time.

TREE TRIMMING – Trimming of all shrubs, foliage, and tree limbs up to six (6) inches in diameter which are closer than two (2) feet from the edge of or nine (9) feet above the pathway is incidental to the **Subgrade Preparation** pay item. Cuts are to be made cleanly and at the trunk.

PROPERTY IRONS – A licensed surveyor shall reestablish property irons in the proper location, if disturbed. Buried property irons shall be extended using ½" diameter rods. The Contractor shall pay for reestablishment.

ROAD RIGHT-OF-WAY – All work in the road right-of-way is done under permit and approval of the Ingham County Road Department (ICRD) or the Michigan Department of Transportation (MDOT). The Contractor shall secure the necessary right-of-way permit(s) from ICRD; Meridian Township will secure any necessary MDOT permit(s).

CLEANLINESS – **Adjacent pavement and lawn areas shall be cleaned of any mess created during construction, especially cement deposited by construction tools.**

PAY ITEMS

1a. **TRAFFIC CONTROL...** – These pay items include all labor, equipment, and materials necessary to provide and maintain traffic control devices that are in accordance with the Michigan Manual of Uniform Traffic Devices, and meet all ICRD and MDOT permit requirements, when applicable. Additionally, maintain lighted Type III barricades across all impacted pathway access points (i.e. both ends of the project. Remove the barricades as soon as it is safe for pedestrian traffic.

See Appendix A for the typical details covering most situations found in this contract.

TRAFFIC CONTROL shall be paid for at the Contract Unit Price on the following basis: after first use of traffic control measures 25% of **Traffic Control** will be paid; once 50% of the original contract price is completed 50% of **Traffic Control** will be paid; once 75% of the original contract price is completed 75% of **Traffic Control** will be paid; once the contract work is complete 100% of **Traffic Control** will be paid.

1b. **SIGN, W11-15** – This pay item includes all labor, equipment, and material necessary to install a sign in accordance with Ingham County and MMUTCD specifications.

9a. **PAVT, REM...** – These pay items include all labor, equipment, and material necessary to remove and dispose of existing pavement, of the material specified, as marked in the field by the Engineer and as described herein. The Contractor shall **SAWCUT** the existing pavement to the full thickness to ensure clean and proper removal. Sawcutting is incidental to the removal process. Any additional removal and replacement, necessitated by damage caused by the Contractor, is incidental. Removal of any other materials, such as gravel, sand, or topsoil, is included in the **Subgrade Preparation** pay item. *Dust masks must be used during all sawcutting activity.*

10a. **MOBILIZATION, MAX \$10,000** - The Contract Unit Price for this pay item includes all labor, equipment, and materials necessary for the Contractor to mobilize in accordance with the MDOT 2020 Standard Specifications for Construction (SSC), Section 110. Payment for this item will be made according to said Section 110.

10b. **TREE, REM...** – These pay items include all labor, equipment, and material necessary to remove and dispose of trees in accordance with Section 202 of the 2020 MDOT Standard Specifications for Construction (SSC). After tree removal, grind the stump to a minimum of 12 inches below the finished grade.

40a-c. **CONCRETE, 4/6/7 INCH** – These pay items include all labor, equipment, and material necessary to install concrete of the specified depth in accordance with Division 4 and the Pathway/Sidewalk Detail Sheet. This work includes joining the proposed concrete to the existing concrete as shown in the Concrete Pinning Details on the plans.

41a. **SIDEWALK RAMP, ADA** – This pay item includes all labor, equipment, and material necessary to install sidewalk ramps in accordance with MDOT Standard Plan R-28 and the Meridian Township Pathway/Sidewalk Detail Sheet. The ramp shall be six (6) inches thick with no lip between the gutter and the ramp. Payment will be made as described in Division 7 (Pay Items), page 10. Payment for curb and gutter work will be made separately as **Curb & Gutter, Rem**, or **Curb & Gutter, Inst, Det F2**.

The sidewalk ramp shall be poured separately from the adjacent gutter pan and shall be connected to it by installing #4 epoxy-coated rebar at 16 inches on-center at least nine (9) inches into each element. Per ICRD requirements, the sidewalk ramp may not be poured monolithic with the curb and gutter.

The sides of ramps shall be flared (see Division 7, page 10) at a minimum of 1:1. Vertical sides are not allowed. Any vertical sides will be removed and replaced at the Contractor's expense.

The Contractor is responsible to ensure that all new sidewalk ramps meet ADA requirements as detailed on MDOT Standard Plan R-28 and described herein. The Engineer will be available to provide advice and any necessary interpretation of the specification; however, final responsibility for the proper installation of the ramps lies with the Contractor. Any noncompliant work for ADA Sidewalk Ramps will be removed and replaced at the Contractor's expense.

41b. **DETECTABLE WARNING SURFACE** – This pay item includes all labor, equipment, and material necessary to install the requisite detectable warning surfaces, as described herein.

Plates shall be East Jordan Iron Works DURALAST, product lines 7005/7006, with Black Asphaltic Coating. Where the detectable warning surface is placed perpendicular to the direction of pedestrian travel the plates shall be EJIW 7005; where the detectable warning surface is placed radially at the back-of-curb the plates may be EJIW 7005 or 7006, see note below.

Note: Where the detectable warning surface is required to follow the back-of-curb, either radial or straight plates may be utilized. Where straight plates are utilized the sides must be cut to provide complete coverage of the detectable warning surface (see MDOT Standard Plan R-28, sheet 4).

- 43a. **EMBANKMENT** – This pay item includes all labor, equipment, and material necessary to install class II granular material as defined in the MDOT 2020 Standard Specifications for Construction, Section 902. Compact all embankment to a minimum of 95% of maximum density.
- Alternately, the Contractor may use the Township’s stockpile of millings, located behind 2100 Gaylord C. Smith Ct. The Contractor would be responsible for providing labor and equipment to load and transport the millings from the stockpile location to the construction site. If millings are utilized, payment will be based on the loads delivered to the site. The Township inspector must be present to verify loads. Any loads delivered without inspector verification will not be eligible for payment.
- 44a. **AGGREGATE, 21AA** – This pay item includes all labor, equipment, and material necessary to install 21AA aggregate as defined in the MDOT 2012 Standard Specifications for Construction, Section 902. Compact all 21AA aggregate to a minimum of 98% of maximum density.
- Alternately, the Contractor may use the Township’s stockpile of millings, located behind 2100 Gaylord C. Smith Ct. The Contractor would be responsible for providing labor and equipment to load and transport the millings from the stockpile location to the construction site. If millings are utilized, payment will be based on the loads delivered to the site. The Township inspector must be present to verify loads. Any loads delivered without inspector verification will not be eligible for payment.
- 45a.b. **CURB & GUTTER, REMOVE/REPLACE** – These pay items include all labor, equipment, and material necessary to remove and replace curb and gutter. New curb and gutter shall be tied to the existing with 18-inch, #4 epoxy coated dowels drilled 9 inches into the adjacent curb in accordance with ICRD requirements. Curb shall be MDOT Detail F2.
- HMA, 13A** shall be used to repair any damage to the roadway caused by the Contractor. Asphalt shall be used to repair the road only; asphalt shall not extend onto adjacent curb, gutter, or ramps, unless directed by the Engineer. Damaged asphalt shall be sawcut in order to provide a proper surface for the asphalt repair. All such asphalt repair work is incidental.
46. **SUBGRADE PREPARATION** – This pay item includes all labor, equipment, and material necessary to grade for the proposed concrete pathway or curb. This item includes removal of all shrubs, trees smaller than six (6) inches in diameter, rocks, topsoil, gravel, and any other material or debris necessary for the installation as shown on the plans. Additionally, any adjustments required to achieve the final grade, including installation and shaping of **Embankment** or **Aggregate, 21AA**, are included in this pay item.
- Remove all roots beneath concrete installation locations. Cleanly cut and properly dispose of all removed roots, and debris. The subgrade shall be backfilled with **Embankment**, if necessary, and compacted prior to pouring concrete.
- 53a. **EROSION CONTROL, SILT FENCE** – This pay item includes all labor, equipment, and material necessary to install and maintain silt fence in accordance with Section 208 of the MDOT 2020 SSC. Final retainage will not be released until all SESC measures have been successfully removed.
- 53b. **EROSION CONTROL, INLET PROTECTION, FABRIC DROP** – This pay item includes all labor, equipment, and material necessary to install and maintain a device which is designed and constructed for use in the specified structure. Catch basin sediment guards shall be installed prior to construction, cleaned and maintained in a working state for the duration of the project, and removed and disposed of upon final completion and restoration of the construction site. Grass shall be growing before the sediment guards are removed, and retainage will not be released until the sediment guards are fully removed.
- 54a. **SITE RESTORATION, ...** – These pay items include all labor, equipment, and material necessary to restore disturbed grass areas in accordance with the MDOT 2020 SSC, Section 816, and as described herein. The disturbed areas shall be restored to grade with three (3) inches of screened topsoil. For slopes less than 1:4, hydroseeding must be utilized with fertilizer, loose mulch, and a spray-applied tackifier. For slopes greater than 1:4, mulch blankets must be used.

55a.c. **CULV, CSP, 16 GAUGE.** ... - This pay item includes all labor, equipment, and material necessary to install a corrugated steel pipe culvert in accordance with the 2020 MDOT SSC, Section 401.

55b.d. **CULV, END SECT, ...** - This pay item includes all labor, equipment, and material necessary to install a culvert end section in accordance with the 2020 MDOT SSC, Section 401.

DISTANCE BETWEEN TRAFFIC SIGNS, "D"

"D" DISTANCES	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)										
	25	30	35	40	45	50	55	60	65	70	75
D (FEET)	250	300	350	400	450	500	550	600	650	700	750

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE, "B"

"B" LENGTHS	SPEED*, MPH (PRIOR TO WORK AREA)											
	20	25	30	35	40	45	50	55	60	65	70	75
B (FEET)	33	50	83	132	181	230	279	329	411	476	542	625

* POSTED SPEED, OFF-PEAK 85TH PERCENTILE SPEED PRIOR TO WORK STARTING, OR THE ANTICIPATED OPERATING SPEED.

MINIMUM MERGING TAPER LENGTH, "L" (FEET)

OFFSET (FEET)	POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)										
	25	30	35	40	45	50	55	60	65	70	75
1	11	15	21	27	45	50	55	60	65	70	75
2	21	30	41	54	90	100	110	120	130	140	150
3	32	45	62	80	135	150	165	180	195	210	225
4	42	60	82	107	180	200	220	240	260	280	300
5	53	75	103	134	225	250	275	300	325	350	375
6	63	90	123	160	270	300	330	360	390	420	450
7	73	105	143	187	315	350	385	420	455	490	525
8	84	120	164	214	360	400	440	480	520	560	600
9	94	135	184	240	405	450	495	540	585	630	675
10	105	150	205	267	450	500	550	600	650	700	750
11	115	165	225	294	495	550	605	660	715	770	825
12	125	180	245	320	540	600	660	720	780	840	900
13	136	195	266	347	585	650	715	780	845	910	975
14	146	210	286	374	630	700	770	840	910	980	1050
15	157	225	307	400	675	750	825	900	975	1050	1125

NOT TO SCALE

	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	"B", "D" AND "L" TABLES CHANNELIZING DEVICE SPACING, SIGN BORDER KEY, AND ROLL-AHEAD SPACING	DATE: MAY 2021
		NO: 101-GEN-SPACING-CHARTS		SHEET: 1 OF 3

FILE: 101-GEN-SPACING-CHARTS.dgn

THE FORMULAS FOR THE MINIMUM LENGTH OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

"L" = $\frac{W \times S^2}{60}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

"L" = W X S WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

L = MINIMUM LENGTH OF MERGING TAPER
 S = POSTED SPEED LIMIT IN MPH PRIOR TO WORK AREA
 W = WIDTH OF OFFSET

TYPES OF TAPERS

UPSTREAM TAPERS

- MERGING TAPER
- SHIFTING TAPER
- SHOULDER TAPER
- 2 TO 1 LANE ROAD TAPER

TAPER LENGTH

- L - MINIMUM
- 1/2 L - MINIMUM
- 1/3 L - MINIMUM
- 100' - MAXIMUM

DOWNSTREAM TAPERS
 (USE IS RECOMMENDED)

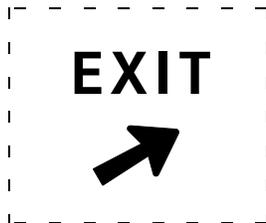
100' (PER LANE)

MAXIMUM SPACING FOR CHANNELIZING DEVICES

WORK ZONE SPEED LIMIT	DRUM AND 42" DEVICE SPACING (FT)		NIGHTTIME 42" DEVICE SPACING (FT)	
	TAPER	TANGENT	TAPER	TANGENT
< 45 MPH	1 x SPEED LIMIT	2 x SPEED LIMIT	25 FEET	50 FEET
≥ 45 MPH	50 FEET	100 FEET	25 FEET	50 FEET

SIGN OUTLINE KEY

DASHED OUTLINES INDICATE A SIGN THAT EXISTS ON SITE, AND NEEDS TO BE COVERED.



SOLID OUTLINES INDICATE A SIGN THAT IS TO BE PLACED ON THE PROJECT



NOT TO SCALE

	NOT TO SCALE	MAINTAINING TRAFFIC TYPICAL	"B", "D" AND "L" TABLES CHANNELIZING DEVICE SPACING SIGN BORDER KEY AND ROLL-AHEAD SPACING	DATE: MAY 2021
		NO: 101-GEN-SPACING-CHARTS		SHEET: 2 OF 3

FILE: 101-GEN-SPACING-CHARTS.dgn

THE FOLLOWING NOTES APPLY IF CALLED FOR ON THE TRAFFIC TYPICAL

GENERAL NOTES

- G1: SEE GEN-SPACING-CHARTS FOR COMMON VALUES INCLUDING:
D = DISTANCE BETWEEN TRAFFIC CONTROL DEVICES
L = MINIMUM LENGTH OF TAPER
B = LENGTH OF LONGITUDINAL BUFFER
ROLL AHEAD DISTANCE
- G2: DISTANCE BETWEEN SIGNS, "D", THE VALUES FOR WHICH ARE SHOWN IN TYPICAL GEN-KEY ARE APPROXIMATE AND MAY NEED ADJUSTING AS DIRECTED BY THE ENGINEER.
- G3: ALL TEMPORARY SIGNS, TYPE III BARRICADES, THEIR SUPPORT SYSTEMS AND LIGHTING MUST MEET NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM REPORT 350 (NCHRP 350) TEST LEVEL 3, OR MANUAL FOR ASSESSING SAFETY HARDWARE (MASH) TL-3 AS WELL AS THE CURRENT EDITION OF THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. ONLY DESIGNS AND MATERIALS APPROVED BY MDOT WILL BE ALLOWED.
- G4: DO NOT STORE EQUIPMENT, MATERIALS OR PERFORM WORK IN ESTABLISHED BUFFER AREAS.
- G5: ALL EXISTING PAVEMENT MARKINGS WHICH ARE IN CONFLICT WITH EITHER PROPOSED CHANGES IN TRAFFIC PATTERNS OR PROPOSED TEMPORARY TRAFFIC MARKINGS SHALL BE REMOVED BEFORE ANY CHANGE IS MADE IN THE TRAFFIC PATTERN. EXCEPTION WILL BE MADE FOR TRAFFIC PATTERNS FOR WORK LESS THAN THREE DAYS THAT ARE ADEQUATELY DELINEATED BY OTHER TRAFFIC CONTROL DEVICES.

SIGN NOTES

- S1: ALL NON-APPLICABLE SIGNING WITHIN THE CIA MUST BE MODIFIED TO FIT CONDITIONS, COVERED, OR REMOVED. FOR GUIDANCE SEE THE WORK ZONE SAFETY AND MOBILITY MANUAL, SECTIONS 6.01.09 AND 6.01.10.
- S2: R5-18b SIGNS ARE ONLY REQUIRED ON FREEWAY PROJECTS WITH A DURATION OF 15 DAYS OR LONGER OR NON-FREEWAY PROJECTS WITH A DURATION OF 90 DAYS OR LONGER. TO APPLY THIS TYPICAL WITHOUT R5-18b SIGNS, REMOVE THE SIGNS AND CONSOLIDATE THE SEQUENCE AS APPROPRIATE.
- S3: R5-18c IS ONLY REQUIRED IN THE INITIAL SIGNING SEQUENCE IN THE WORK ZONE. OMIT THIS SIGN IN SUBSEQUENT SEQUENCES IN THE SAME WORK ZONE.
- S4: ADDITIONAL SIGNING AND/OR ELONGATED SIGNING SEQUENCES SHOULD BE USED WHEN TRAFFIC VOLUMES ARE SIGNIFICANT ENOUGH TO CREATE BACKUPS BEYOND THE W20-5 SIGNS.
- S5: PLACE ADDITIONAL SPEED LIMIT SIGNS REFLECTING THE WORK ZONE SPEED AFTER EACH MAJOR CROSSROAD THAT INTERSECTS THE WORK ZONE, OR AFTER EACH ENTRANCE RAMP THAT COMES ONTO THE FREEWAY WHERE THE REDUCED SPEED IS IN EFFECT. PLACE ADDITIONAL SPEED LIMIT SIGNS AT INTERVALS ALONG THE ROADWAY SUCH THAT NO SPEED LIMIT SIGNS ARE MORE THAN 2 MILES APART. WHEN REDUCED SPEED LIMITS ARE UTILIZED IN THE WORK AREA, PLACE ADDITIONAL SPEED LIMIT SIGNS RETURNING TRAFFIC TO ITS NORMAL SPEED BEYOND THE LIMITS OF THE WORK AREA AS INDICATED. IF PERMANENT SIGNS DISPLAYING THE CORRECT SPEED LIMIT ARE POSTED, OMIT ALL W3-5b AND R2-1 SIGNS AND REDUCE SPACING ACCORDINGLY.
- S6: FABRICATE SPECIAL SIGNS IN ACCORDANCE WITH CURRENT SIGNING DESIGN STANDARDS.
- S7: PLACE ADDITIONAL R8-3 SIGNS AT A MAXIMUM 500' SPACING THROUGHOUT THE WORK ZONE.
- S8: WHEN SPEED LIMIT SIGNS CANNOT BE PLACED SIDE BY SIDE AS SHOWN, PLACE THEM "D" DISTANCE APART.
- S9: STOP SIGNS NOT REQUIRED IF SIGNALS ARE ON 4-WAY FLASHING RED. STOP AHEAD SIGNS ARE NOT REQUIRED IF THERE IS ADEQUATE VISIBILITY OF THE STOP SIGN OR IF SIGNALS ARE BEING USED TO CONTROL TRAFFIC.
- S10: PLACE REDUCED SPEED ZONE AHEAD SIGN (W3-5b) HERE WHEN USING A SPEED REDUCTION IN THIS DIRECTION.
- S11: THE NUMBER OF W1-6 SHIFT SIGNS TO PLACE FOR A SHIFT IS AS FOLLOWS:
SHIFTS 4FT OR LESS, PLACE ONE W1-6(R)(L)
SHIFTS 5FT TO 12FT, PLACE TWO W1-6(R)(L)
SHIFTS MORE THAN 12FT, PLACE THREE OR MORE W1-6(R)(L) SIGNS DEPENDING UPON LENGTH OF SHIFT AND AS PER THE ENGINEER.
- S12: PLACE R2-1 SIGNS AS DETAILED IN NOTE S5 WHEN THERE IS A SPEED REDUCTION IN THIS DIRECTION

TRAFFIC REGULATOR NOTES

- TR1: TRAFFIC REGULATORS MUST FOLLOW ALL THE REQUIREMENTS IN THE STANDARD SPECIFICATIONS, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS, THE CURRENT VERSIONS OF THE TRAFFIC REGULATOR'S INSTRUCTION MANUAL AND THE VIDEO "HOW TO SAFELY REGULATE TRAFFIC IN MICHIGAN". THE MAXIMUM DISTANCE BETWEEN THE TRAFFIC REGULATORS IS DETERMINED BY THE ROADWAY ADT, GEOMETRICS, AND AS DIRECTED BY THE ENGINEER.
- TR2: PROVIDE APPROPRIATE BALLOON LIGHTING TO SUFFICIENTLY ILLUMINATE TRAFFIC REGULATOR'S STATIONS WHEN TRAFFIC REGULATING IS ALLOWED DURING THE HOURS OF DARKNESS.

