



**AGENDA**  
CHARTER TOWNSHIP OF MERIDIAN  
ZONING BOARD OF APPEALS MEETING  
July 16, 2025 6:30 pm

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1. CALL MEETING TO ORDER
2. APPROVAL OF THE AGENDA
3. CORRECTIONS, APPROVAL AND RATIFICATION OF MINUTES
  - A. May 21, 2025 Meeting Minutes
4. COMMUNICATIONS
5. UNFINISHED BUSINESS
6. NEW BUSINESS
  - A. **ZBA CASE NO.: 25-06 (3760 Hulett), Norman & Carmen Gear, 3760 Hulett Road, Okemos, MI 48864**  
LOCATION: 3760 Hulett Road  
PARCEL ID: 32-400-017  
ZONING DISTRICT: RR (Rural Residential)  
The variance requested is to construct an addition to a single-family home to be constructed within the wetland setback.
  - B. **ZBA CASE NO.: 25-07 (Meridian Township), 5151 Marsh Road, Okemos, MI 48864**  
LOCATION: 2770 Bennett Road  
PARCEL ID: 29-300-014  
ZONING DISTRICT: RR (Rural Residential)  
The variance requested is to construct a pathway that will cross the Hoskins Drain.
  - C. **ZBA CASE NO.: 25-08 (1982 Grand River), Dagher Signs & Graphics, 22476 Telegraph Rd., Southfield, MI 48033**  
LOCATION: 1982 Grand River Ave.  
PARCEL ID: 22-101-011  
ZONING DISTRICT: C-3 (Commercial)  
The variance requested is to install two wall signs.
7. OTHER BUSINESS
8. PUBLIC REMARKS
9. BOARD MEMBER COMMENTS
10. ADJOURNMENT

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Variance requests may be subject to change or alteration upon review of request during preparation of the staff memorandum. Therefore, Sections of the Code of Ordinances are subject to change. Changes will be noted during public hearing meeting.

Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting:  
Assistant Planner Keith Chapman, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4580 - Ten Day Notice is Required.  
Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall

CHARTER TOWNSHIP OF MERIDIAN  
REGULAR MEETING ZONING BOARD OF APPEALS 2025  
5151 Marsh Road, Okemos MI 48864-1198  
517.853.4000, Township Hall Room  
Wednesday, May 21st, 6:30 pm

PRESENT: Chair Mansour, Vice-Chair Koenig, Member Brooks, Member Trezise

ABSENT: Member Benoit

STAFF: Associate Planner Chapman

1. CALL MEETING TO ORDER

Chair Mansour called the May 21st, 2025, regular meeting for the Meridian Township Zoning Board of Appeals to order at 6:32 pm. Chair Mansour called the roll of the Board. Member Benoit absent.

2. APPROVAL OF THE AGENDA

**Chair Mansour moved to approve the agenda for the May 21<sup>st</sup>, 2025, regular meeting for the Meridian Township Zoning Board of Appeals. Seconded by Member Trezise.**

**ROLL CALL VOTE YEAS: Chair Mansour, Vice-Chair Koenig, Member Brooks, Member Trezise**

**NAYS: None**

**Motion carried: 4-0**

3. CORRECTIONS, APPROVAL AND RATIFICATION OF MINUTES

**Member Trezise moved to approve the minutes from the April 16<sup>th</sup>, 2025, regular meeting for the Meridian Township Zoning Board of Appeals with correction. Seconded by Member Brooks.**

4. COMMUNICATIONS

NONE

5. UNFINISHED BUSINESS

NONE

6. NEW BUSINESS

**ZBA CASE NO.: 25-03 (Playmakers Inc.), 2299 West Grand River Avenue, Okemos, MI 48864**

LOCATION: 2299 West Grand River Avenue

PARCEL ID: 21-131-002

ZONING DISTRICT: C-2 (Commercial)  
The variance requested is to repair/maintain a nonconforming sign.

Associate Planner Chapman gave an overview of the application.

Andy Marsh, 2299 W. Grand River Ave., added details pertaining to the replacement of the freestanding sign.

Members asked questions regarding the age of the sign and the nonconformity of the sign.

Chair Mansour stated that the request meets criteria one.

Chair Mansour stated that the request meets criteria two.