TEMPORARY TRAFFIC CONTROL DEVICE NOTES

- TCD1: THE MAXIMUM DISTANCE IN FEET BETWEEN CHANNELIZING DEVICES IN A TAPER SHOULD NOT EXCEED 1.0 TIMES THE WORK ZONE SPEED LIMIT IN MPH FOR ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT LESS THAN 45 MPH AND SHOULD NOT EXCEED 50 FEET ON ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT OF 45 MPH OR GREATER. THE SPACING FOR 42 INCH CHANNELIZING DEVICE TAPERS ARE NOT TO EXCEED 25 FEET AT NIGHT.
- TCD2: THE MAXIMUM DISTANCE IN FEET BETWEEN CHANNELIZING DEVICES IN A TANGENT SHOULD NOT EXCEED TWICE THE WORK ZONE SPEED LIMIT IN MPH FOR ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT LESS THAN 45 MPH AND SHOULD NOT EXCEED 100 FEET ON ROADWAYS WITH A POSTED WORK ZONE SPEED LIMIT OF 45 MPH OR GREATER. THE SPACING FOR 42 INCH CHANNELIZING DEVICE TANGENTS ARE NOT TO EXCEED 50 FEET AT NIGHT.
- TCD3: TYPE III BARRICADES MUST BE LIGHTED FOR OVERNIGHT CLOSURES.
- TCD4: WHEN THE HAUL ROAD IS NOT IN USE, PLACE LIGHTED TYPE III BARRICADES WITH "ROAD CLOSED" EXTENDING COMPLETELY ACROSS THE HAUL ROAD.
- TCD5: USE VERTICAL PANELS IN LIEU OF THE TYPE B HIGH INTENSITY LIGHT SHOWN IN THE STANDARD PLAN FOR TEMPORARY CONCRETE BARRIER (R-53, AND R-126) WHEN USED WITH A TEMPORARY SIGNAL SYSTEM.
- TCD6: PLACE LIGHTED ARROW PANELS AS CLOSE TO THE BEGINNING OF TAPERS AS PRACTICAL, BUT NOT IN A MANNER THAT WILL OBSCURE OR CONFUSE APPROACHING MOTORISTS WHEN PHYSICAL LIMITATIONS RESTRICT PLACEMENT. IN CURBED SECTIONS, IF ARROW BOARD CANNOT BE PLACED BEHIND CURB, PLACE ARROW BOARD IN THE CLOSED LANE AS CLOSE TO THE BEGINNING OF TAPER AS POSSIBLE.
- TCD7: ADDITIONAL TYPE III BARRICADES MAY BE REQUIRED TO COMPLETELY CLOSE OFF ROAD FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT.
- TCD8: WHERE THE SHIFTED SECTION IS SHORTER THAN 600 FEET, A DOUBLE REVERSE CURVE SIGN (W24-1) CAN BE USED INSTEAD OF THE FIRST REVERSE CURVE SIGN, AND THE SECOND REVERSE CURVE SIGN CAN BE OMITTED.
- TCD9: RUMBLE STRIPS ARE TO BE PLACED AS SPECIFIED IN THE CONTRACT. IF NOT SPECIFIED IN THE CONTRACT, PLACE RUMBLE STRIPS AS SHOWN, AND IN ACCORDANCE WITH THE RUMBLE STRIP MANUFACTURER'S RECOMMENDATIONS. AN ARRAY OF RUMBLE STRIPS CONTAINS THREE RUMBLE STRIPS. PLACE THE RUMBLE STRIPS IN THE ARRAY AT A CONSISTENT DISTANCE, BETWEEN 10' AND 20' APART.
- TCD10: SEE THE WORK ZONE SAFETY AND MOBILITY MANUAL, PORTABLE CHANGEABLE MESSAGE SIGN GUIDELINES FOR RECOMMENDED AND CORRECT PCMS MESSAGING. STAGGER PCMS THAT ARE ON OPPOSING SIDES OF THE ROAD 1000 FEET FROM EACH OTHER.

RAMP NOTES

- RMP1: WHEN CONDITIONS ALLOW, E5-1 SIGNS MUST BE REMOVED OR COVERED AND CHANNELIZING DEVICES MUST BE POSITIONED TO ENABLE RAMP TRAFFIC TO DIVERGE IN A FREE MANNER
- RMP2: STOP AND YIELD CONDITIONS SHOULD BE AVOIDED WHENEVER PRACTICAL. WHEN CONDITIONS WARRANT, R1-1 SIGNS MAY BE USED IN PLACE OF R1-2 SIGNS. WHEN R-1 SIGNS ARE USED, W3-1 SIGNS MUST BE USED IN PLACE OF W3-2 SIGNS. CONSIDERATION SHOULD BE GIVEN TO CLOSING THE RAMP TO COMPLETE WORK TO ALLOW AN ADEQUATE MERGE DISTANCE. WORK SHOULD BE EXPEDITED TO AVOID THE STOP AND/OR YIELD CONDITIONS.



NOT TO SCALE

MAINTAINING TRAFFIC TYPICAL

NO: 102-GEN-NOTES

TRAFFIC TYPICALS
NOTE SHEET

DATE: MAY 2021

SHEET:

1 OF 2

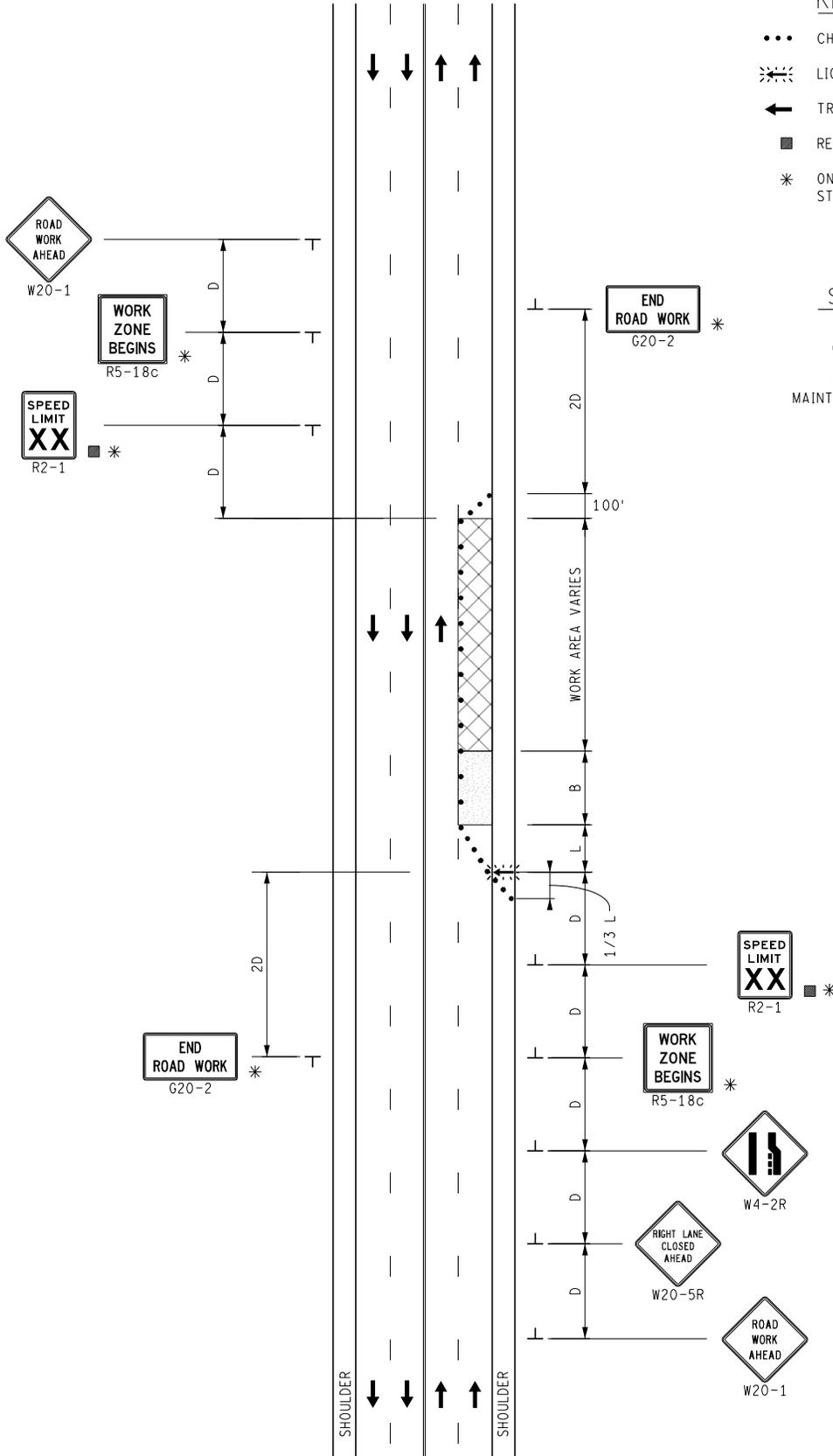
FILE: 102-GEN-NOTES.dgn

KEY

- CHANNELIZING DEVICES
- ⚡ LIGHTED ARROW PANEL
- ← TRAFFIC FLOW
- REFLECTS EXISTING SPEED LIMIT
- * ONLY REQUIRED FOR INTERMEDIATE-TERM STATIONARY AND LONG-TERM STATIONARY

STANDARD NOTES

(SEE 102-GEN-NOTES)
 GENERAL: G1, G2, G3, G4
 SIGNING: S1, S3
 DEVICES: TCD1, TCD2, TCD6
 MAINT & SURV MS2, MS3, MS4



NOT TO SCALE

	MAINTENANCE MAINTAINING TRAFFIC TYPICAL	DURATION: LONG-TERM STATIONARY INTERMEDIATE-TERM STATIONARY SHORT-TERM STATIONARY	RIGHT LANE CLOSURE ON AN UNDIVIDED MULTI-LANE ROADWAY, NO SPEED REDUCTION	DATE: MAY 2021
				NO: 4123A-M-NFW-1LC-(R)
				SHEET: 1 OF 1

FILE: 4123A-M-NFW-1LC-(R).dgn

Notes for Figure 6H-22—Typical Application 22
Right Lane Closure on Far Side of Intersection

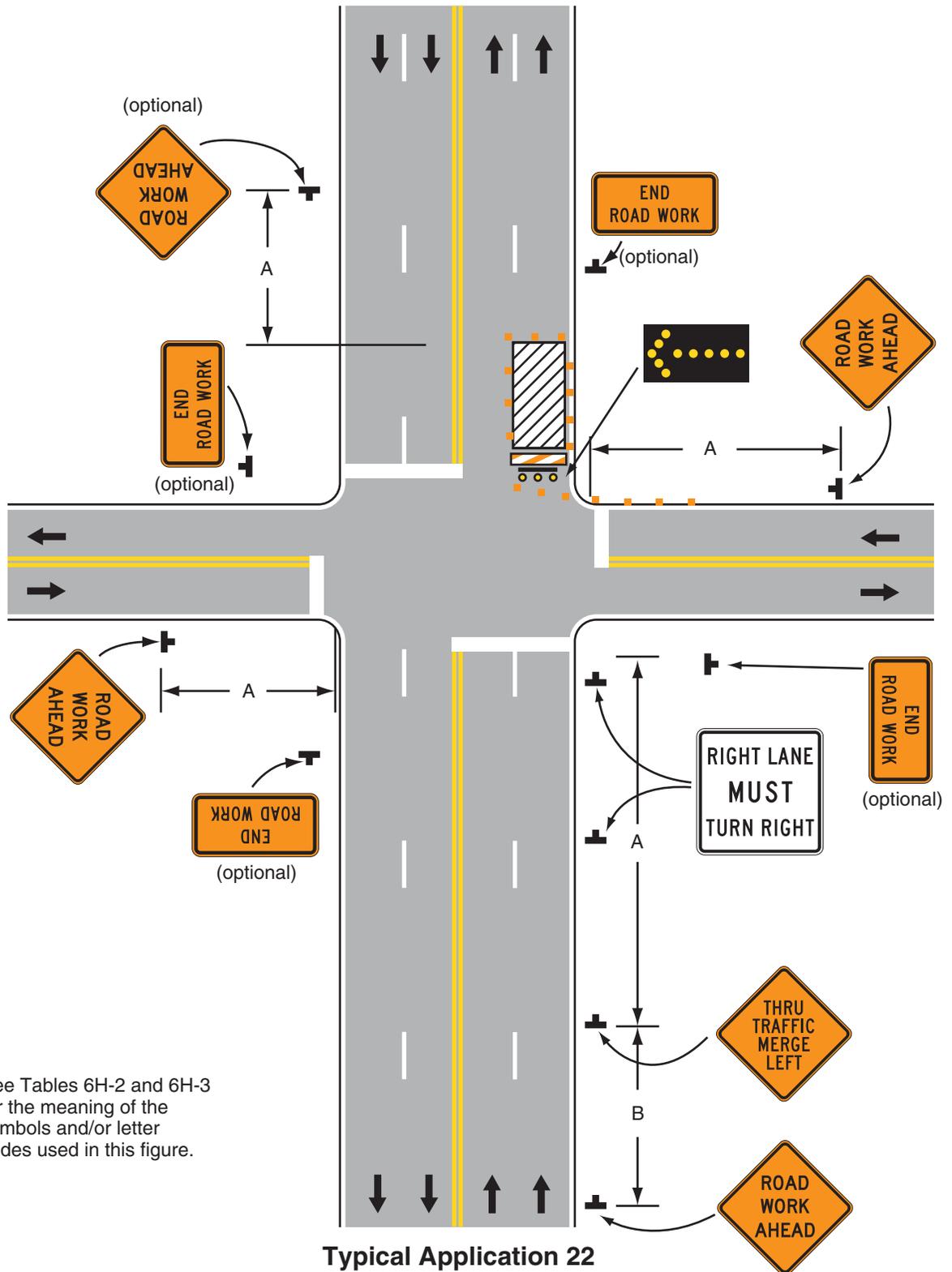
Guidance:

1. If the work space extends across a crosswalk, the crosswalk should be closed using the information and devices shown in Figure 6H-29.

Option:

2. The normal procedure is to close on the near side of the intersection any lane that is not carried through the intersection. However, when this results in the closure of a right lane having significant right turning movements, then the right lane may be restricted to right turns only, as shown. This procedure increases the through capacity by eliminating right turns from the open through lane.
3. For intersection approaches reduced to a single lane, left-turning movements may be prohibited to maintain capacity for through vehicular traffic.
4. Flashing warning lights and/or flags may be used to call attention to the advance warning signs.
5. Where the turning radius is large, it may be possible to create a right-turn island using channelizing devices or pavement markings.

Figure 6H-22. Right Lane Closure on Far Side of Intersection (TA-22)



Note: See Tables 6H-2 and 6H-3 for the meaning of the symbols and/or letter codes used in this figure.

UTILITY COMPANY	UTILITIES
AT&T 337 N. ABBOTT, RM. 201 EAST LANSING, MI 48823 517.337.3660	TELEPHONE
CONSUMERS ENERGY 530 W. WILLOW ST. P.O. BOX 30162 LANSING, MI 48909 517.373.6100	GAS ELECTRIC
COMCAST 1070 TROWBRIDGE ROAD EAST LANSING, MI 48823 517.332.1012	CABLE TV
MERIDIAN CHARTER TOWNSHIP 5151 MARSH RD. OKEMOS, MI 48864 517.853.4440	WATER MAINS SANITARY SEWER PATHWAYS
WOLVERINE PIPE LINE 8105 VALLEYWOOD LANE PORTAGE, MI 49024-5251 231.323.2491	PETROLEUM PIPELINE
INGHAM COUNTY DRAIN COMMISSIONER 707 BUHL ST. MASON, MI 48854 517.676.8395	DRAINS STORM SEWER
INGHAM COUNTY ROAD DEPT 301 BUSH ST. MASON, MI 48854 517.676.9722	PUBLIC ROADS AND RIGHTS OF WAY

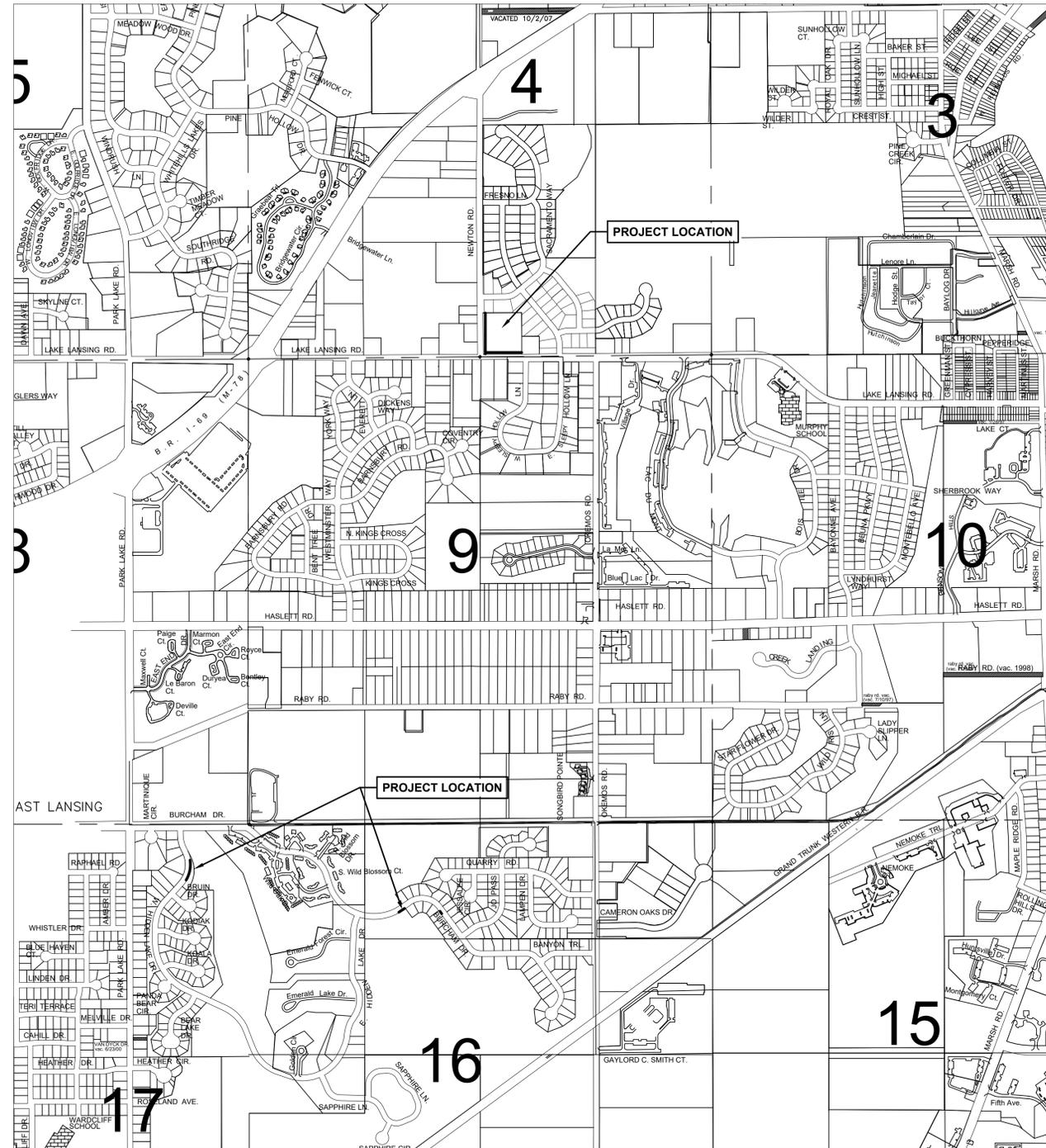
SOIL EROSION & SEDIMENTATION CONTROL NOTES

- All soil erosion and sediment control (SESC) work shall conform to the standards and specifications of the Ingham County Drain Commissioner's Office and Meridian Charter Township.
- Daily inspections shall be made by the contractor for effectiveness of SESC measures. Any necessary repairs shall be performed without delay.
- Erosion of any sediment from work on the site shall be contained on-site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, ponds, and wetlands.
- The Contractor shall apply temporary SESC measures when required and as directed on these plans. The Contractor shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other changes have been established.
- Staging the work shall be done by the Contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
- Soil erosion control practice shall be established in the early stages of construction by the Contractor. Sedimentation control practices shall be applied as a perimeter defense against any transporting of soil off the site.
- The Contractor shall preserve natural vegetation as much as possible.
- Vegetative stabilization of all disturbed areas shall be established within 15 days of completion of the final grading.

Newton Park Pathway- 2025 CONSTRUCTION PLANS FOR MERIDIAN CHARTER TOWNSHIP INGHAM COUNTY, MICHIGAN



Call 811 before you dig.



STANDARD CONSTRUCTION NOTES

- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering 517-853-4440 a minimum of 72 hours prior to the start of construction of public utilities or of construction within the public right-of-way.
- All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
- After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
- The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
- The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
- The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Charter Township of Meridian, upon four hours notice, reserves the right to perform the work and deduct the cost therefrom from the money due the contractor.
- A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments disturbed or destroyed by the contractor's operations.
- Contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
- Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
- Trees and shrubs are to be protected during construction and bored where necessary.
- Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
- Driveways, culverts, ditches, drain tile, tile fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
- All established lawn areas disturbed by the contractor's operations shall be resodded with matching sod. All other areas shall be seeded and mulched. Seeding and mulching shall be done in accordance with the General Specifications.
- All ditch slopes shall have established vegetation and be protected from erosion.
- All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
- Onsite parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.

PATHWAY NOTES

- Pathways and sidewalks shall be four (4) inch thick concrete except at driveways where they shall be six (6) inch (residential) or seven (7) inch (commercial) thick concrete.
- Three (3) inches of compacted sand base shall be placed under all pathways and sidewalks.
- All bituminous aprons shall be two and one-half (2½) inches thick, unless otherwise noted.
- Property irons shall be maintained by the Contractor.
- All existing concrete and bituminous to be removed shall be sawcut. All bituminous removal shall be considered incidental to construction.
- All aggregate base material shall be four (4) inches of 22A.
- All tree (less than 6") and shrub removal shall be considered part of subgrade preparation.
- Location of new plant material shall be as directed by the Engineer, and shall be installed in accordance with guidelines established by the A.N.L.A.
- All plant material not marked for removal shall be protected.
- Bituminous drives shall be sawcut 18" on either side of proposed pathway.
- The maximum longitudinal slope is 5% (up to an absolute maximum of 8½% at the direction of the Engineer) and the maximum cross slope is 2%.
- Expansion joints shall be placed at approximately 100' intervals and shall be ½" thick. Contraction joints shall be sawcut to a depth of ¼ of the depth of the concrete.
- All lumber to be pressure treated (Osmore 33 or equal) to 0.4 retention.
- All items not covered under a specific pay item shall be considered incidental.

Sheet Number	Sheet Title
1	Cover Sheet
2	SESC Plan
3	SESC Plan
4	SESC Plan
5	SESC Notes & Details
6	Site Plan
7	Grading Plan
8	Site Plan
9	Site Plan
10	Typical Sections
11	Typical Details

Call 811 before you dig.

Meridian Charter Township
Ingham County, Michigan
Pathway

Cover Sheet

Newton Park Pathway - 2025

SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

DRAWN BY: TH

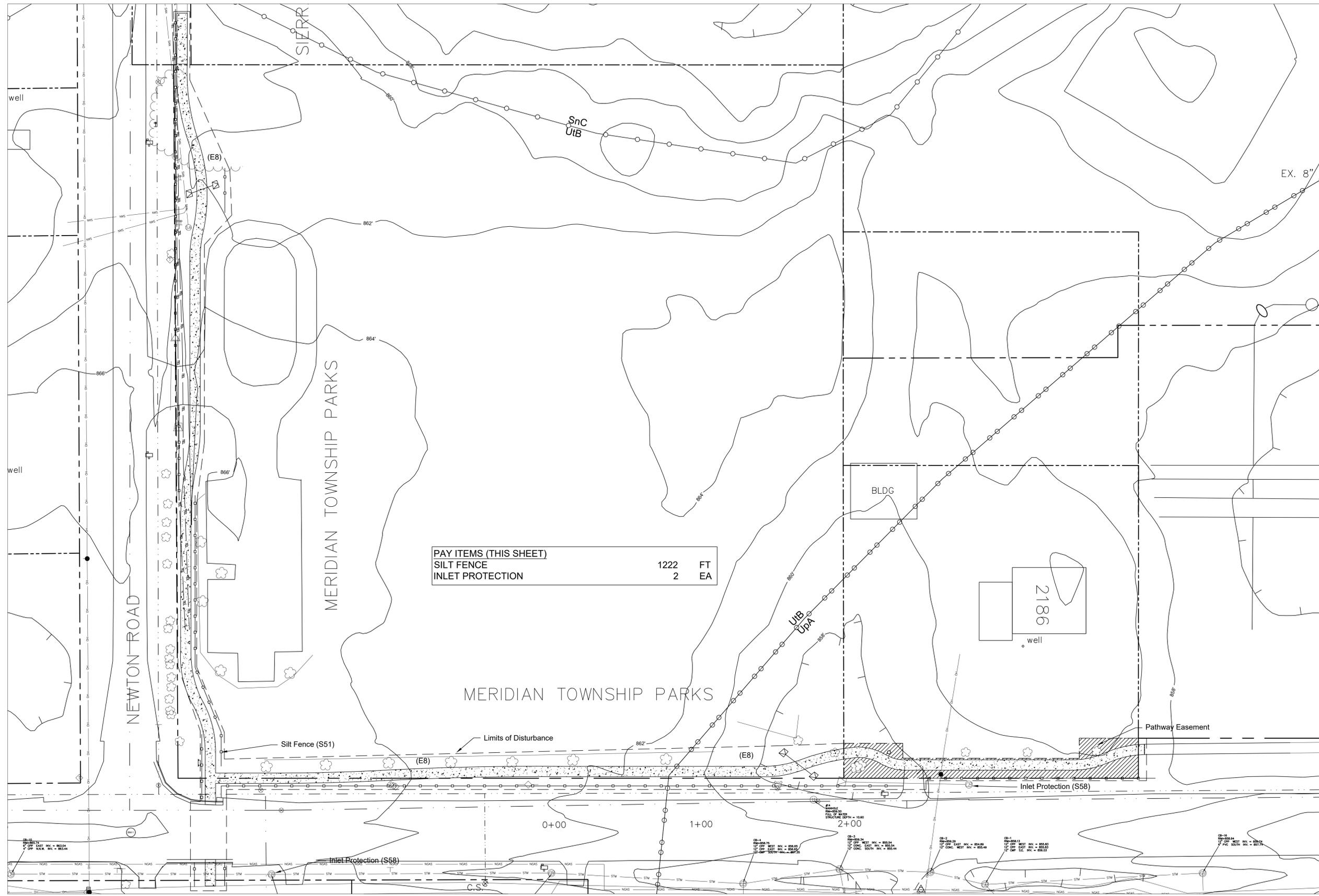
CHECKED BY: YI

REVISIONS:

DATE	BY:	COMMENTS:

SHEET:

Soils:
 UtB: Marlette complex, 2 to 12 percent slopes
 UpA: Urban land-Capac-Colwood complex, 0 to 4 percent slopes
 SnC: Sisson fine sandyloam, 6 to 12 percent slopes



LEGEND

	PROPERTY LINE
	EXISTING CONTOUR
	SOIL BOUNDARY
	SILT FENCE
	LIMITS OF DISTURBANCE

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
SEDIMENT CONTROLS			
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).

Call 811 before you dig.

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Meridian Charter Township
 Ingham County, Michigan
 Pathway

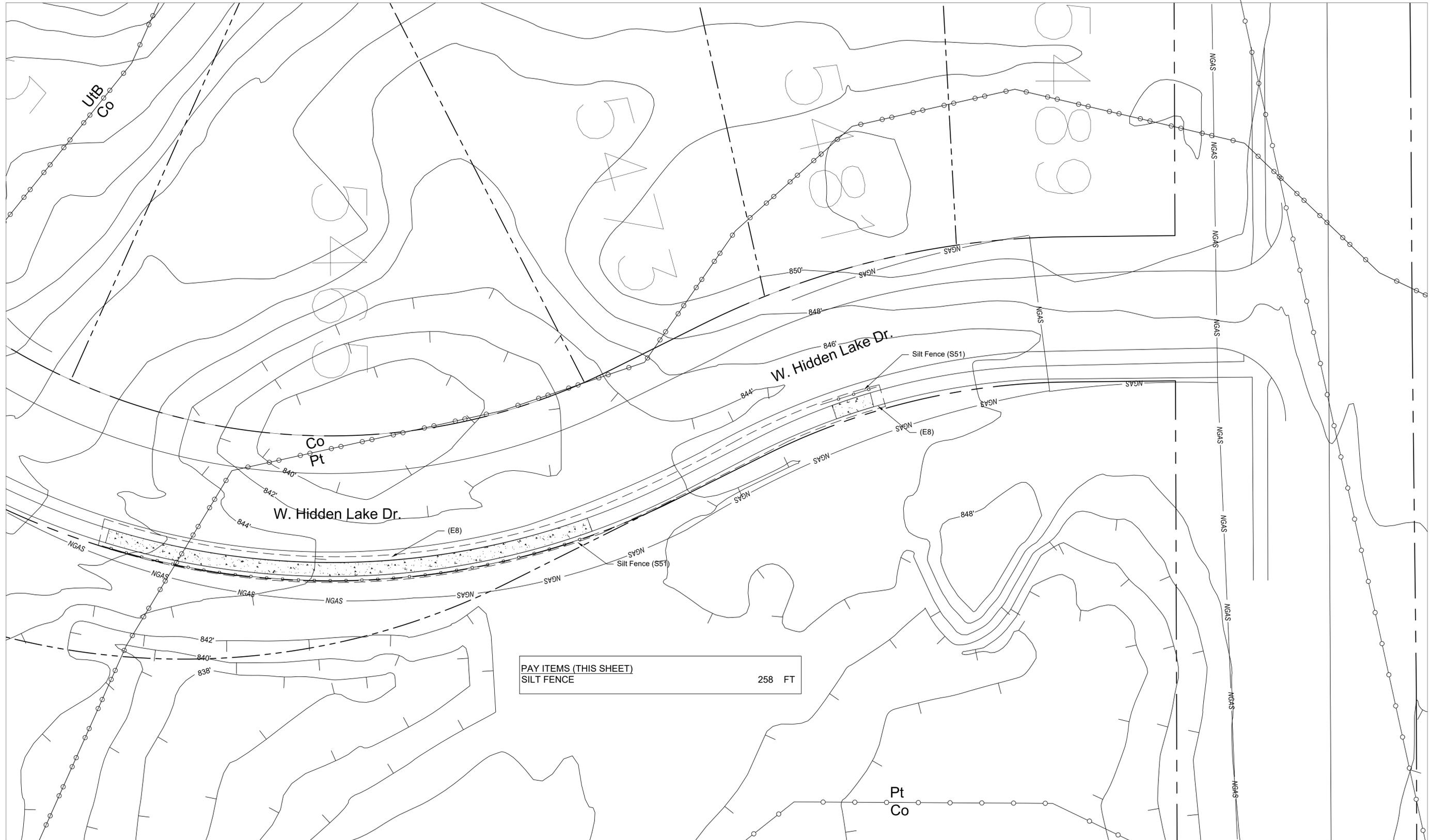
SESC Plan
 Newton Park Pathway - 2025
 SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
 INGHAM COUNTY, MICHIGAN

DRAWN BY: TH

CHECKED BY: YI

REVISIONS:		
DATE	BY:	COMMENTS:

SHEET:



- LEGEND**
- PROPERTY LINE
 - EXISTING CONTOUR
 - SOIL BOUNDARY
 - SILT FENCE
 - LIMITS OF DISTURBANCE



Soils:
 UtB: Marlette complex, 2 to 12 percent slopes
 Co: Brookston loams
 Pt: Pits

PAY ITEMS (THIS SHEET)
 SILT FENCE 258 FT

Call 811 before you dig.

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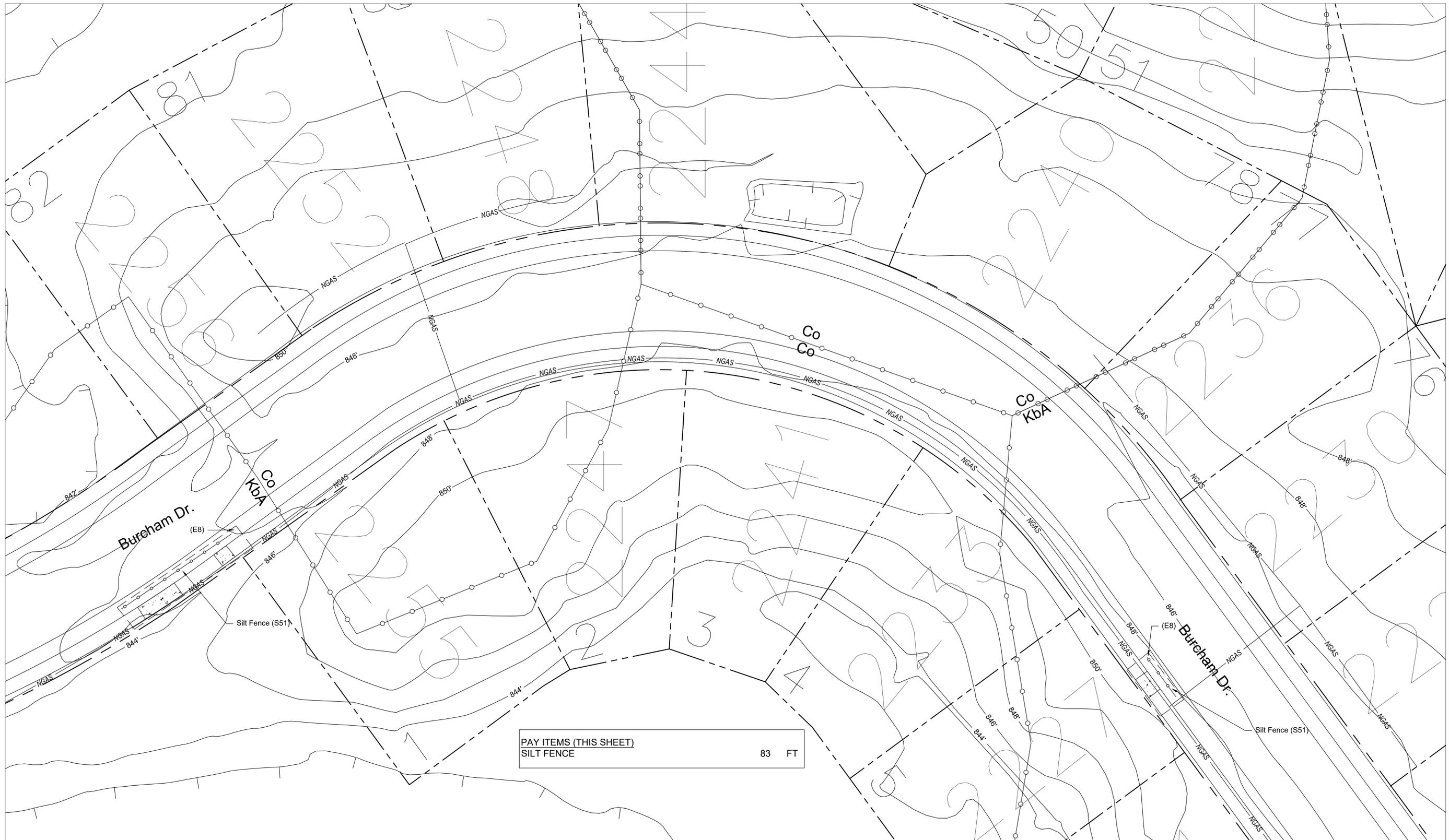
Meridian Charter Township
 Ingham County, Michigan
 Pathway

SESC Plan
 Newton Park Pathway - 2025
 SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
 INGHAM COUNTY, MICHIGAN

DRAWN BY: TH CHECKED BY: YI

REVISIONS:		
DATE	BY:	COMMENTS:

SHEET:



LEGEND

- PROPERTY LINE
- xxx' EXISTING CONTOUR
- SOIL BOUNDARY
- SILT FENCE
- LIMITS OF DISTURBANCE



Soils:
 Co: Brookston loams
 KbA: Kibbie loam, 0 to 3 percent slopes

PAY ITEMS (THIS SHEET)
 SILT FENCE 83 FT

Call 811 before you dig.

WOLVERINE PIPE LINE COMPANY 219-844-9510

Meridian Charter Township
 Ingham County, Michigan
 Pathway

SESC Plan
 Newton Park Pathway - 2025
 SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
 INGHAM COUNTY, MICHIGAN

DRAWN BY: TH

CHECKED BY: YI

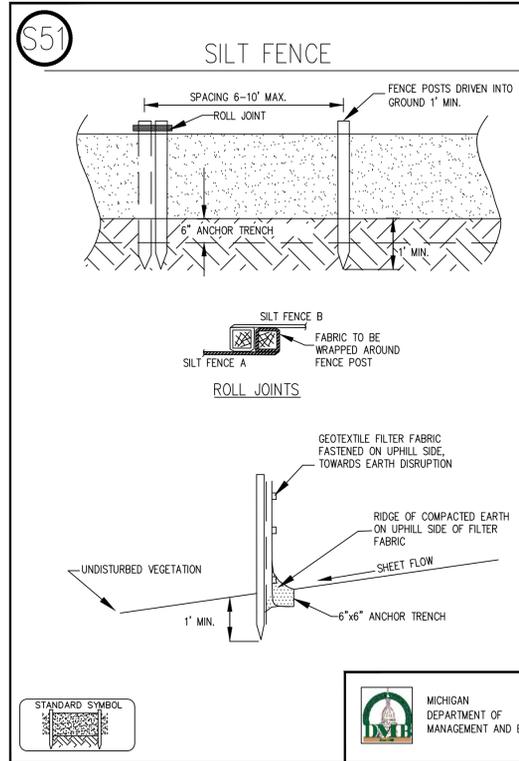
REVISIONS:		
DATE	BY:	COMMENTS:

SHEET:

SOIL EROSION & SEDIMENTATION CONTROL NOTES

- All soil erosion and sediment control (SESC) work shall conform to the standards and specifications of the Ingham County Drain Commissioner's Office and Meridian Township.
- Daily inspections shall be made by the contractor for effectiveness of SESC measures. Any necessary repairs shall be performed without delay.
- Erosion of any sediment from work on the site shall be contained on-site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, ponds, and wetlands.
- The Contractor shall apply temporary SESC measures when required and as directed on these plans. The Contractor shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other changes have been established.
- Staging the work shall be done by the Contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
- Soil erosion control practice shall be established in the early stages of construction by the Contractor. Sedimentation control practices shall be applied as a perimeter defense against any transporting of soil off the site.
- The Contractor shall preserve natural vegetation as much as possible.
- Vegetative stabilization of all disturbed areas shall be established within 5 days of completion of the final grading.

RECOMMENDED CONSTRUCTION SCHEDULING & SEQUENCING	MARCH	APRIL	MAY	JUNE	JULY	AUGUST	SEPTEMBER	OCTOBER	NOVEMBER	DECEMBER	JANUARY	FEBRUARY
	INSTALL SESC MEASURES											
GRADE THE SITE FOR THE PROPOSED PATHWAY												
CONSTRUCT THE PATHWAY												
SITE CLEANUP AND RESTORATION												
REMOVE SESC MEASURES ONCE THE SITE IS STABILIZED												



SILT FENCE SPECIFICATIONS

When

- A temporary measure for preventing sediment movement.

Why

- Used to prevent sediment suspended in runoff from leaving an earth change area.

Where

- Use adjacent to critical areas, wetlands, base of slopes, and watercourses.

How

- Install parallel to a contour.
- The silt fence should be made of woven geotextile fabric.
- Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2 (v:h).
- Dig a 6" trench along the area where the fence is to be installed.
- Place 6" of the silt fence bottom flap into the trench.
- Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence.
- Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12".
- Staple the geotextile fabric to the wooden stakes.
- Join sections of silt fence by wrapping ends together (See drawing).

Maintenance

- Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately.
- If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site.
- The fence should be re-installed if water is seeping underneath it or if the fence has become ineffective.
- Silt fence should be removed once vegetation is established and up-slope area has stabilized.

SILT FENCE SPECIFICATIONS

Limitations

- Silt fence may cause temporary ponding and could fail if too much water flows through the area.
- Do not use in areas with concentrated flows.
- Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed.

E8 PERMANENT SEEDING SPECIFICATIONS

When

- To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem.
- Within 5 days of final grade.

Why

- To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing.

Where

- Used on construction and earth change sites which require permanent vegetative stabilization.

How

- Review SESC plan and construction phasing to identify areas in need of permanent vegetative stabilization.
- Select perennial grass and ground cover for permanent cover.
- Seed mixes vary. However, they should contain native species.
- Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content.
- Soil tests should be performed to determine the nutrient and pH levels in the soil. The pH may need to be adjusted to between 6.5 and 7.0.
- Prepare a 3-5" deep seedbed, with the top 3-4" consisting of topsoil.
- Slopes steeper than 1:3 should be roughened.
- Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills.
- Mulch immediately after seeding.
- Dormant seed mixes are for use after the growing season, using seed which lies dormant in the winter and begins growing as soon as site conditions become favorable.

PERMANENT SEEDING SPECIFICATIONS

How (cont.)

- Protect seeded areas from pedestrian or vehicular traffic.
- Divert concentrated flows away from the seeded area until vegetation is established.

Maintenance

- Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.
- Add supplemental seed as necessary.

Limitations

- Seeds need adequate time to establish.
- May not be appropriate in areas with frequent traffic.
- Seeded areas may require irrigation during dry periods.
- Seeding success is site specific, consider mulching or sodding when necessary.

PERMANENT SEEDING

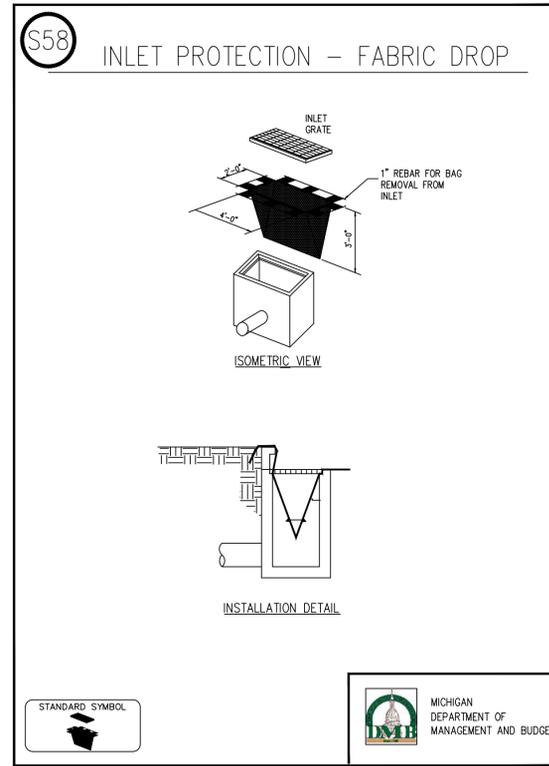
Planting Zones:	Lower Peninsula (South of T20N) Zone 1	Lower Peninsula (North of T20N) Zone 2	Upper Peninsula Zone 3
Seeding Window Permanent Seeding	4/15 - 10/10	5/1 - 10/1	5/1 - 9/20
Seeding Window Dormant Seeding*	11/15 - Freeze	11/01 - Freeze	11/01 - Freeze

Source: Adapted from MDOT Interim 2003 Standard Specifications for Construction

	Zone 1 Lower Peninsula (South of U.S. 10)	Zone 2 Lower Peninsula (North of U.S. 10)	Zone 3 Upper Peninsula
Seeding Dates (with Irrigation or Mulch)	4/1 - 8/1	5/1 - 9/20	5/1 - 9/10
Seeding Dates (w/o Irrigation or Mulch)	4/1 - 5/20 or 8/10 - 10/1	5/1 - 6/10 or 8/1 - 9/20	5/1 - 6/15 or 8/1 - 9/20
Dormant Seeding Dates*	11/1 - Freeze	10/25 - Freeze	10/25 - Freeze

Source: Adapted from USDA NRCS Technical Guide #342 (1999)

- * Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.
- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.



INLET PROTECTION - FABRIC DROP SPECIFICATIONS

When

- When sediment laden stormwater requires treatment before entering a stormwater drainage system.

Why

- To prevent sediment from entering stormwater systems.

Where

- Use in or at stormwater inlets, especially at construction sites or in streets.