Chair Mansour stated that the request meets criteria three.

Chair Mansour stated that the request meets criteria four.

Chair Mansour stated that the request meets criteria five.

**Member Trezise moved to grant the variance requested for ZBA Case No. 25-03 (Playmakers), 2299 W. Grand River Ave, Okemos, MI 48864. Seconded by Member Brooks.**

**ROLL CALL VOTE**

**YEAS: Chair Mansour, Vice-Chair Koenig, Member Brooks, Member Trezise  
NAYS: None**

**Motion carried: 4-0**

7. OTHER BUSINESS

NONE

8. PUBLIC REMARKS

NONE

9. BOARD MEMBER COMMENTS

Chair Mansour commended Playmakers for working with the Township.

10. ADJOURNMENT

**Chair Mansour adjourned the May 21<sup>st</sup>, 2025 regular meeting for the Meridian Township Zoning Board of Appeals. Approved unanimously.**

Meeting adjourned at 6:52 pm.

## VARIANCE APPLICATION SUPPLEMENT

**A variance will be granted, if the following Review Criteria are met:**

- (1) Unique circumstances exist that are peculiar to the land or structure, that are not applicable to other land or structures in the same zoning district and these unique circumstances are not self-created.
- (2) Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties that would prevent the owner from using the property for a permitted purpose.
- (3) Granting the variance is the minimum action necessary which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
- (4) Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
- (5) Granting the variance will be generally consistent with public interest and the purposes and intent of this chapter.



**To:** Zoning Board of Appeals  
**From:** Keith Chapman, Associate Planner  
**Date:** July 8, 2025  
**Re:** ZBA Case No. #25-06 (3760 Hulett)

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**ZBA CASE NO.:** 25-06 (3760 Hulett), Norman & Carmen Gear, 3760 Hulett Road, Okemos, MI 48864  
**LOCATION:** 3760 Hulett Road  
**PARCEL ID:** 32-400-017  
**ZONING DISTRICT:** RR (Rural Residential)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-471(b)(1), all structures and grading activities shall be setback from the edge of a water feature as follows: Wetlands regulated by the Township, the state, or by federal law equal to or greater than two acres in area; 40 feet.

Norman & Carmen Gear, the applicant, has requested a variance to allow for an addition to a single-family home to be constructed within the wetland setback located at 3760 Hulett Road. The applicant is proposing to construct a two-story addition to the existing single-family home built in 1984.

Wetlands on the site were delineated by Fishbeck in May of 2025. There is one large wetland on site that surrounds the site to the north, south and the east. The impacted wetland buffer for the construction of the addition is shown on the attached plan on the attached plan. There are no direct wetland impacts proposed.

The Zoning Ordinance specifies activities that are prohibited within the 20 foot and 40-foot wetland setbacks. The 40-foot wetland setback prohibits any structures or grading. At the closest point the house would be located 20' 8" from the wetland boundary, encroaching 19' 4" into the 40-foot wetland setback. The applicant is requesting a 19' 4" variance for the construction of the addition within the 40-foot wetland setback.

#### **Attachments**

1. Variance application
2. Wetland delineation
3. Site location map

CHARTER TOWNSHIP OF MERIDIAN  
PLANNING DIVISION  
5151 MARSH ROAD, OKEMOS, MI 48864  
(517) 853-4560

VARIANCE APPLICATION

A. Applicant Norman + Carmen Gear  
Address of Applicant 3710 Hulett Road, Okemos MI 48864  
Telephone (Work) \_\_\_\_\_ Telephone (Home) 517-449-4528  
Fax \_\_\_\_\_ Email address: \_\_\_\_\_  
Interest in property (circle one):  Owner  Tenant  Option  Other

B. Site address/location Same  
Zoning district \_\_\_\_\_ Parcel number 33-02-02-32-400-017

C. Nature of request (Please check all that apply):  
 Request for variance(s)  
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances  
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) 80-471 (b)(1) and (c)(1)

D. Required Supporting Material                      Supporting Material if Applicable  
-Property survey    -Architectural sketches  
-Legal description    -Other  
-Proof of property ownership or approval letter from owner  
-Site plan to scale  
-Written statement, which demonstrates how all the review criteria will be met (See next page)