How

- A filter fabric bag is hung inside the inlet, beneath the grate.
- Replace grate, which will hold bag in place.
- Anchor filter bag with 1" rebar for removal from inlet.
- Flaps of bag that extend beyond the bag can be buried in soil in earth areas.

Maintenance

- Drop inlet filters should be inspected routinely and after each major rain event.
- Damaged filter bags should be replaced.
- Clean and/or replace filter bag when 1/2 full.
- Replace clogged fabric immediately.
- If needed, initiate repairs immediately upon inspection.
- Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.

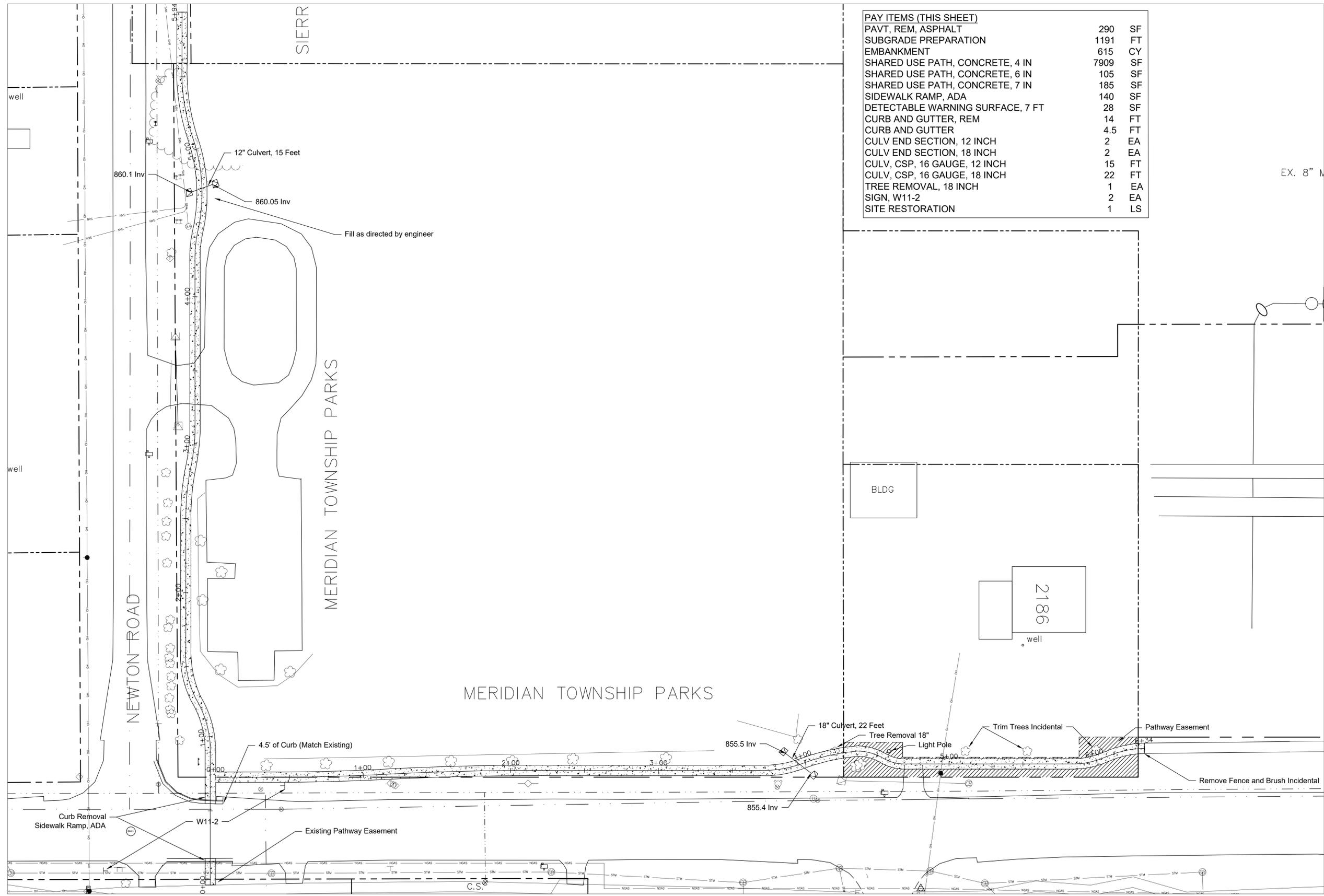
Limitations

- Can only accommodate small flow quantities.
- Requires frequent maintenance.
- Ponding may occur around storm drains if filter is clogged.

Call 811 before you dig.

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Meridian Charter Township Ingham County, Michigan Pathway		REVISIONS: DATE BY: COMMENTS:	
SESC Details Newton Park Pathway - 2025 SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN		SHEET:	
DRAWN BY: TH	CHECKED BY: YI	5- SESC Notes & Details	



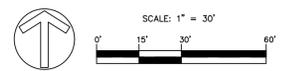
PAY ITEMS (THIS SHEET)		
PAVT, REM, ASPHALT	290	SF
SUBGRADE PREPARATION	1191	FT
EMBANKMENT	615	CY
SHARED USE PATH, CONCRETE, 4 IN	7909	SF
SHARED USE PATH, CONCRETE, 6 IN	105	SF
SHARED USE PATH, CONCRETE, 7 IN	185	SF
SIDEWALK RAMP, ADA	140	SF
DETECTABLE WARNING SURFACE, 7 FT	28	SF
CURB AND GUTTER, REM	14	FT
CURB AND GUTTER	4.5	FT
CULV END SECTION, 12 INCH	2	EA
CULV END SECTION, 18 INCH	2	EA
CULV, CSP, 16 GAUGE, 12 INCH	15	FT
CULV, CSP, 16 GAUGE, 18 INCH	22	FT
TREE REMOVAL, 18 INCH	1	EA
SIGN, W11-2	2	EA
SITE RESTORATION	1	LS

EX. 8" M

LEGEND

	PROPERTY LINE
	PROPOSED CONCRETE PATHWAY
	PROPOSED SIGN
	PROPOSED CULVERT

Benchmark
 #1. FOUND REMON/MONUMENT BOX INGHAM COUNTY MONUMENT
 STAMPED 39100, IN EXISTING MONUMENT BOX, SOUTH 1/4 SECTION
 CORNER, SECTION 4, T4N-R1W, MERIDIAN TOWNSHIP, INGHAM
 COUNTY, MICHIGAN.
 ELEVATION = 865.54 (DATUM = NAVD88)



Call 811 before you dig.

WOLVERINE PIPE LINE COMPANY 219-844-9510

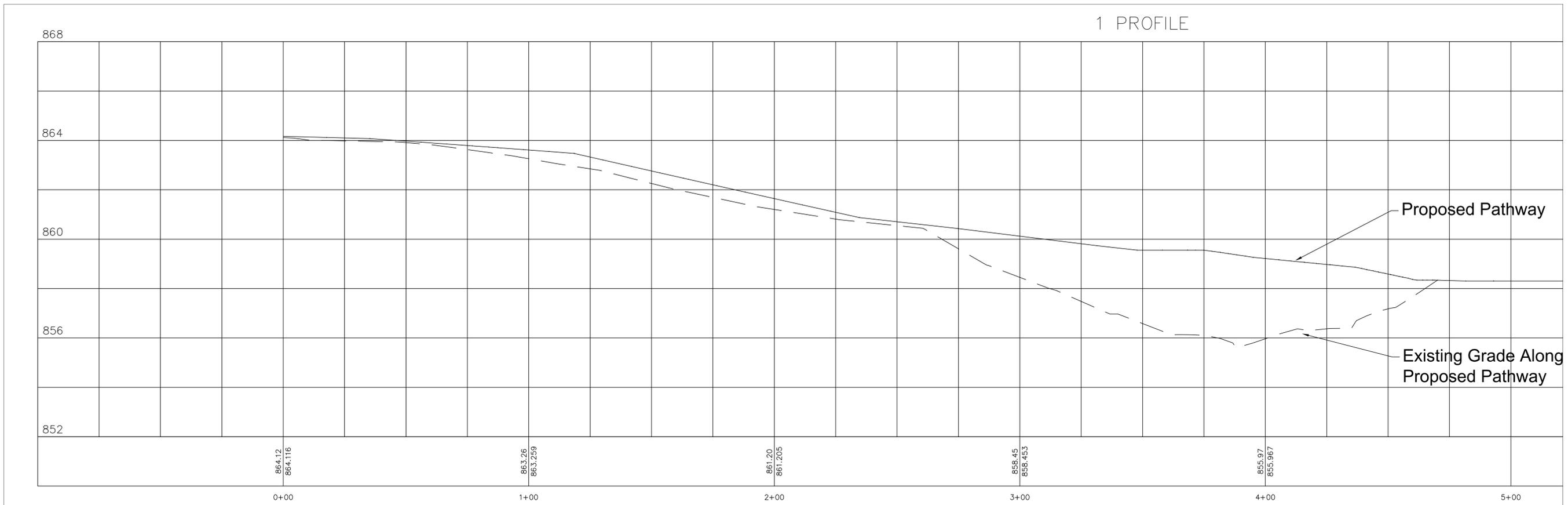
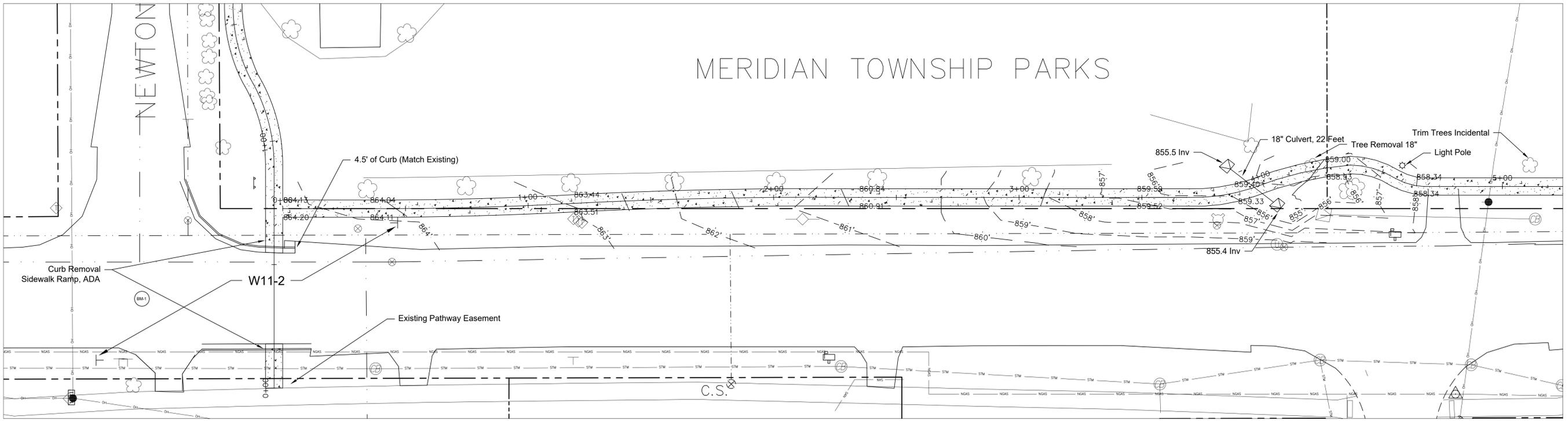
Meridian Charter Township
 Ingham County, Michigan
 Pathway

Site Plan
 Newton Park Pathway - 2025
 SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
 INGHAM COUNTY, MICHIGAN

DRAWN BY: TH CHECKED BY: YI

REVISIONS:		
DATE	BY:	COMMENTS:

SHEET:



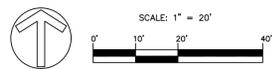
LEGEND

- PROPERTY LINE
- EXISTING CONTOUR

ADA NOTES:

1. THE CROSS SLOPE OF THE PATHWAY SHALL NOT EXCEED 2% SLOPE
2. A SLOPE BETWEEN 5% AND 8.33% CONSTITUTES AS A RAMP AND A LANDING PAD SHOULD BE LOCATED AT THE TOP AND BOTTOM OF EACH RAMP.
3. LANDING PADS MUST BE A MINIMUM OF 5'X8' AND THE SLOPE SHOULD NOT BE GREATER THAN 2% IN ANY DIRECTION.
4. THE MAXIMUM RISE OF EACH RAMP IS 30 INCHES. LANDINGS SHALL BE SPACED SO THAT EACH RAMP DOES NOT EXCEED 30 INCHES OF RISE.

Benchmark
 #1. FOUND REMON/MONUMENT BOX INGHAM COUNTY MONUMENT
 STAMPED 39100, IN EXISTING MONUMENT BOX, SOUTH 1/4 SECTION
 CORNER, SECTION 4, T4N-R1W, MERIDIAN TOWNSHIP, INGHAM
 COUNTY, MICHIGAN.
 ELEVATION = 865.54 (DATUM = NAVD88)



Call 811 before you dig.

WOLVERINE PIPE LINE COMPANY 219-844-9510

Meridian Charter Township
 Ingham County, Michigan
 Pathway

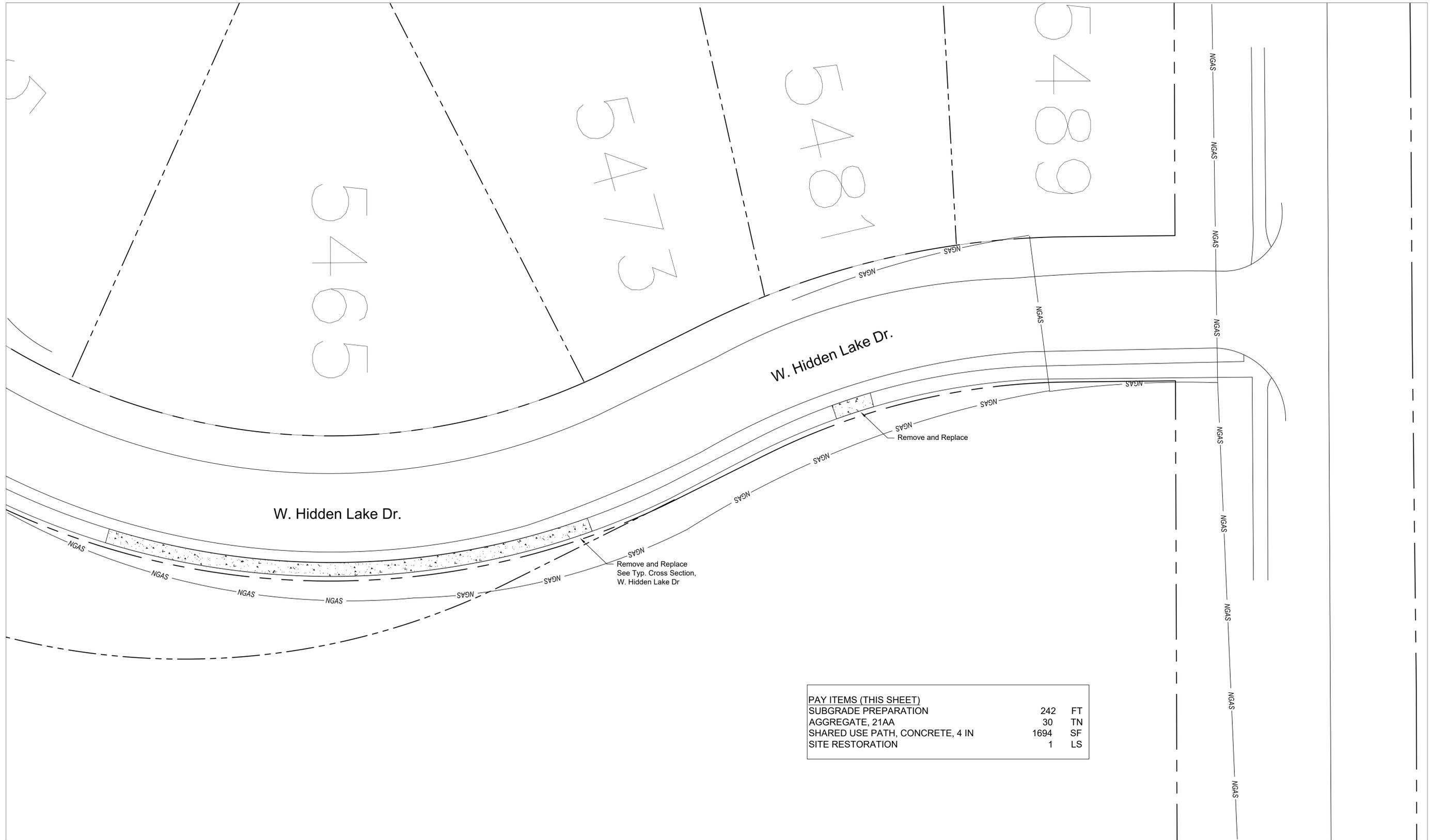
Grading Plan
 Newton Park Pathway - 2025
 SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
 INGHAM COUNTY, MICHIGAN

DRAWN BY: TH

CHECKED BY: YI

REVISIONS:		
DATE	BY:	COMMENTS:

SHEET:



PAY ITEMS (THIS SHEET)		
SUBGRADE PREPARATION	242	FT
AGGREGATE, 21AA	30	TN
SHARED USE PATH, CONCRETE, 4 IN	1694	SF
SITE RESTORATION	1	LS

LEGEND

- PROPERTY LINE
- PROPOSED CONCRETE PATHWAY



Call 811 before you dig.

WOLVERINE PIPE LINE COMPANY 219-844-9510

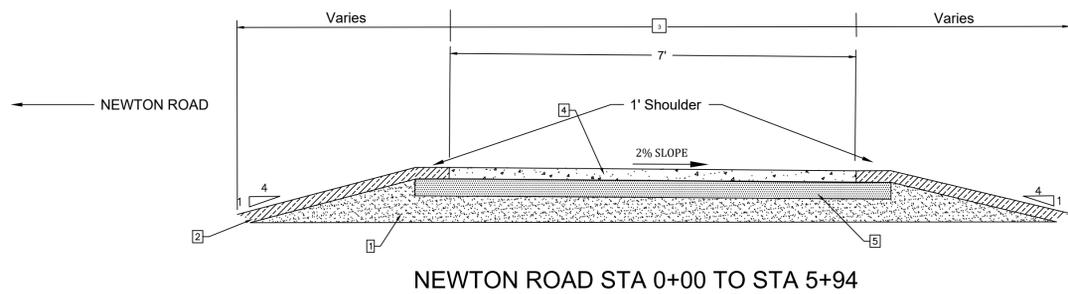
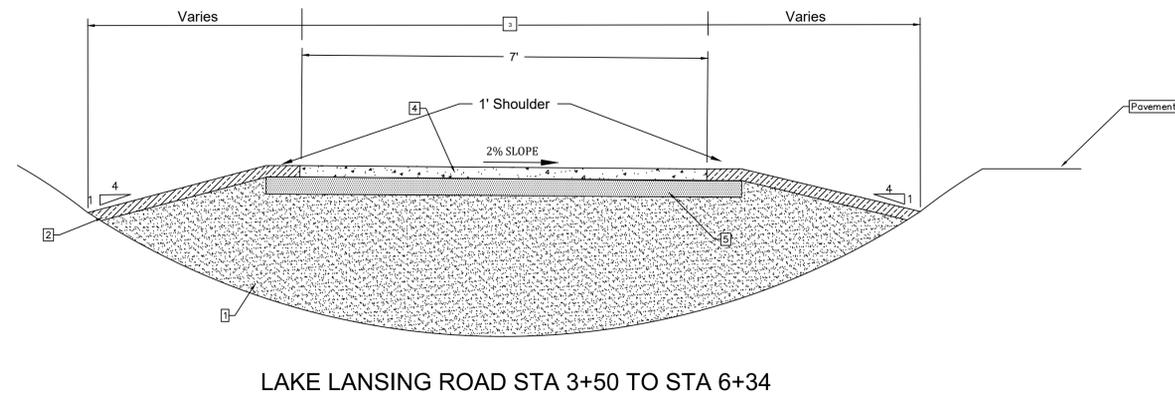
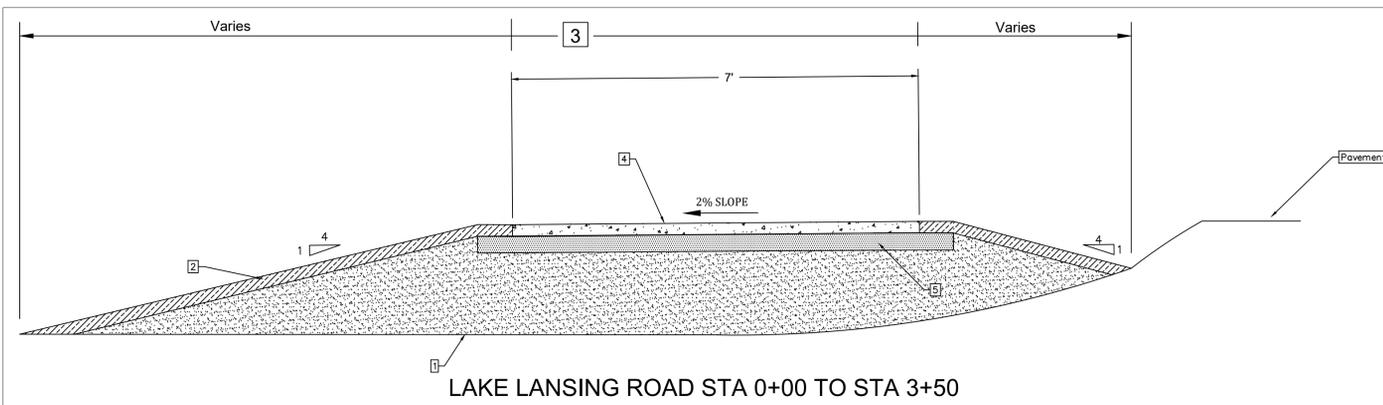
Meridian Charter Township
Ingham County, Michigan
Pathway