Norman Gear                      Norman Gear                      06/10/25

 Carmen Gear                      Carmen Gear                      06/10/25  
Signature of Applicant                      Print Name                      Date

Fee: 350                      Received by/Date: 6.13.2025 Deborah Bridgman

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

 Norman Gear                      06/10/25  
Signature of Applicant(s)                      Date  
 Carmen Gear                      06/10/25  
Signature of Applicant(s)                      Date

## Request for Variance

To the Meridian Township Board of Appeals,

I am writing to formally request a variance, on behalf of Norman and Carmen Gear, to construct a home addition on the back of their primary residence located at 3760 Hulett Rd. This addition is essential for enhancing the livability of the home, and creating proper accessibility for the homeowners. I respectfully submit the following points in support of my request:

1. **Unique Circumstances:** The existing house was built in 1984, prior to the current wetland protections act and resulting setback requirements. The house currently sits within the setback area, approximately 24' from the wetland boundary, greatly limiting the available area for any home expansion that would meet the 40' setback requirement.
2. **Practical Difficulties:** Enforcing the strict provisions of this code would pose significant practical difficulties. Without the variance, the homeowners are unable to fully utilize their property for its intended residential purposes, hindering their ability to create a safe and functional home that enables them to age in place. Consequently, this outcome would likely lead to the abandonment of the project, forcing homeowners to relocate from their home of 40 years.
3. **Minimum Action Required:** The variance requested represents the minimum modification needed to achieve the goals of the homeowners. Other options to utilize existing space in the home have been thoroughly explored, which have brought us to the conclusion that expansion is necessary to create a modern, safe, and functional living environment. Expanding the home from another area of the home in any other direction other than the design already presented, that would not interfere with the current setback requirements, would have significant additional cost due to the proximity of adjacent utilities and living areas. The additional costs would exceed the homeowners' allowable budget for the project and the foreseeable value of the property and home.
4. **No Adverse Effects:** Granting this variance will not negatively impact adjacent properties or the wetland area in question. The requirement to maintain 20' of natural vegetation around the wetland can still be maintained, as the home addition will be outside that buffer zone.
5. **Consistency with Public Interest:** This variance supports the public interest by promoting attractive, functional residential spaces. It remains true to the intent and purposes of the wetland protection regulations, as the wetland will not be altered or adversely affected by the construction of the proposed home addition.

Thank you for considering our request. We deeply appreciate your time and attention and are available to provide further information or discuss this matter in detail at your convenience.