Site Plan
Newton Park Pathway - 2025
SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

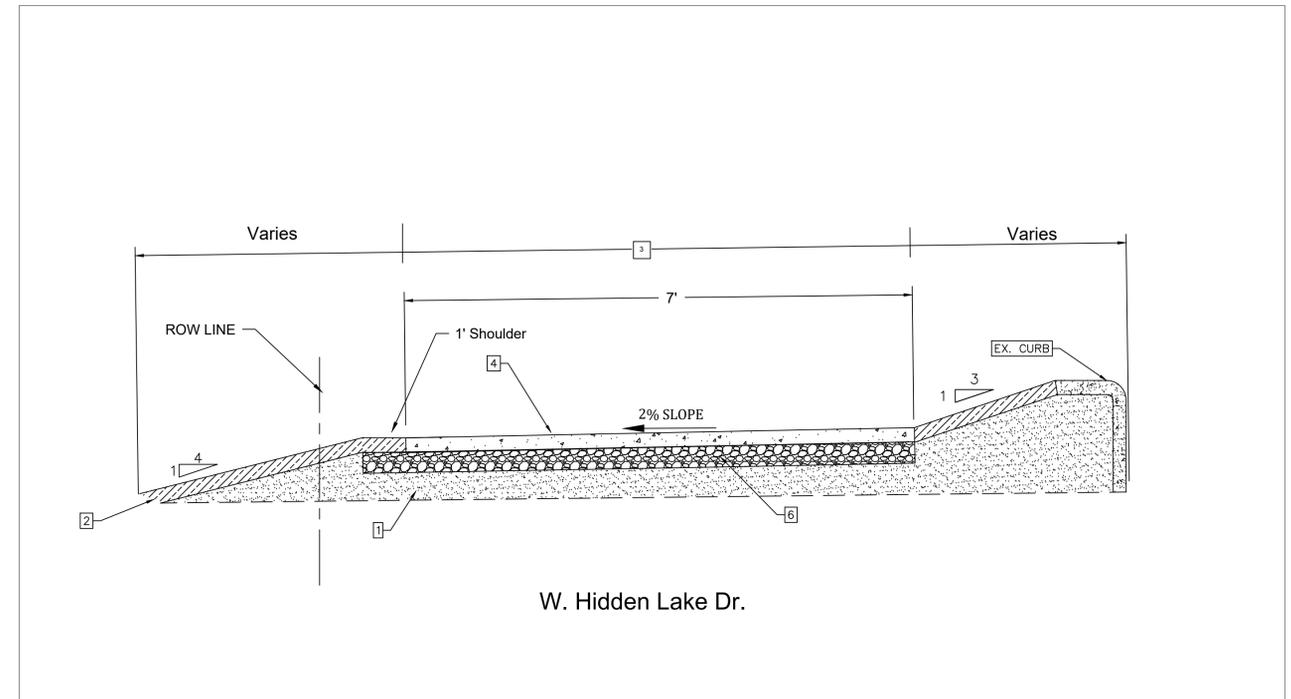
DRAWN BY: TH CHECKED BY: YI

REVISIONS:		
DATE	BY:	COMMENTS:

SHEET: 8- Site Plan



TYPICAL SECTIONS: CONCRETE PATHWAY



TYPICAL SECTIONS: CONCRETE PATHWAY

- GENERAL NOTES:**
- CROSS-SECTIONS ARE NOT TO SCALE.
 - SALVAGE OR REMOVE EXISTING TOPSOIL WITHIN THE GRADING LIMITS, OR AS DIRECTED BY THE ENGINEER. REMOVAL AND DISPOSAL WILL BE PAID FOR AS EXCAVATION, EARTH.
 - TOPSOIL FOR SITE RESTORATION MAY BE SALVAGED FROM SITE, BUT MUST BE SCREENED OR RAKED TO REMOVE 1" OR GREATER DEBRIS.
 - FOR SITE RESTORATION, USE SEED MEETING MDOT THM MIXTURE.

- LEGEND:**
- 1 EMBANKMENT, CLASS II SAND OR TOWNSHIP MILLINGS
 - 2 SITE RESTORATION, 3" SCREENED TOPSOIL
 - 3 SUBGRADE PREPARATION
 - 4 4" CONCRETE
 - 5 SAND BASE OR TOWNSHIP MILLINGS (3" DEPTH)
 - 6 AGGREGATE 21AA OR TOWNSHIP MILLINGS (6" DEPTH)

Call 811 before you dig.

WOLVERINE PIPE LINE COMPANY 219-844-9510

Meridian Charter Township
Ingham County, Michigan
Pathway

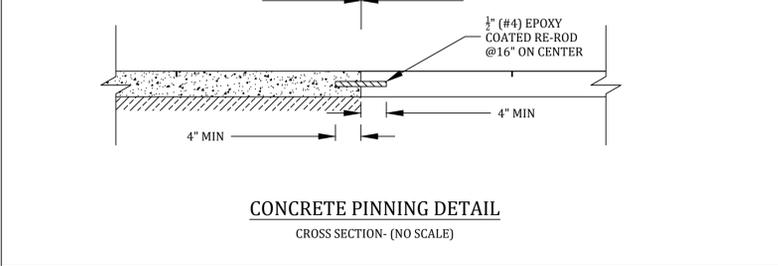
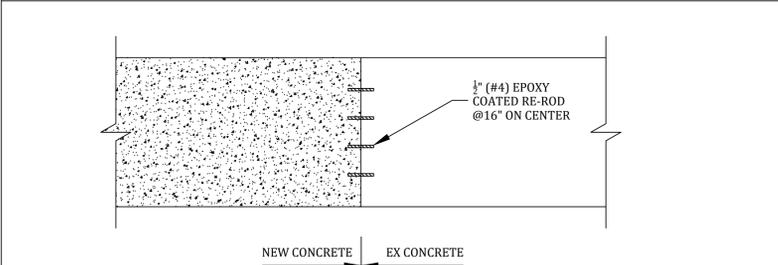
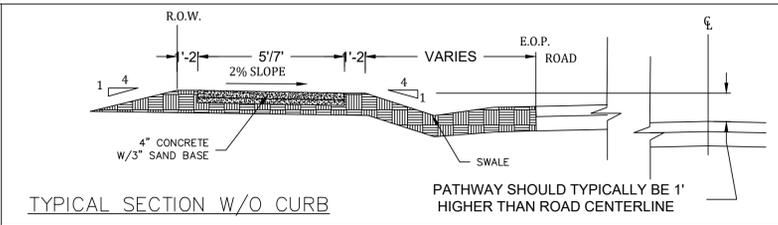
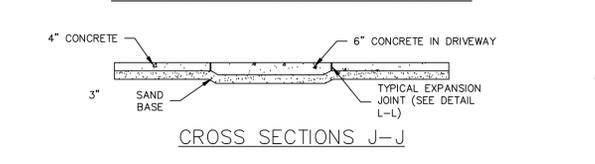
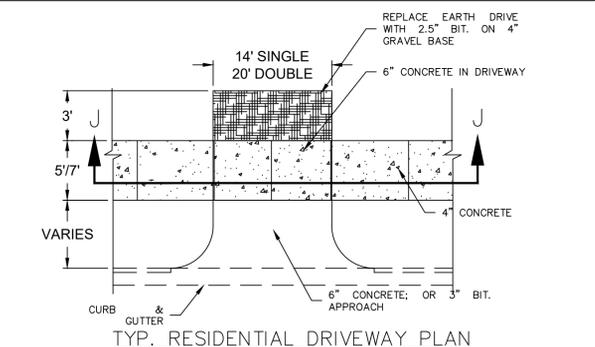
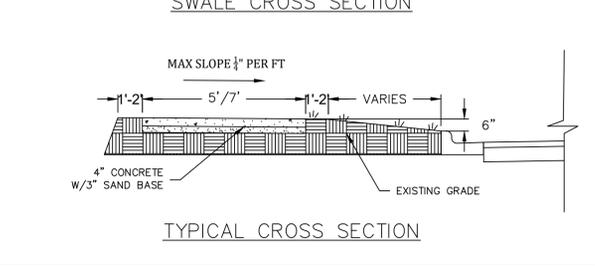
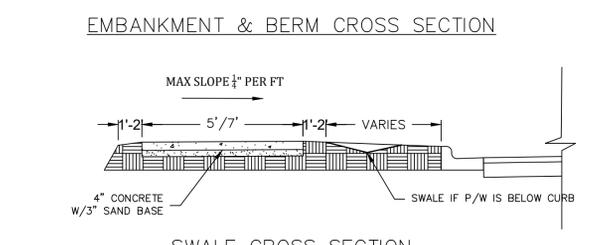
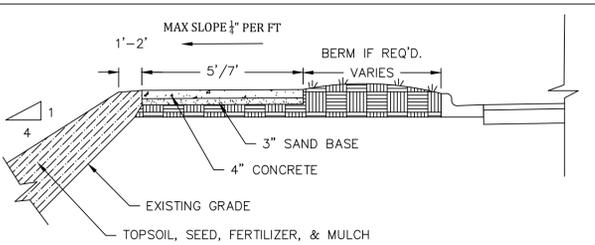
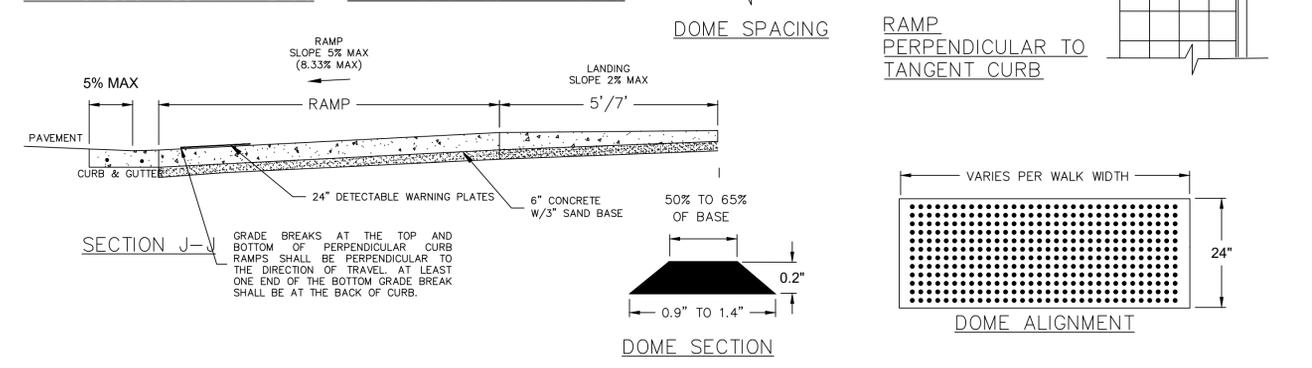
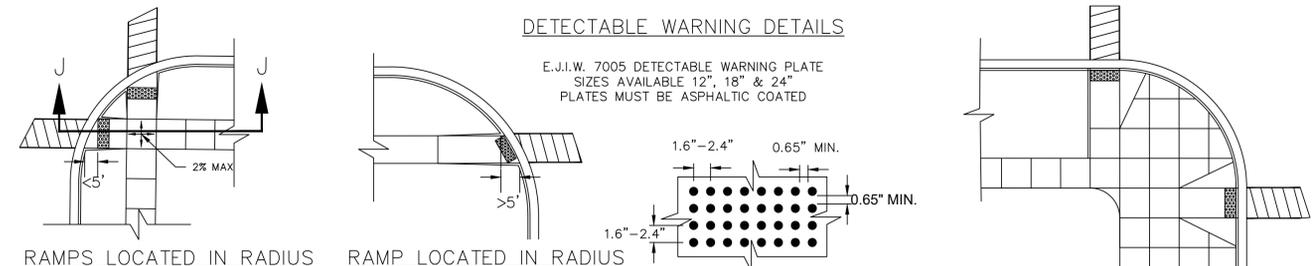
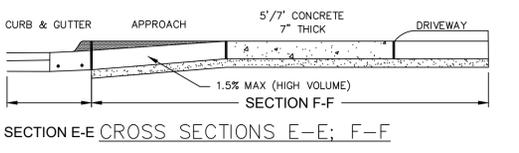
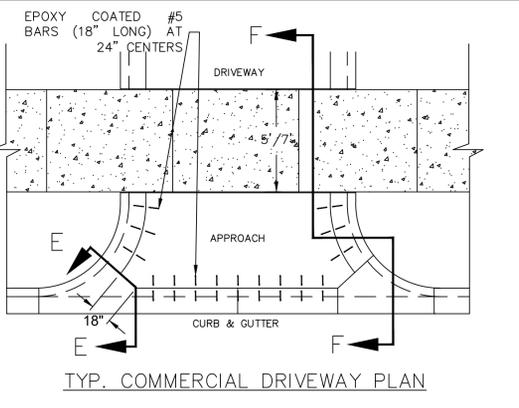
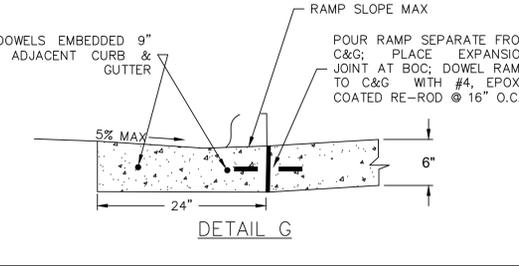
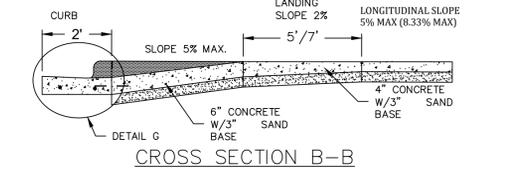
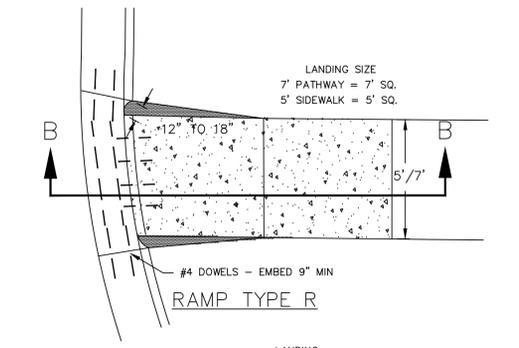
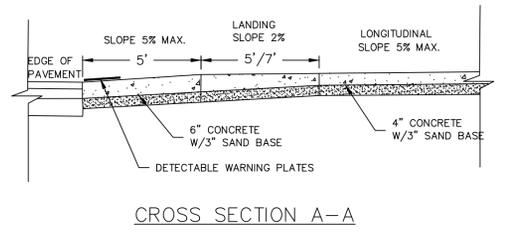
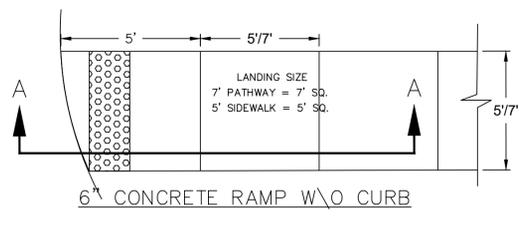
Typical Sections
Newton Park Pathway - 2025
SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

DRAWN BY: TH

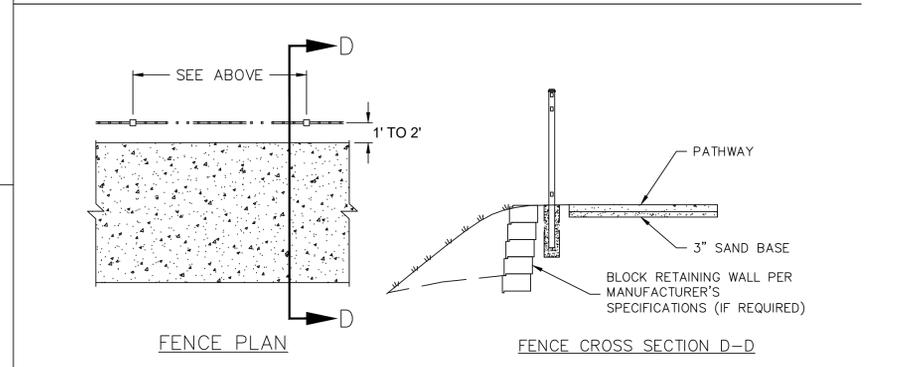
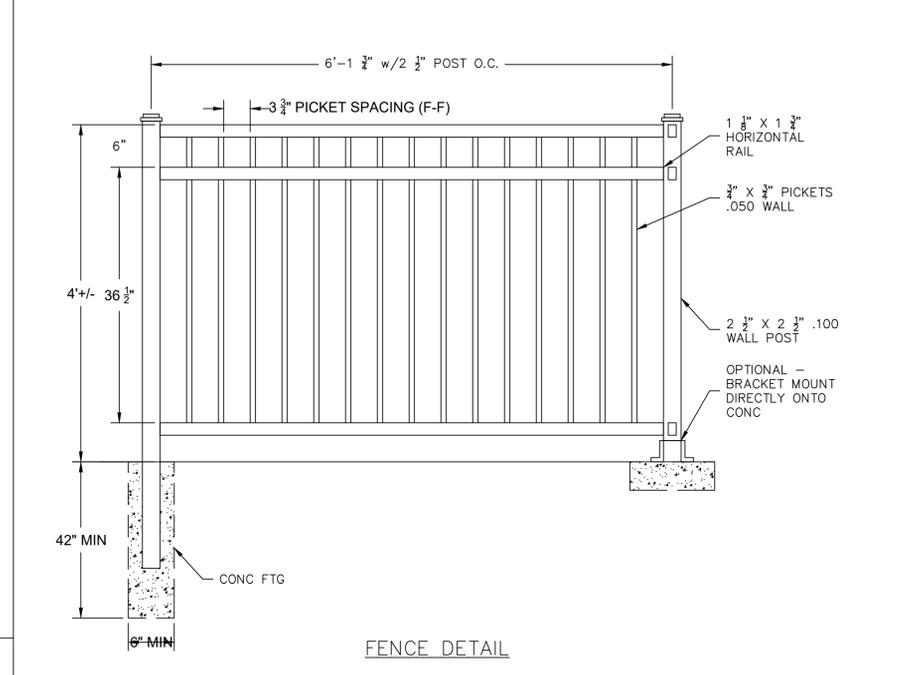
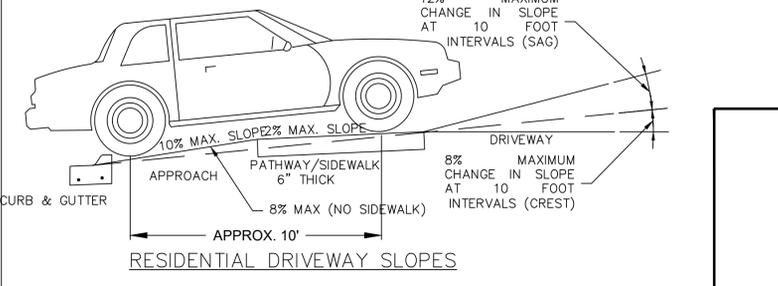
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REVISIONS:		
DATE	BY:	COMMENTS:

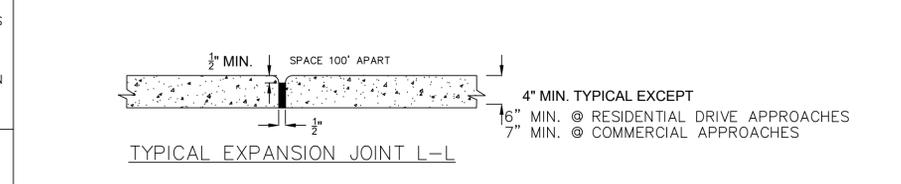
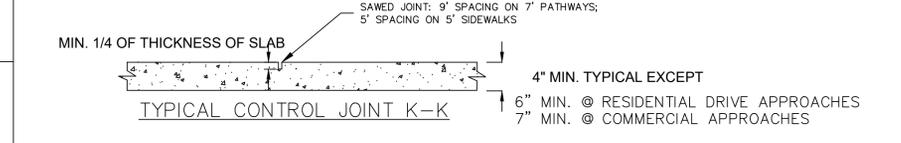
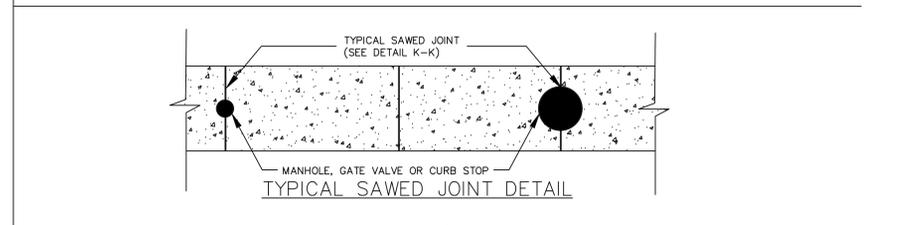
SHEET:



- GENERAL NOTES
1. SIDEWALKS/PATHWAYS SHALL BE 4" THICK CONCRETE EXCEPT AT DRIVEWAYS.
 2. SIDEWALKS/PATHWAYS THRU DRIVES SHALL BE: 6" (RESIDENTIAL); 7" (MULTI-RESIDENTIAL & COMMERCIAL)
 3. 3" OF COMPACTED SAND BASE SHALL BE PLACED UNDER ALL SIDEWALKS/PATHWAYS.
 4. ALL BITUMINOUS APRONS SHALL BE 2 1/2" THICK, UNLESS NOTED OTHERWISE
 5. PROPERTY IRONS SHALL BE MAINTAINED BY THE CONTRACTOR.
 6. ALL EXISTING CONCRETE AND BITUMINOUS TO BE REMOVED SHALL BE SAWCUT. ALL CONCRETE AND BITUMINOUS REMOVAL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
 7. ALL AGGREGATE BASE SHALL BE 22A, 4" THICK.
 8. ALL TREE AND BUSH REMOVAL SHALL BE CONSIDERED PART OF SUB-GRADE PREPARATION.
 9. LOCATION OF NEW PLANT MATERIAL SHALL BE AS DIRECTED BY THE ENGINEER, AND SHALL BE INSTALLED IN ACCORDANCE WITH GUIDELINES ESTABLISHED BY THE A.A.O.N.
 10. ALL PLANT MATERIAL NOT MARKED FOR REMOVAL SHALL BE PROTECTED.
 11. BITUMINOUS DRIVES SHALL BE SAWCUT 18" ON EITHER SIDE OF PROPOSED PATHWAY.