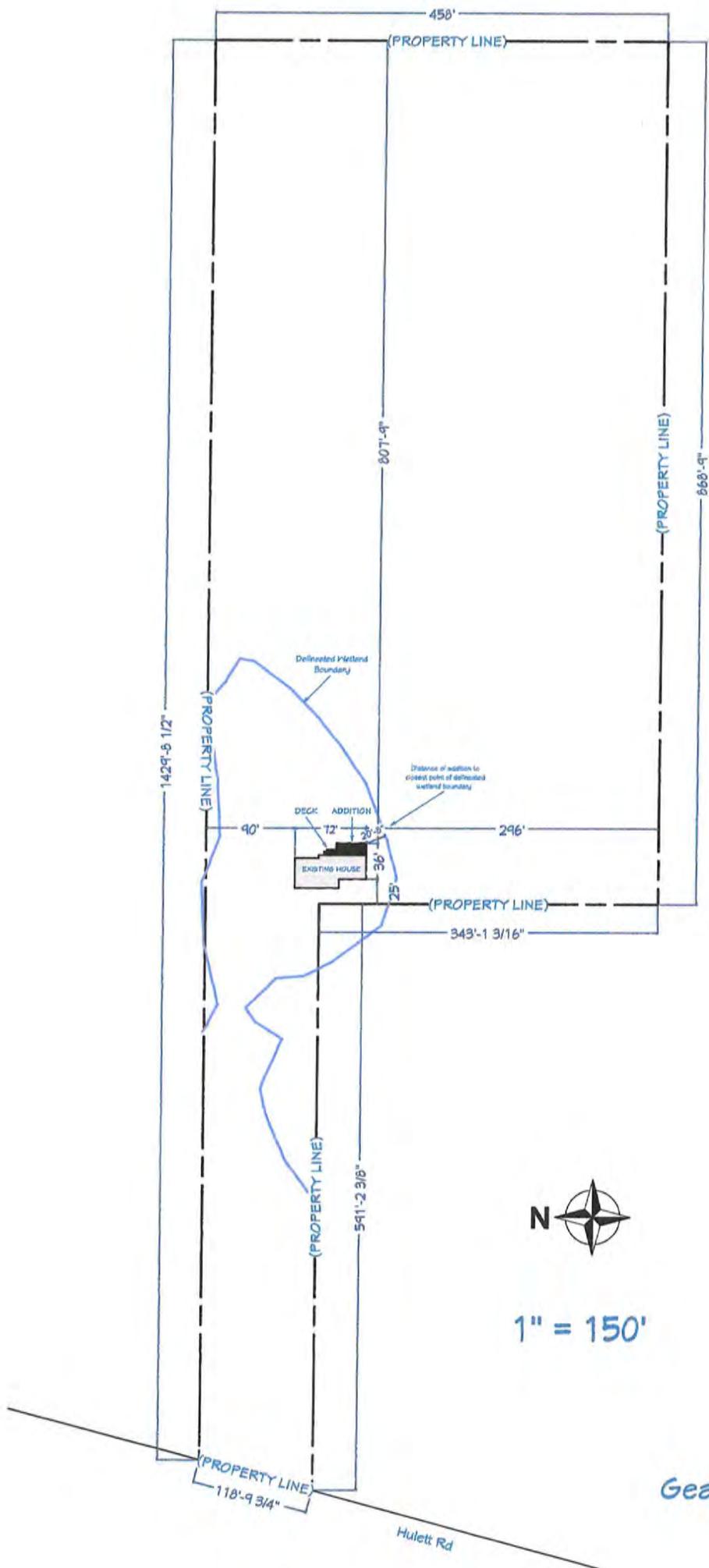
Sincerely,

**Matt Nelson**

Project Developer, K. Fedewa Builders

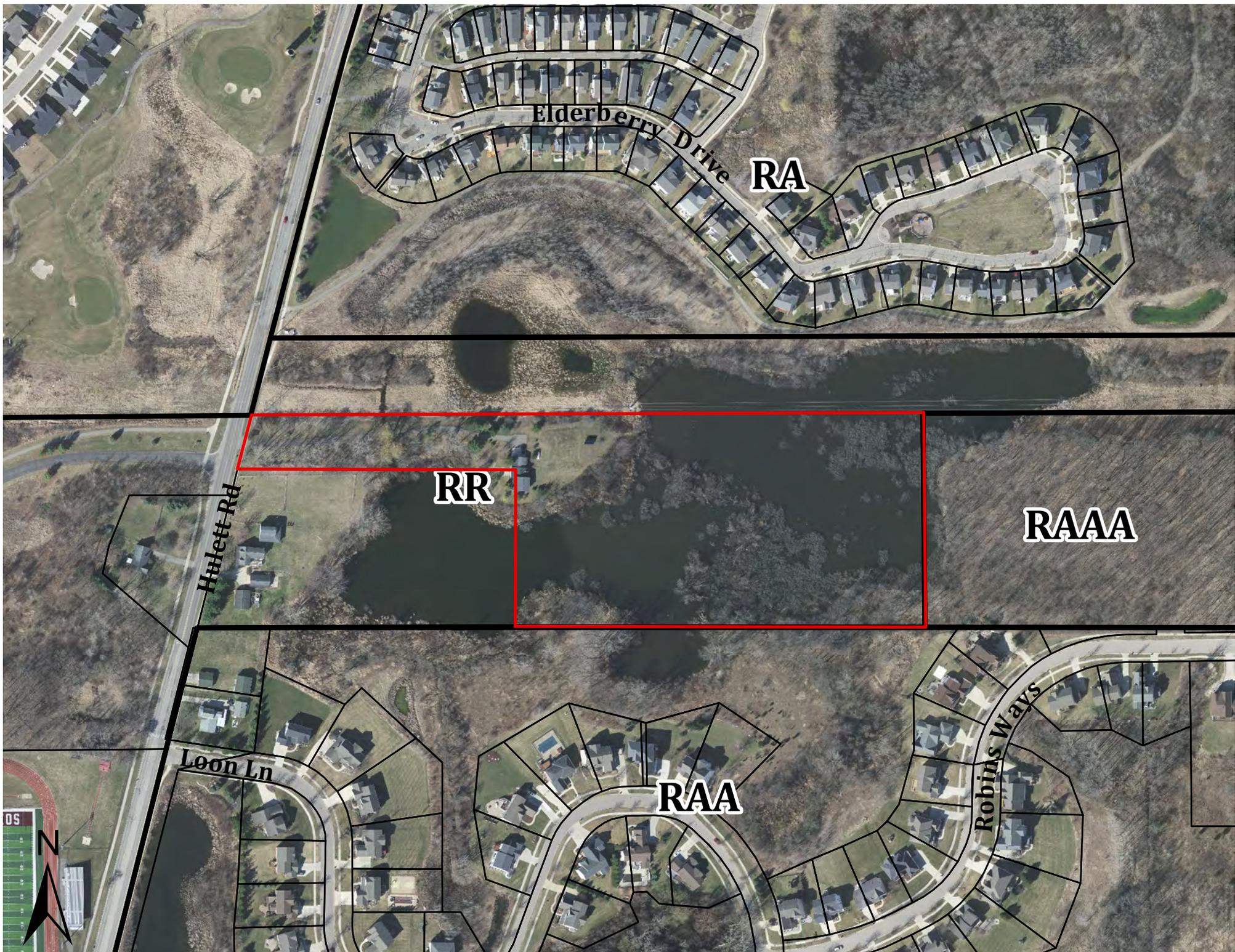
517-803-5694

[matt@kfedewabuilders.com](mailto:matt@kfedewabuilders.com)



1" = 150'

Gear, Norman and Carmen  
3760 Hulett Rd





**To:** Zoning Board of Appeals  
**From:** Keith Chapman, Associate Planner  
**Date:** July 8, 2025  
**Re:** ZBA Case No. #25-07 (Meridian Township)

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**ZBA CASE NO.:** 25-07 (Meridian Township), 5151 Marsh Road, Okemos, MI 48864  
**LOCATION:** 2770 Bennett Road  
**PARCEL ID:** 29-300-014  
**ZONING DISTRICT:** RR (Rural Residential)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-471(b)(4), Open county drains or creeks: 50 feet, as measured from the top of the bank on the side of the drain where the structure is to be located or grading activity is to occur.
- Section 86-471(c)(3), Open county drains or creeks: 25 feet, as measured from the top of the abutting bank.

Meridian Township, the applicant, has requested a variance to construct a pathway that will cross the Hoskins Drain located near 2770 Bennett Road. The pathway will connect to the Silverleaf subdivision to the west and is outlined in the Township's Pathway Master Plan. The Pathway is proposed to along bennet road and a boardwalk will cross the Hoskins Drain.

The Zoning Ordinance specifies activities that are prohibited within the 25-foot and 50-foot open county drain setbacks. The 50-foot open county drain setback prohibits any structures or grading. Within the 25-foot open county drain setback trees, shrubs, and ground cover may be selectively pruned or removed to provide reasonable private access or views to water features, to remove potentially hazardous or nuisance exotic vegetation, and to improve or protect wildlife habitat. Such pruning and removal activities are subject to the following: 1. No more than 10% of the length of the strip shall be clear cut or mowed to the depth of the strip. 2. Pathways accessing water features shall not exceed 10 feet in width. 3. A live root system shall be maintained to provide for streambank stabilization and erosion control.

At the closest point the pathway would be located 0' from the Hoskins drain, encroaching 25' into the 25-foot natural vegetation strip and 50' into the 50-foot open county drain setback. The applicant is requesting a 25' variance for the pathway within the 25-foot natural vegetation strip and a 50' variance for the pathway within the 50-foot open county drain setback.