NOTE: FENCE POSTS CAN BE ANCHORED TO THE PATHWAY; THEN PATHWAY MUST BE WIDENED TO EIGHT FEET



Meridian Charter Township Ingham County, Michigan		
Pathway		
Standard Details		
Newton Park Pathway - 2025		
SE 1/4 SECTION 4, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN		
DRAWN BY: TH	CHECKED BY: YI	
REVISIONS:		
DATE	BY:	COMMENTS:
SHEET:		
11- Standard Details		



To: Board Members

From: Timothy R. Schmitt, *AICP*
Director of Community Planning and Development

Date: August 26, 2025

Re: Planned Unit Development 22-12 – 3560 Hulett Road
Public Hearing

The Planning Commission and Staff have been reviewing the proposed redevelopment project at the Netzloff Farm, located at 3560 Hulett Road. The proposed development would preserve the existing house on the property, while removing the remaining structures and creating five new buildable lots on the property. This project was previously approved by the Township Board in 2022, but the applicant let the approval lapse and had to resubmit. This is the exact same project that was approved by the Board on [August 4, 2022](#). There were no major changes made to the submittal in 2022 and the applicant has continued to work on the engineering in the interim years, specifically working to meet the standards of the Ingham County Drain Commission.

The Planning Commission held a public hearing on this new request at their [June 9, 2025](#) meeting and made a positive recommendation to the Board at their [June 23, 2025](#) meeting.

The Township Board, pursuant to the ordinance requirements in the PUD district, is also required to hold a public hearing on the request. After that public hearing, the Township Board can take action at a future meeting. Attachments for the project can be found under agenda item 12.A.



To: Township Board

**From: Timothy R. Schmitt, AICP
Director of Community Planning and Development**

Date: August 26, 2025

**Re: Text Amendment #2025-07 - Parking Lot Landscaping Standards -
INTRODUCTION**

Text Amendment #2025-07 is an ordinance update initiated by the Staff and Planning Commission to update landscaping standards in the Township for new developments and redevelopment projects. The Planning Commission began review of these changes after the review of the numerical standards for parking for different uses, which the Township Board recently adopted. All of the proposed changes are specific to Section 86-758 and will modernize landscaping requirements in the Township.

The Planning Commission has discussed this on multiple occasions, working through questions and details of the ordinance. Discussion occurred on [April 28, 2025](#), [June 9, 2025](#), and [June 23, 2025](#). A public hearing was held on the proposed changes on [July 14, 2025](#) with a final recommendation of approval to the Township Board made during the [July 28, 2025](#) meeting. The Township Board discussed this initially at their [August 19, 2025](#) meeting and raised no major concerns, after discussion with Staff.

Staff **recommends approval for introduction** of the proposed ordinance at this time to amend the Code of Ordinances to update the standards for landscaping in and around parking lots for new developments or redevelopments in the Township. Staff has provided the following recommended motion and attached resolution to introduce the ordinance.

Move to adopt the resolution approving for introduction Text Amendment #2025-07 to amend the Code of Ordinances of the Charter Township of Meridian at Section 86-758 to update the standards for parking lot landscaping in the Township.

Attachments

1. Resolution to approve for Introduction Ordinance 2025-07
2. Ordinance 2025-07 – Parking Lot Landscaping Updates

RESOLUTION TO APPROVE - Introduction

**Zoning Amendment #2025-07
Parking Lot Landscaping**

RESOLUTION

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 2nd day of September, 2025, at 6:00 p.m., Local Time.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, The standards for parking in the Township were originally codified in 1974 and have not been substantively updated since then; and

WHEREAS, One of the Planning Commission’s expressed goals is to review the ordinance standards and modernize them where possible; and

WHEREAS, Staff brought a draft update to the Parking Lot Landscaping standards to the Planning Commission that would enhance the use of green infrastructure and simplify the ordinance; and

WHEREAS, Township Planning Staff discussed potential updates to the standards at the regular Planning Commission meetings on April 28 2025 and June 9, 2025, held a Public Hearing on the proposed changes on July 14, 2025, and recommended approval to the Township Board on July 28, 2025; and

WHEREAS, the Township Board reviewed the matter at their August 19, 2025 meeting and raised no major concerns, directing Staff to bring forward introduction of the ordinance;

NOW THEREFORE, BE IT RESOLVED THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN hereby INTRODUCES FOR PUBLICATION AND SUBSEQUENT ADOPTION Ordinance No. 2025-07, entitled “An Ordinance to amend the Zoning Ordinance of the Charter Township of Meridian at Article VIII, Off Street Parking and Loading, to update the standards for all Zoning Districts”; and

BE IT FURTHER RESOLVED that the Clerk of the Charter Township of Meridian is directed to publish the Ordinance in the form in which it is introduced at least once prior to the next regular meeting of the Township Board.

ADOPTED: YEAS: _____

NAYS: _____

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ORDINANCE NO. 2025-07

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CHARTER TOWNSHIP OF
MERIDIAN AT ARTICLE VIII, OFF-STREET PARKING AND LOADING, TO UPDATE THE STANDARDS
FOR ALL ZONING DISTRICTS

THE CHARTER TOWNSHIP OF MERIDIAN ORDAINS:

Section 1. Section 86-758, Landscaping, is hereby amended to read as follows:

In addition to any landscaping required in any particular district, all parking areas shall be landscaped in accordance with the following provisions:

(1) Landscaping. Landscaping shall be installed and designed to control traffic, provide shade, screen views into and within vehicular use areas, and separate the parking, circulation, and service areas, in accordance with the following provisions:

- a. Parking lot perimeter landscaping shall be provided surrounding the parking lot in the amount of one square foot of landscaping per 20 square feet of parking lot pavement.
 - 1. Street trees shall count as both street tree and parking lot perimeter landscaping.
 - 2. Landscaping is required to be outside of the required building and parking lot setbacks.
- b. Parking lot landscape islands shall be provided throughout the parking area in the amount of 200 square feet for each 10 parking spaces, subject to the following:
 - 1. No landscaped area shall have a dimension less than 10 feet nor an area less than 200 square feet.
 - 2. One shrub per 50 square feet shall be planted on parking lot islands in addition to a tree.
 - a. All newly constructed buildings.
 - b. Expansion of a use that anticipates a 10% or greater increase in required off-street parking spaces.
- c. A minimum of two canopy trees shall be provided for every 10 parking spaces, meeting the following standards:
 - 1. Canopy trees shall be a minimum of 2.5 inches in caliper at time of planting.
 - 2. Conifer trees shall be a minimum of eight feet in height at time of planting.
- d. Ground Cover. The types of ground cover listed below are required for any parking lot landscape installation:
 - 1. Natural Vegetation. These are listed in the Michigan State University Native Plants and Ecosystem Services Southern Lower Peninsula Regional Plant List, or those species that occurred within nearby municipal boundaries prior to European settlement, according to available historical and scientific evidence. These species shall not require pesticide and herbicide applications, to eliminate toxicity to local wildlife and aquatic habitats.
 - 2. Rain Gardens. A non-engineered shallow landscaped depression, with compost-amended native soils and adapted plants. The depression is designed to pond and temporarily store stormwater runoff from adjacent areas, and to allow stormwater to pass through the amended soil profile.
 - 3. Xeriscape. Landscaping which reduces or eliminates the need for irrigation shall be encouraged.
 - 4. Mulch. Ten percent of a parking lot island shall be a mulch planting bed with flowers or flowering shrubs.



To: Township Board

From: Timothy R. Schmitt, AICP
Director of Community Planning and Development

Date: August 25, 2025

Re: Text Amendment #2025-06 – Rooster Regulations - ADOPTION

Text Amendment #2025-06 is an ordinance update initiated by Staff to update the regulations for where roosters are permitted within the Township. The ordinance would continue to allow roosters in RR, Rural Residential areas outside of the Urban Services Boundary, but would prohibit them entirely inside the Urban Services Boundary.

This matter was discussed by the Planning Commission at their [June 23, 2025](#) meeting. A Public Hearing was held on the changes at their [July 14, 2025](#) meeting and a recommendation to the Township Board was made at their [July 28, 2025](#) meeting. Packets for each of those meetings can be found at the links above. The Township Board had an initial discussion of the proposal at their [August 7, 2025](#) meeting and raised no major questions. At the [August 19, 2025](#) Township Board meeting, the Board reviewed the matter and directed Staff to publish the introduction of the ordinance.

Staff **recommends approval** of the proposed ordinance at this time to amend the Code of Ordinances to update the regulations for the keeping of roosters in the Township. Staff has provided the following recommended motion and attached resolution to introduce the ordinance.

Move to adopt the resolution approving Text Amendment #2025-06 to amend the Code of Ordinances of the Charter Township of Meridian at Section 86-368 to update the regulations for the keeping of roosters in the Township.

Attachments

1. Resolution to approve Ordinance 2025-06
2. Ordinance 2025-06 – Rooster Regulations

RESOLUTION TO APPROVE

**Zoning Amendment #2025-06
Rooster Regulation**

RESOLUTION

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 2nd day of September, 2025, at 6:00 p.m., Local Time.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, The RR, Rural Residential, Zoning District allows for agricultural animals by right; and

WHEREAS, The RR district is largely in the more rural, eastern 1/3 of the Township, outside of the Urban Services Boundary, although there are RR zoned parcels throughout the Township; and

WHEREAS, Staff has received several complaints about roosters from neighbors of properties with roosters that are located inside the Urban Service Boundary; and

WHEREAS, the proposed ordinance would limit the keeping of roosters to areas outside of the Urban Services Boundary only; and

WHEREAS, the Planning Commission reviewed the matter on June 23, 2025, held a public hearing on the proposed changes on July 14, 2025, before recommending unanimous approval to the Township Board on July 28, 2025; and

WHEREAS, the Township Board reviewed the matter at their August 7, 2025 meeting and raised no major concerns, directing Staff to bring forward introduction of the ordinance; and

WHEREAS, the Township Board introduced the ordinance at their August 19, 2025 meeting and directed Staff to publish the ordinance, as required, prior to the next meeting; and

WHEREAS, Staff has published the ordinance, as directed, allowing for final adoption;

NOW THEREFORE, BE IT RESOLVED THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN hereby ADOPTS Ordinance No. 2025-06, entitled "An Ordinance to amend the Zoning Ordinance of the Charter Township of Meridian at Article IV, District Regulations, to update the standards for the keeping of roosters therein"; and

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ORDINANCE NO. 2025-06

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CHARTER TOWNSHIP OF
MERIDIAN AT ARTICLE IV, DISTRICT REGULATIONS, TO UPDATE THE STANDARDS FOR THE
KEEPING OF ROOSTERS THEREIN

THE CHARTER TOWNSHIP OF MERIDIAN ORDAINS:

Section 1. Section 86-368(b)(8), RR District: One-Family Rural Residential District, is hereby amended to read as follows:

Raising and keeping of chickens and rabbits as nonagricultural use. Male chickens, also known as roosters, are permitted by right only on parcels exceeding five (5) total acres. Roosters are not permitted on parcels within the Urban Services Boundary.

The raising and keeping of chickens and rabbits accessory only to one-family dwellings in the RAAA, RAA, and RA zoning districts is subject to the following requirements:

a. Registration.

1. Prior to the raising and keeping of chickens and rabbits on any property under this section, the property shall be registered with the Department of Community Planning and Development.
2. Only an individual living in a dwelling on the property shall raise or keep chickens and rabbits on the property. A registration may not be transferred.
3. Notwithstanding registering with the Township, private restrictions on the use of property shall remain enforceable and take precedence over the registration. Private restrictions include, but are not limited to, deed restrictions, condominium master deed restrictions, neighborhood association bylaws, and covenant deeds. The interpretation and enforcement of the private restriction is the sole responsibility of the private parties involved.

b. Standards. In addition to registering with the Township, the raising and keeping of chickens and rabbits accessory only to one-family dwellings in the RAAA, RAA, and RA zoning districts shall comply with the following standards:

1. In no case shall the maximum number of chickens and rabbits in any combination exceed four.
2. Roosters shall not be allowed.
3. The sale of chickens, rabbits and eggs on the property is prohibited.
4. Chickens and rabbits shall not be kept in any location on the property other than in the rear yard as defined by the zoning ordinance.
5. Chickens and rabbits shall be provided with a covered structure and must be kept in the covered structure or an adjoining fenced area at all times. Covered structures and fenced areas used for the raising and keeping of chickens and rabbits are subject to all provisions of Chapter **86** (zoning), except the covered structure and fenced area shall be set back a minimum of 10 feet from a side or rear lot line and structures propose for reverse frontage lots shall be located no closer than 30 feet to the right-of-way of the designated rear yard.

- 1 6. All structures for the raising and keeping of chickens and rabbits shall be constructed so
- 2 as to prevent rodents or other animals from being harbored underneath, within, or within
- 3 the walls of the structure.
- 4 7. All feed and other items associated with the raising and keeping of chickens and rabbits
- 5 shall be kept in containers or otherwise protected so as to prevent access to or contact
- 6 with rodents or other animals.
- 7 8. The covered structure used to house the chickens and rabbits and any fenced area shall
- 8 be kept in a sanitary condition.
- 9 9. This section shall not regulate the keeping of chickens in those areas zoned RR (Rural
- 10 Residential) or AG (Agricultural) where the raising of chickens is a permitted use when
- 11 conducted in compliance with the Michigan Right to Farm Act and the generally accepted
- 12 agricultural and management practices promulgated therein.

13
14 **Section 2.** Validity and Severability. The provisions of this Ordinance are severable and the
15 invalidity of any phrase, clause or part of this Ordinance shall not affect the validity or effectiveness
16 of the remainder of the Ordinance.

17
18 **Section 3.** Repealer Clause. All ordinances or parts of ordinances in conflict therewith are
19 hereby repealed only to the extent necessary to give this Ordinance full force and effect.

20
21 **Section 4.** Savings Clause. This Ordinance does not affect rights and duties matured, penalties
22 that were incurred, and proceedings that were begun, before its effective date.

23
24 **Section 5.** Effective Date. This Ordinance shall be effective seven (7) days after its publication
25 or upon such later date as may be required under Section 402 of the Michigan Zoning Enabling Act
26 (MCL 125.3402) after filing of a notice of intent to file a petition for a referendum.

27
28 ADOPTED by the Charter Township of Meridian Board at its regular meeting this 2nd day of
29 **September, 2025.**

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33 _____
34 Scott Hendrickson, Township Supervisor

35
36 _____
37 Angela Demas, Township Clerk



To: Board Members

From: Timothy R. Schmitt, *AICP*
Director of Community Planning and Development

Date: August 27, 2025

Re: Planned Unit Development – 3560 Hulett Road (Giguere Homes)

The Planning Commission and Staff have been reviewing the proposed redevelopment project at the Netzloff Farm, located at 3560 Hulett Road. The proposed development would preserve the existing house on the property, while removing the remaining structures and creating five new buildable lots on the property. The Planning Commission recommended approval of the Planned Unit Development (PUD) proposal at their [June 23, 2025](#) (minutes [HERE](#)) meeting, after the public hearing on the matter at the [June 9, 2025](#) (minutes [HERE](#)) meeting.

This project was previously approved by the Township Board in 2022, but the applicant let the approval lapse and had to resubmit. This is the exact same project that was approved by the Board on [August 4, 2022](#). There were no major changes made to the submittal in 2022 and the applicant has continued to work on the engineering in the interim years, specifically working to meet the standards of the Ingham County Drain Commission.

The project consists of six, single-family home lots on a single cul-de-sac coming from Hulett Road. The existing farmhouse would be retained on one of the lots, leaving five lots to be constructed upon. Public water and sewer are available at the property. The applicant is utilizing the Planned Unit Development approach to development, which allows them to create lots that are similar in size to the surrounding development to the north and east, while preserving over 50% of the project area as open space.

The project still has to go through the full site plan review, where any drainage concerns will be addressed. However, initial reviews indicate that once some details are provided, the plans will meet the standards for the Ingham County Drain Commissioner's office.

Township Board Options

The Township Board may approve or deny the proposed PUD. If the Board amends the proposal, the request may be referred back to the Planning Commission for a recommendation. A resolution will be provided at a future meeting for the Township Board's review.

Attachments

1. Planning Commission Resolution Recommending Approval
2. Application Information

RESOLUTION TO RECOMMEND APPROVAL

**Planned Unit Development #25012
(Hulett Road Estates)**

At a regular meeting of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 23rd day of June, 2025, at 6:30 p.m., Local Time.

PRESENT: Chair Shrewsbury, Commissioners Romback, Brooks, McConnell, and Fowler

ABSENT: Vice-Chair Snyder and Commissioner McCurtis

The following resolution was offered by Commissioner Romback and supported by Commissioner McConnell.

WHEREAS, Jim Giguere has submitted a request to establish a planned unit development (PUD) at 3560 Hulett Road, known as Hulett Road Estates; and

WHEREAS, the proposed planned unit development includes the construction of 5 detached single-family residential homes and the preservation of one existing single-family residential home on six lots on approximately 5 acres located on Hulett Road (Tax ID #32-400-012); and

WHEREAS, the subject site is appropriately zoned RA (Single Family – Medium Density), which allows for a planned unit development; and

WHEREAS, the approximate 1.2 dwelling units per acre (du/a) density of the proposed development is consistent with the Suburban Residential Future Land Use Map designation from the 2013 Master Plan; and

WHEREAS, the Planning Commission held a public hearing at its regular meeting on June 9, 2025, and has reviewed staff material forwarded under cover memorandums dated June 9, 2025 and June 23, 2025; and

WHEREAS, the proposed planned unit development provides adequate buffering between the development and adjacent residential land uses to the north and east; and

WHEREAS, the proposed planned unit development meets the minimum PUD performance objective to preserve at least 50% of the project area, excluding wetlands and floodplains, as open space; and

WHEREAS, the proposed planned unit development will be harmonious and similar in character with the existing residential developments to the north and east of the subject site; and

WHEREAS, the requested waivers for building setbacks are necessary to facilitate preservation of open space; and

WHEREAS, the proposed planned unit development will be adequately served by public water and sanitary sewer; and

WHEREAS, the proposed planned unit development meets the minimum PUD performance objectives as stated in Section 86-439(b) of the Code of Ordinances; and

**Resolution to Recommend Approval
PUD #25012 (Hulett Road Estates)
Page 2**

WHEREAS, the proposed development is consistent with the goal of focusing development into previously developed sites within the Urban Service Boundary, as found in the 2023 Master Plan; and

WHEREAS, the proposed development is consistent with the goal of expanding opportunities for cluster development to preserve environmentally significant areas, as found in the 2023 Master Plan; and

WHEREAS, the proposed planned unit development is consistent with the goal of promoting infill development along the main vehicular corridors in the Township, as found in the 2023 Master Plan.

NOW THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CHARTER TOWNSHIP OF MERIDIAN hereby recommends approval of Planned Unit Development #25012, subject to the following conditions.

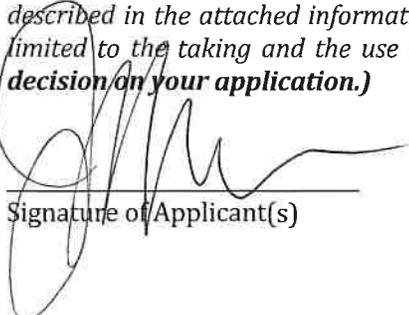
1. Approval is in accordance with the submitted site plan prepared by Enger Engineering, revised on May 5, 2025 and received by the Township on May 15, 2025.
2. The waivers requested for lot size and building setbacks are recommended for approval as depicted on the submitted site plan prepared by Enger Engineering, revised on May 5, 2025 and received by the Township on May 15, 2025.
3. The applicant shall obtain all necessary permits, licenses, and approvals from the Ingham County Road Department, Ingham County Drain Commissioner, and the Township, as applicable. Copies of all permits and approval letters shall be submitted to the Department of Community Planning and Development prior to site plan approval.
4. All construction traffic associated with the project shall observe all county and state regulations for load limits.
5. The utility, grading, and storm drainage plans for the site are subject to the approval of the Director of Public Works and Engineering and Ingham County Drain Commissioner and shall be completed in accordance with the Township Engineering Design and Construction Standards.
6. No grading or land clearing shall take place on the site until the site plan has been approved by the Director of Community Planning and Development and grading and soil erosion and sedimentation control (SESC) permits have been issued for the project.
7. The proposed private drive in the development shall be built to Ingham County Road Department construction standards and shall be subject to the approval of the Director of Public Works and Engineering.
8. Any wetland boundaries or setbacks located on or adjacent to residential lots shall be clearly identified by posted signage notifying the property owner of restrictions related to grading, mowing, placement of structures, landscaping, and dumping in the wetlands. The size, number, location, and language of the signs shall be subject to the approval of the Director of Community Planning and Development.
9. The applicant shall construct the required seven-foot-wide pathway along the east side of the Hulett Road frontage of the properties included in the development. The pathway shall be

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
PHONE: (517) 853-4560
FAX: (517) 853-4095

Planned Unit Development Permit Application

- A. Owner/Applicant JIM GIGUERE
Address of applicant 6200 PINE HOLLOW DR STE 100 EAST LANSING MI 48823
Telephone: Work 517-339-3600 Home Cell 517-204-0818
Fax 517-339-7201 Email jjiguere@giguerehomes.com
- B. Applicant's Representative, Architect, Engineer or Planner responsible for request:
Name / Contact Person Ron Enger PE Enger Surveying and Engineering
Address 805 N Cedar Rd PO Box 87 Mason MI 48854-0087
Telephone: Work 517-676-6563 Home _____
Fax NONE Email engersurveying@yahoo.com
- C. Site address/location 3560 Hulitt Road Okemos Michigan
Legal description (Attach additional sheets if necessary) ATTACHED
Parcel number 33-02-02-32- Site acreage 5.0 ACRES
400-012
- D. Date of preapplication conference with Director of Community Planning and Development _____
Total acres of property 5.00 ACRES
Acres in floodplain 0.00 ACRES Percent of total 0%
Acres in wetland not in floodplain 0.51 ACRES Percent of total 10%
Total dwelling units 6
Total units/acre 1.2
Dwelling unit mix
Number single family detached 6 for Rent Condo
Number duplex 0 for Rent Condo
Number townhouse 0 for Rent Condo
Number garden apt. style 0 for Rent Condo
Number other 0 for Rent Condo
Will commercial be included? (circle one) yes no acres _____
Will all or part of property be platted? (circle one) yes no
Percent open space provide exclusive of wetland/floodplain 8%

I (we) hereby grant permission for member of the Charter Township of Meridian Planning Commission, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)



Signature of Applicant(s)

5/7/2025

Date

Signature of Applicant(s)

Date

PUD Permit Application
Page 2

E. Required Data: (check if attached)

Site location map _____

Site plan _____

Site analysis _____

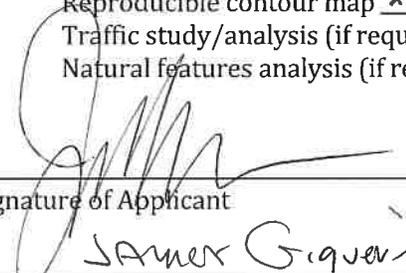
Schematic storm sewer layout _____

Preliminary phasing plan _____

Reproducible contour map _____

Traffic study/analysis (if required) _____

Natural features analysis (if required) _____



Signature of Applicant

5/7/2025

Date

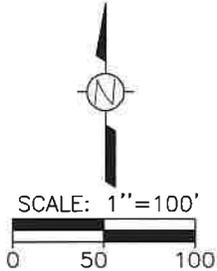
JAMES GIGUERE

Print Name

Fee: \$1,000.⁰⁰ _____

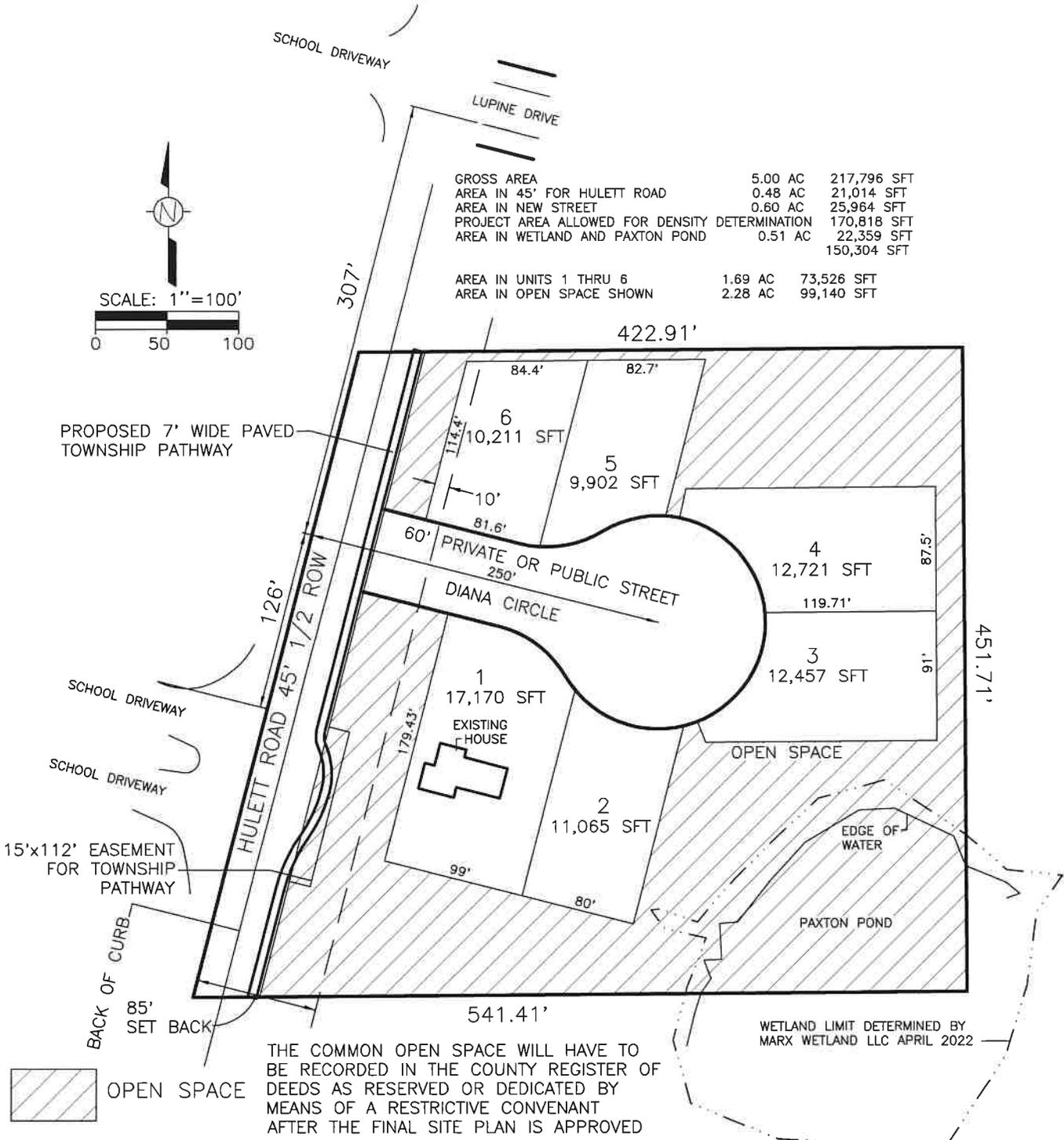
Received by/Date: _____

3560 HULETT ROAD SITE PLAN



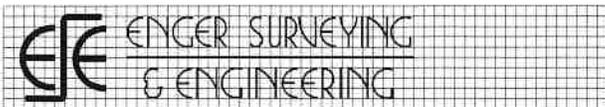
GROSS AREA	5.00 AC	217,796 SFT
AREA IN 45' FOR HULETT ROAD	0.48 AC	21,014 SFT
AREA IN NEW STREET	0.60 AC	25,964 SFT
PROJECT AREA ALLOWED FOR DENSITY DETERMINATION	170,818 SFT	
AREA IN WETLAND AND PAXTON POND	0.51 AC	22,359 SFT
		150,304 SFT

AREA IN UNITS 1 THRU 6	1.69 AC	73,526 SFT
AREA IN OPEN SPACE SHOWN	2.28 AC	99,140 SFT



OPEN SPACE

THE COMMON OPEN SPACE WILL HAVE TO BE RECORDED IN THE COUNTY REGISTER OF DEEDS AS RESERVED OR DEDICATED BY MEANS OF A RESTRICTIVE CONVENANT AFTER THE FINAL SITE PLAN IS APPROVED



PUD PLAN
APPLICANT: JIM GIGUERE

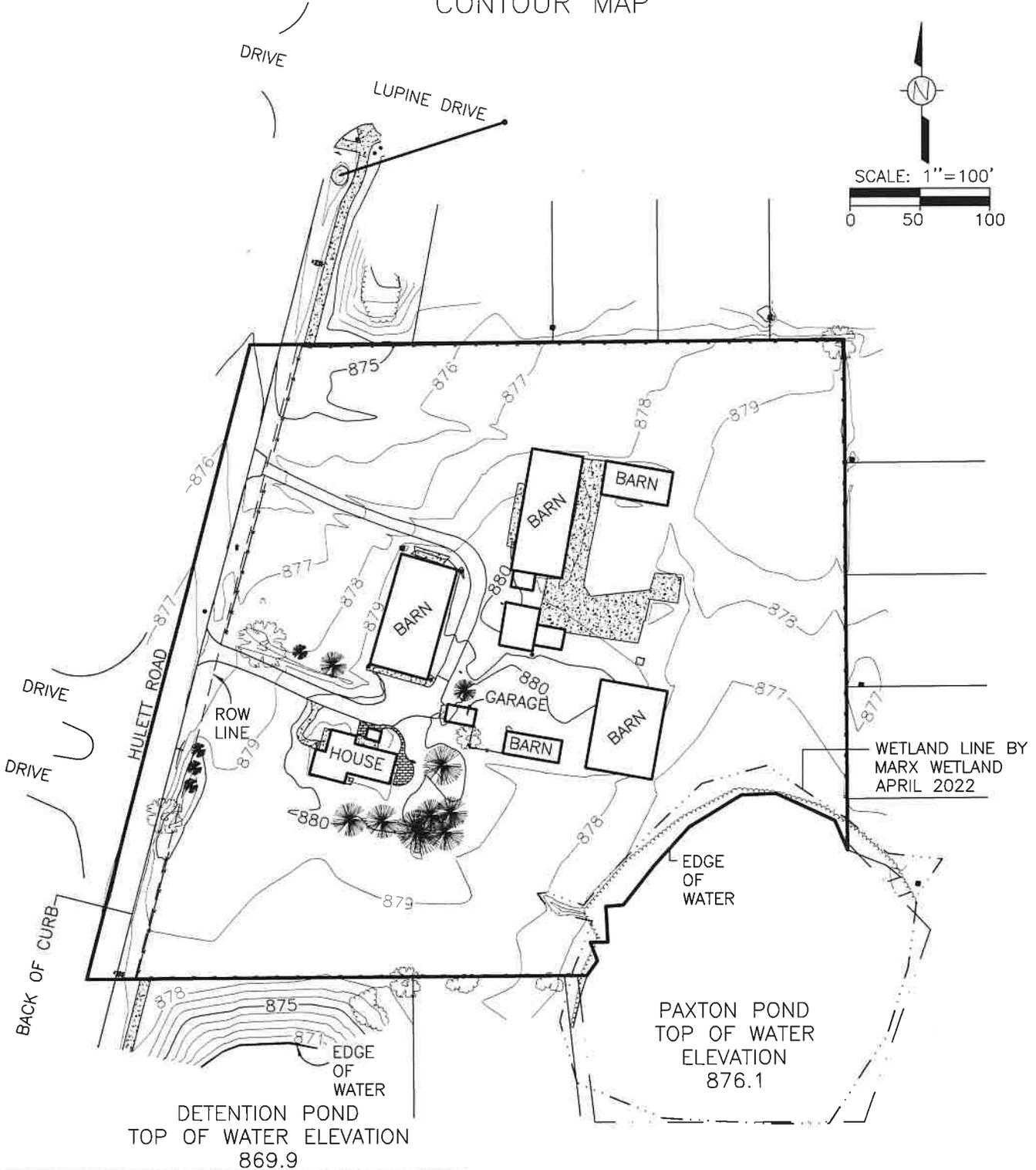
SHEET 3 OF 9

805 N. CEDAR PO BOX 87
MASON, MICHIGAN 48854-0087
517-676-6565

5 MAY 2025

ESE JOB 33-3442

3560 HULETT ROAD CONTOUR MAP



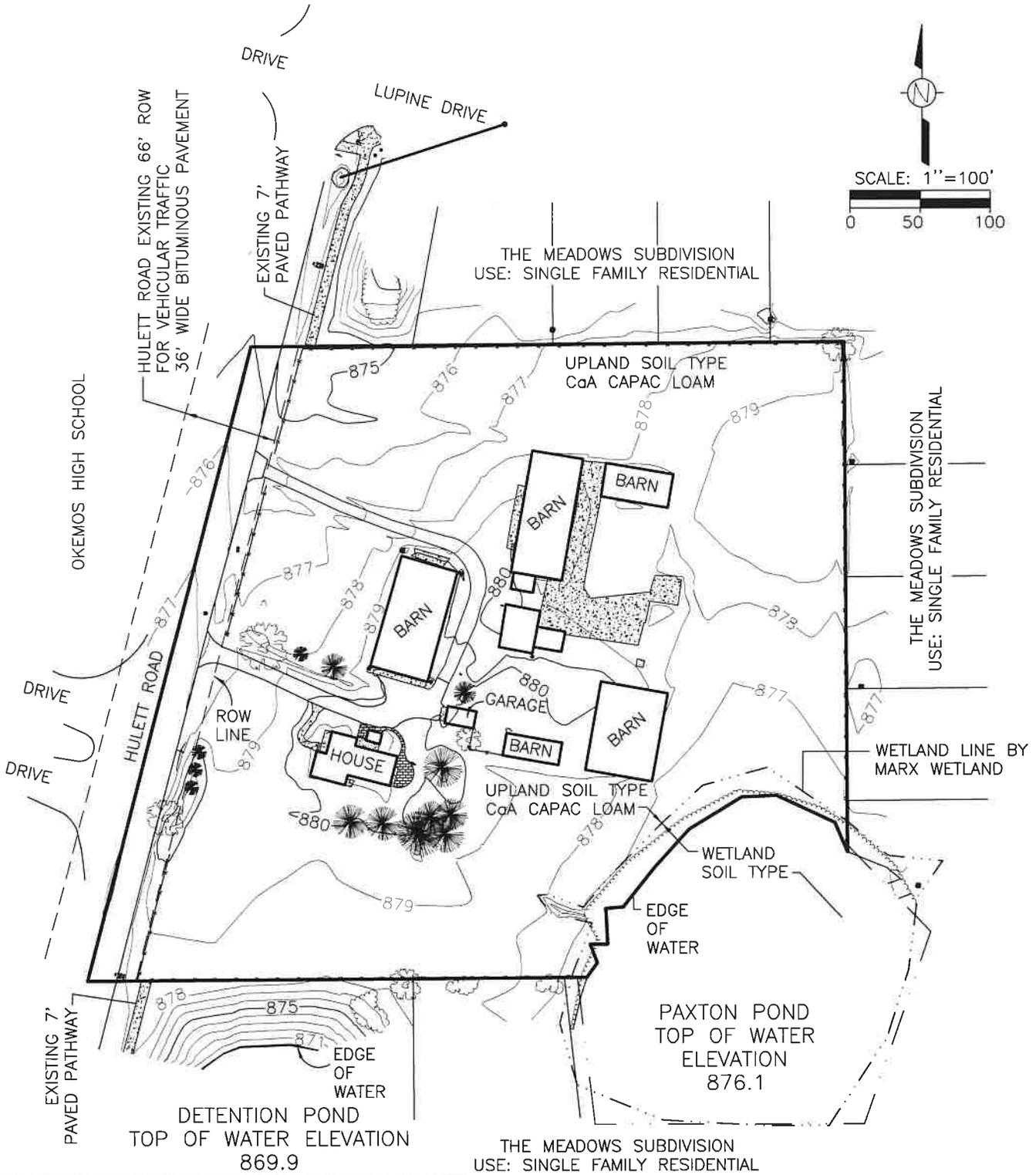
805 N. CEDAR PO BOX 87
MASON, MICHIGAN 48854-0087
517-676-6565

PUD PLAN
APPLICANT: JIM GIGUERE

1 JUNE 2022

SHEET 4 OF 9

3560 HULETT ROAD SITE ANALYSIS



805 N. CEDAR PO BOX 87
MASON, MICHIGAN 48854-0087
517-676-6565

THE MEADOWS SUBDIVISION
USE: SINGLE FAMILY RESIDENTIAL

PUD PLAN
APPLICANT: JIM GIGUERE

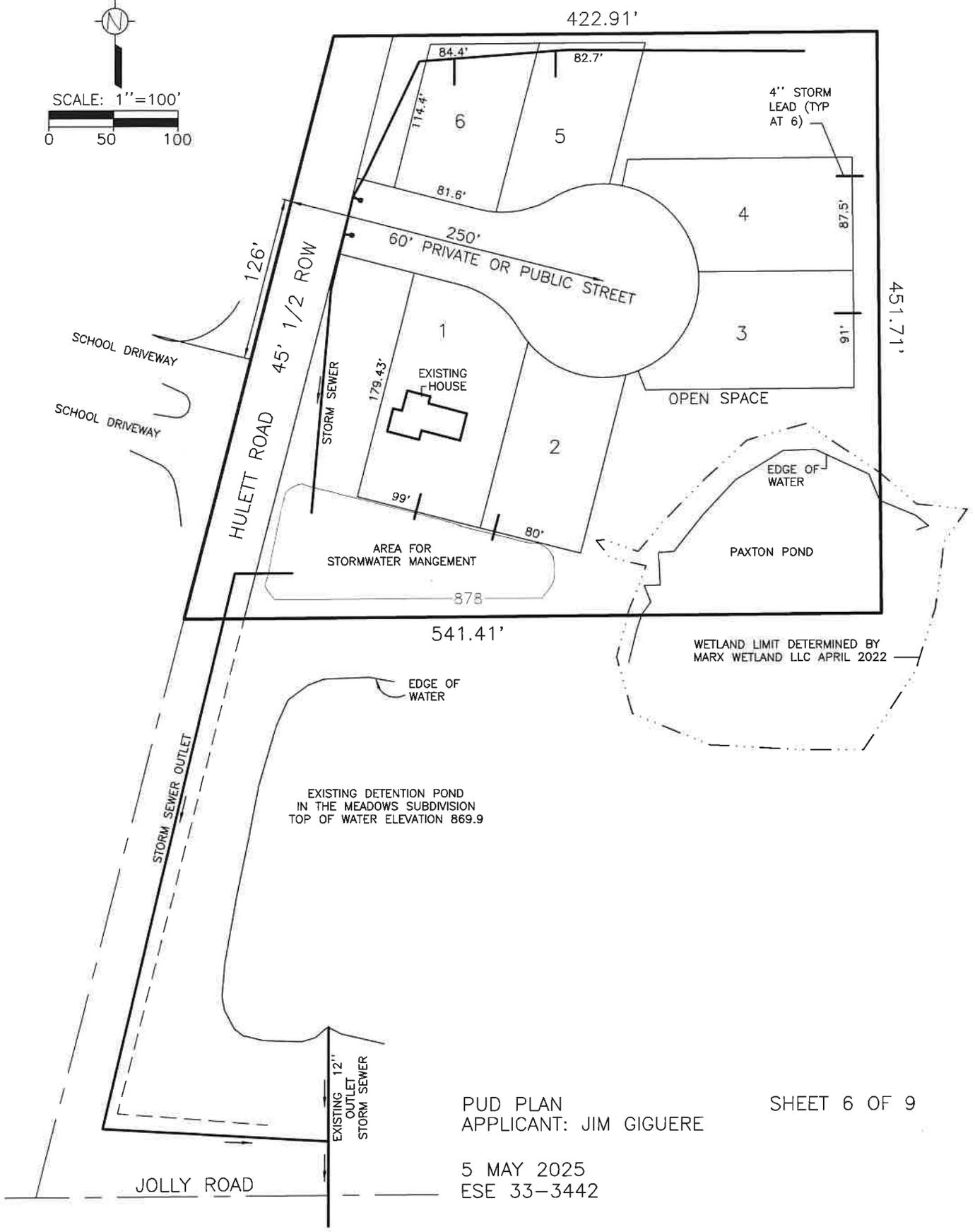
1 JUNE 2022

SHEET 5 OF 9

3560 HULETT ROAD SCHEMATIC STORM SEWER LAYOUT



SCALE: 1"=100'
 0 50 100



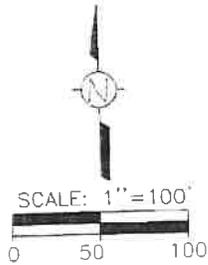
PUD PLAN
 APPLICANT: JIM GIGUERE

SHEET 6 OF 9

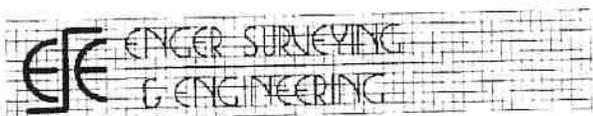
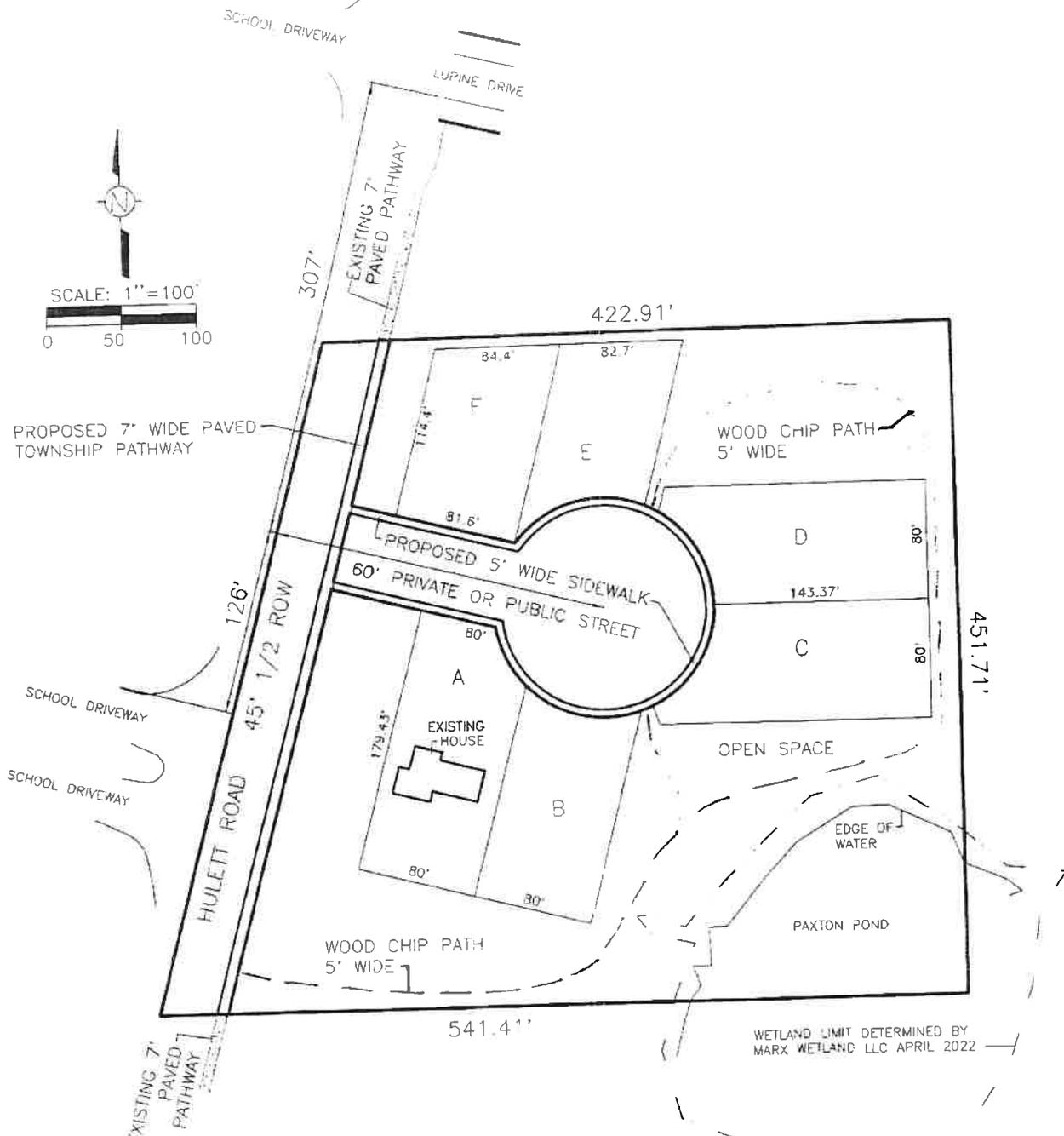
5 MAY 2025
 ESE 33-3442

6

3560 HULETT ROAD WALK AND PATH PLAN



PROPOSED 7' WIDE PAVED TOWNSHIP PATHWAY



805 N. CEDAR PO BOX 87
 MASON, MICHIGAN 48854-0087
 517-676-6565

PUD PLAN
 APPLICANT JIM GIGUERE

REVISED 6 JUNE 2022
 ESE JOB 33-3442

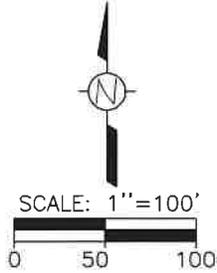
SHEET 8 OF 9

3560 HULETT ROAD STREET TREE AND SCREENING PLAN

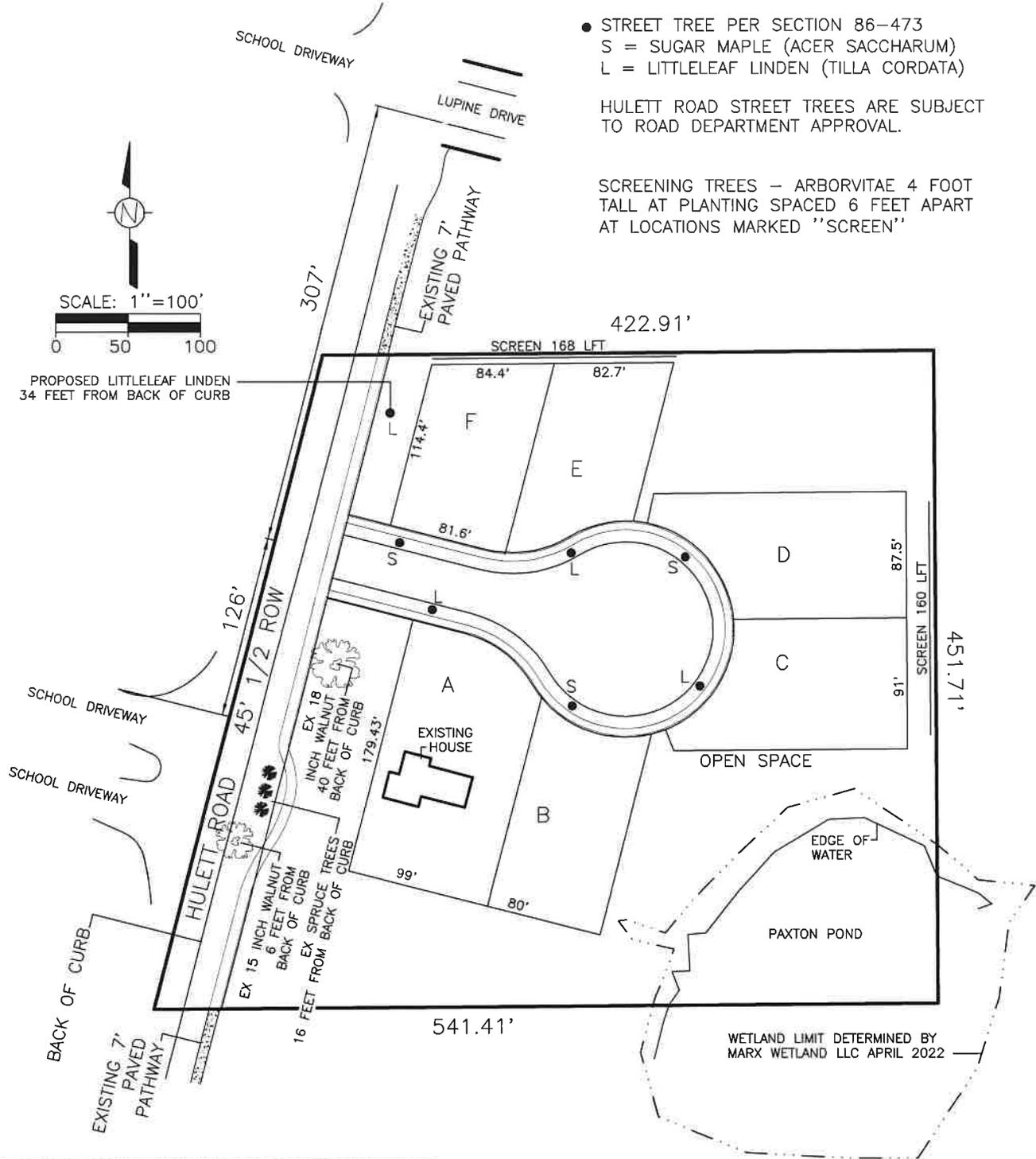
- STREET TREE PER SECTION 86-473
- S = SUGAR MAPLE (ACER SACCHARUM)
- L = LITTLELEAF LINDEN (TILLA CORDATA)

HULETT ROAD STREET TREES ARE SUBJECT TO ROAD DEPARTMENT APPROVAL.

SCREENING TREES – ARBORVITAE 4 FOOT TALL AT PLANTING SPACED 6 FEET APART AT LOCATIONS MARKED "SCREEN"



PROPOSED LITTLELEAF LINDEN
34 FEET FROM BACK OF CURB



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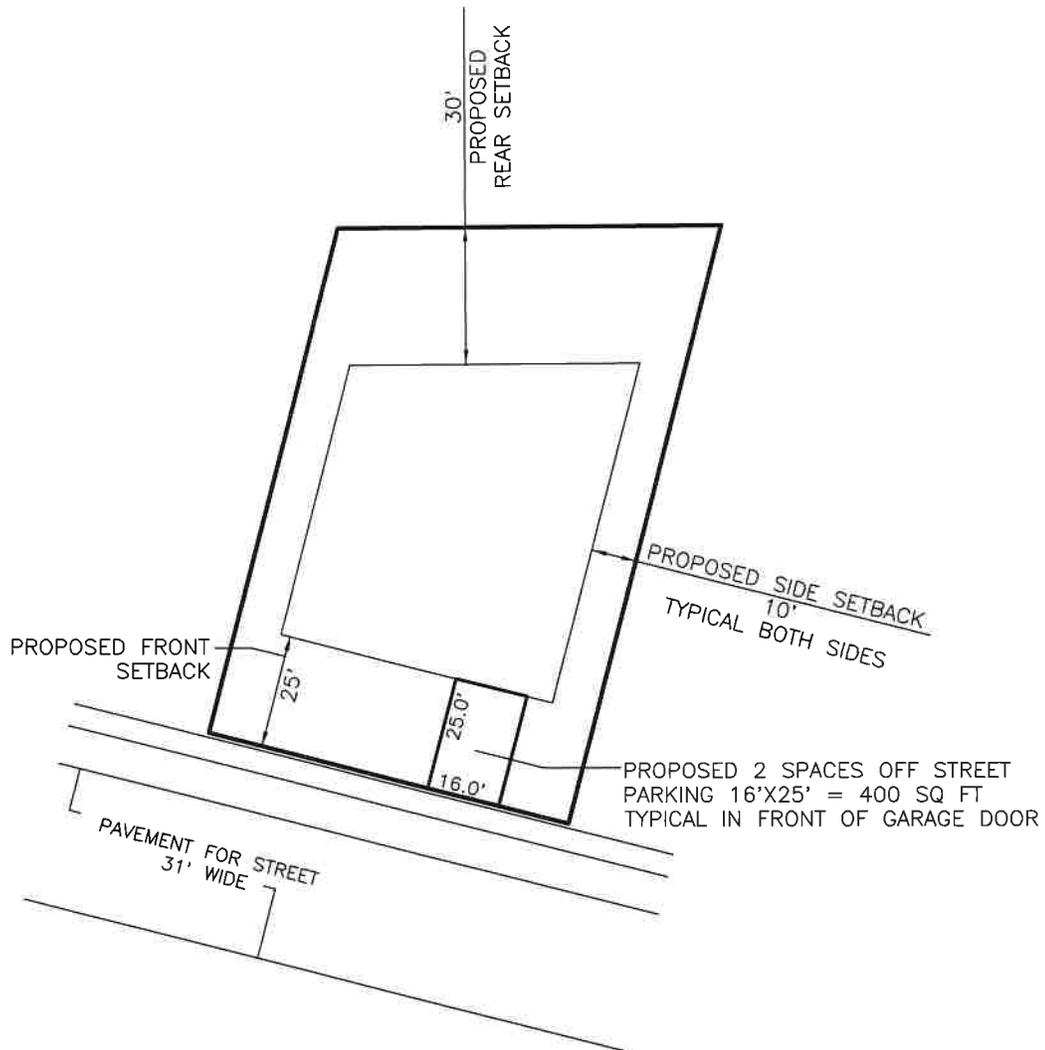
PUD PLAN
APPLICANT: JIM GIGUERE

SHEET 9 OF 9

5 MAY 2025

ESE JOB 33-3442

3560 HULETT ROAD
TYPICAL SETBACKS AND OFFSTREET PARKING PLAN



805 N. CEDAR PO BOX 87
MASON, MICHIGAN 48854-0087
517-676-6565

PUD PLAN
APPLICANT: JIM GIGUERE

SHEET 7 OF 9

ESE 33-3442

3 (d)



June 15, 2022
Project No. 220942

Keith Chapman
Charter Township of Meridian
5151 Marsh Road
Okemos, MI 48864 1198

Wetland Boundary Verification – WDV 22-03
Parcel No. 33-02-02-32-400-012
Meridian Township, Ingham County, Michigan

Dear Keith:

On June 2, 2021, Fishbeck staff conducted a field investigation and verified the wetland boundary for a depressional wetland located at 3560 Hulett Road in Okemos (Parcel Number 33-02-02-32-400-012) (the Site). The Site is located in Section 32 of Meridian Township (Town 4 North, Range 1 West). The Township wetland map identifies Wetland 32-41, a 2.07-acre, emergent/scrub-shrub/open water wetland complex at the approximate location of the delineated wetland.

The Site wetland was delineated by Marx Wetlands (Marx), as described in its May 3, 2022, report entitled *Wetland Evaluation Report: 3560 Hulett Road, Meridian Township, Ingham County, Michigan* (Report). The Report contained a Wetland Delineation Map that noted wetland boundary flags A.1 through A.22 (see attached). The wetland extended onto the adjacent property east and south of the Site.

Site Investigation

The delineated wetland had a distinct boundary where cattail marsh abruptly transitioned to upland, old field species. A catch basin at the east end of the wetland appears to control water levels in the wetland and discharge stormwater to the local storm sewer. Google Earth aerial imagery indicates the wetland predates adjacent residential development and was not constructed as a stormwater basin. In March 2005, the surrounding area contained agricultural fields and the wetland had the same approximate size as its current configuration.

Fishbeck staff observed most of the wetland boundary flags noted on Marx's Wetland Delineation Map. The flags were accurately placed, with one exception: Flag A.17 was approximately 10 feet upgradient from the apparent wetland boundary, based upon the observed plant community. Five wetland boundary flags were missing: A.3, A.6, A.15, A.18, and A.22. The relative location of these flags, as noted on the Wetland Delineation Map, was consistent with the wetland boundary as observed by Fishbeck staff.

Regulatory Review

According to Michigan's Natural Resources and Environmental Protection Act (NREPA), Act 451, Section 30301(d), wetlands "contiguous to the Great Lakes or Lake St. Clair, an inland lake or pond, or a river or stream" or "more than 5 acres in size" are regulated by the State of Michigan. In addition, the Township regulates wetlands greater than two acres in size which are not contiguous to a water body and wetlands between 0.25 acre and two acres in size that are determined to be essential to the preservation of the natural resources of the Township.

The Report's Wetland Delineation Map indicates the Site's wetland is approximately 0.95 acre in size. It is located approximately 175 feet northeast of a one-acre stormwater pond. Because the stormwater pond contains one acre of permanent open water, the Site's wetland is contiguous to a regulated water body and is regulated by both the State of Michigan and the Township.

A Wetland Use Permit (WUP) is required from the Township for any of the following activities within wetlands regulated by the Township:

- Placing fill or permitting the placement of fill in regulated wetland.
- Dredging, removing, or permitting the removal of soil or minerals from regulated wetland.
- Constructing, operating, or maintaining any use or development in regulated wetland.
- Draining surface water from regulated wetland.

In addition, the Township requires that all structures and grading activities during site development shall be set back 40 feet from the delineated wetland boundary and a natural vegetation strip shall be maintained within 20 feet of the wetland boundary.

If you have any questions regarding this letter or any other wetland-related issues, please contact me at 616.464.3738 or ehtripp@fishbeck.com.

Sincerely,



Elise Hansen Tripp, PWS

Senior Wetland Scientist

By email

Attachment

copy: Tim Schmitt– Charter Township of Meridian



LEGEND

- ASSESSMENT BOUNDARY
- EXISTING WETLAND
- + UPLAND SAMPLE POINT
- + WETLAND SAMPLE POINT

NOTE: THIS MAP ILLUSTRATES AN APPROXIMATE DEPICTION OF THE WETLANDS LOCATED ON THE SUBJECT PROPERTY AS DELINEATED BY MARK WETLANDS, LLC, ON APRIL 8, 2022. PLEASE NOTE THAT THE EGLE HAS THE FINAL AUTHORITY ON THE EXTENT OF REGULATED WETLANDS, LAKES, AND STREAMS IN THE STATE OF MICHIGAN.

MARX WETLANDS, LLC.
 9861 HIGH MEADOW DR
 YPSILANTI, MICHIGAN 48198
 (734) 478-8277



SECTION: 02	TOWNSHIP: MERIDIAN
TOWN: OH NORTH, RANGE 01 WEST	COUNTY: INGHAM

CLIENT: GIGUERE HOMES	PROJECT: WETLAND DELINEATION MAP
3560 HULETT ROAD	

REVISIONS:	

DATE: MAY 2, 2022

SHEET NO
01



12.B

To: Township Board
From: Tim Dempsey, Township Manager
Date: August 28, 2025
Re: Fiscal Year 2026 Budget

Staff have been working diligently to complete compilation of the 2026 Budget. We plan to distribute the budget binders and provide a high-level overview at Tuesday evening's Board meeting. This will also be an opportunity to provide initial questions to staff in preparation for a full presentation at the September 16 Board meeting.



To: Board Members
From: Scott Hendrickson, Township Supervisor
Date: August 29, 2025
Re: Township Treasurer Appointment Review Process

Please see below the attached outline for appointing a new Township Treasurer.

The application period will be two weeks, with pre-screening by an appointed subcommittee of the Board on September 23, 2025. Interviews will be held from 4:00 pm – 6:00 pm, preceding our October 7, 2025 Board meeting.

The below process is functionally equivalent to the appointment of James McCurtis as a Township Trustee in 2024, Peter Trezise as a Township Trustee in 2023, Scott Hendrickson and Marna Wilson as Township Trustees in 2022, Courtney Wisinski as Township Trustee in 2019, and Phil Deschaine as Township Treasurer in 2018.

If the Board feels as though there is a candidate that is willing to serve and the Board chooses to appoint the individual immediately, that has precedent as well. Scott Hendrickson was appointed Supervisor in 2024 this way, as was Patricia Jackson as Supervisor in 2022.

The Board has 45 days to complete the process of appointing a new Treasurer under state law, which begins when the position becomes vacant. As such, any appointment must take place by October 31, 2025. If the Board fails to appoint someone, then the County Clerk must call a special election to fill the vacancy, under state statute.

Motion for Township Board Consideration:

MOVE THAT THE TOWNSHIP BOARD ADOPTS THE “PROCESS FOR APPOINTING A NEW TOWNSHIP TREASURER” INCLUDING THE APPOINTMENT OF SUPERVISOR HENDRICKSON, CLERK DEMAS AND TRUSTEE WILSON AS THE APPLICATION REVIEW COMMITTEE AND ADOPTS THE “APPLICATION FOR MERIDIAN TOWNSHIP TREASURER CANDIDATE QUESTIONNAIRE”.

Attachments:

1. Process for Appointing a New Township Treasurer
2. Questionnaire for Township Treasurer

Process for Appointing a New Township Treasurer

August 26, 2025

With the resignation of Treasurer Phil Deschaine, the Board must now conduct a selection process for a new Treasurer. The effective date of his resignation as Treasurer is September 16, 2025. If the Township Board wishes to fill the position, they must do so Friday, October 31, 2025.

The proposed schedule is as follows:

September 2, 2025

At its September 2, 2025 Board meeting, the Board reviews the Supervisor's proposed process for replacement. The Board adopts the Supervisor's proposed process for Treasurer replacement including the selection of Supervisor Hendrickson, Trustee Wilson, and Clerk Demas as the three-member review committee and candidate questionnaire.

September 3, 2025

On Wednesday, September 3, 2025 the Township announces the vacancy and requests that interested individuals submit a public service application, with resume, questionnaire, and three professional references by 4:00 pm on Wednesday, September 17, 2025. Applications must be filed with Abby Tithof, Human Resources Director.

September 18, 2025

On Thursday, September 18, 2025 each committee member is provided with copies of candidate applications.

September 23, 2025

On Tuesday, September 23, 2025 the search committee convenes a special work session to review the applicants. The committee selects the top applicants for interviews. Candidates are notified of their interview schedule by the Township Manager. Interviews shall be scheduled 30 minutes apart and consist of 8-10 questions.

October 7, 2025

On Tuesday, October 7, 2025 the Board shall have a Special Board meeting at 4:00 pm, for the purpose of interviewing the finalists. The selection of a new Township Treasurer shall be placed on the agenda under Action. The newly appointed Treasurer will be sworn in as soon as possible and attend the October 21, 2025 Board meeting.

APPLICATION FOR MERIDIAN TOWNSHIP TREASURER CANDIDATE QUESTIONNAIRE

Please complete this questionnaire and attach it to the [online application](#), along with your resume and three professional references. Completed applications must be returned by **4:00 pm on Wednesday, September 17, 2025. Incomplete questionnaires will be disqualified.** Candidates selected for an interview will be notified on Wednesday, September 24, 2025. If you have any questions, please contact Human Resources Director Abby Tithof at tithof@meridian.mi.us.

1. Please confirm that you are available to be interviewed at the Special Meridian Township Board meeting to be held at 4:00 pm, on Tuesday, October 7, 2025. Please confirm that you are available to assume the position of Treasurer of the Charter Township of Meridian on a full-time basis, 8:00 am to 5:00 pm, Monday through Friday, in addition to participating in before and after work hours meetings and responsibilities.
2. In your opinion what are the best qualities of Meridian Township and the areas that need improvement?
3. Please share your experience and/or training in municipal finance, including your knowledge of the duties of the position of Township Treasurer.
4. Please share your community activities and volunteerism in the community over the past 5-10 years.

5. A significant amount of your time will be allocated to Township Board responsibilities, such as planning, zoning, budgeting, re-zonings, land use, economic development, audit review, and supervisory responsibility for two Treasury staff. Please share with us your experience with, and understanding of, the aforementioned responsibilities.

6. Have you ever served on a Board or Commission for Meridian Township? Please be specific.

7. The position of Township Treasurer is an elected position, and the holder of the office must reside within the township. How long have you resided in Meridian Township?

8. Appointees to this position must, by law, run for election to the partial term in August/November of 2026. Have you ever served as an elected official? Please be specific. Would you intend to run in 2026 for the remainder of the term?

9. In 200 words or less, please provide the Township Board with the reason why you are seeking the Township Treasurer's position.