#### **Attachments**

1. Variance application and supplemental documentation
2. Site location map.

CHARTER TOWNSHIP OF MERIDIAN  
PLANNING DIVISION  
5151 MARSH ROAD, OKEMOS, MI 48864  
(517) 853-4560

VARIANCE APPLICATION

A. Applicant Meridian Township  
Address of Applicant 5151 Marsh Road  
5151 Marsh Road  
Telephone (Work) 517-853-4468 Telephone (Home) \_\_\_\_\_  
Fax \_\_\_\_\_ Email address: hart@meridian.mi.us  
Interest in property (circle one):  Owner  Tenant  Option  Other

B. Site address/location Nearest address is 2770 Bennett Road  
Zoning district RR Parcel number 33-02-02-29-300-014

C. Nature of request (Please check all that apply):  
 Request for variance(s)  
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances  
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) 86-471(b)(4) and 86-471(c)(3)

D. Required Supporting Material Supporting Material if Applicable  
-Property survey -Architectural sketches  
-Legal description -Other  
-Proof of property ownership or approval letter from owner  
-Site plan to scale  
-Written statement, which demonstrates how all the review criteria will be met (See next page)

Caycee Hart  
Signature of Applicant

Caycee Hart  
Print Name

6/12/25  
Date

Fee: \_\_\_\_\_ Received by/Date: \_\_\_\_\_

*I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)*

Caycee Hart 6/12/25  
Signature of Applicant(s) Date

\_\_\_\_\_  
Signature of Applicant(s) Date





**Department of Public Works**

5151 Marsh Road  
Okemos, MI 48864  
517.853.4440  
dpw@meridian.mi.us

June 12, 2025

Keith Chapman  
5151 Marsh Road  
Okemos, MI 48864

**RE: Schultz Pathway and Boardwalk – Variance Letter**

Dear Mr. Chapman:

Thank you for considering our variance application for the proposed pathway and Boardwalk located along Bennett Road.

Legal Description

COM @ THE S 1/4 COR SEC 29 - N 80 RODS TO N LN OF S 1/2 OF SE 1/4 - E ON N LN 1314.7 FT - S 426.5 FT - E 537.1 FT TO C/L HULETT RD - SW'LY ON C/L 1036.22 FT TO S SEC LN - W ON S SEC LN 1324.92 FT TO THE POB. EXC R/W FOR BENNETT & HULETT RD DESC AS COM @ THE S 1/4 COR SEC 29 - N 33 FT TO THE POB. - N 17 FT - N 89 DEG 29'35" E, 1211.32 FT - N 48 DEG 18'54" E, 103.79 FT - ALONG CURVE RT 170 FT HAVING A 314.36 FT RADIUS & A CHD OF 167.94 FT BRG N 29 DEG 40'35" E - N 45 DEG 10' 08" E 125.64 FT - ON CURVE LEFT 140 FT HAVING A 534.53 FT RADIUS & A CHD OF 139.60 FT BRG N 37 DEG 39'56" E - N 30 DEG 09' 44" E, 484.33 FT - N 90 DEG E 30.76 FT - S 30 DEG 25' 06" W 984.28 FT - S 89 DEG 29' 35" W 1322.15 FT TO THE POB SEC 29 T4NR1W 44.26 AC +/-

**Review Criteria:**

1. Unique circumstances exist that are peculiar to the land or structure, that are not applicable to other land or structures in the same zoning district and these unique circumstances are not self-created.

The Hoskins Drain crosses this parcel. The drain provides stormwater conveyance for this area and cannot be relocated off of the property.

2. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties that would prevent the owner from using the property for a permitted purpose.

Strict enforcement of this ordinance would not allow the boardwalk to cross the Hoskins Drain. This boardwalk is proposed to bridge fill the gap in the existing pathway network along Bennett Road. To make this connection the pathway needs to run east/west along the parcel which will require a crossing of the Hoskins Drain.

3. Granting the variance is the minimum action necessary which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

Granting the requested variance is all that would be required to construct the proposed trail in accordance with this section of the Ordinance.

4. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.





**Department of Public Works**

5151 Marsh Road  
Okemos, MI 48864  
517.853.4440  
dpw@meridian.mi.us

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Granting the variance will increase accessibility to the existing natural features, while preserving and protecting the environmental benefits of the property.

5. Granting the variance will be generally consistent with public interest and the purposes and intent of this chapter.

The proposed project provides access and proposes minimal impacts to the environmental benefits of the subject properties and is thereby consistent with the purposes and intent of this chapter.

**Effect of Variance Approval:**

1. Granting a variance shall authorize only the purpose for which it was granted.

We understand that the variance only applies to the specific purposes for which it was granted.

2. The effective date of a variance shall be the date of the Zoning Board of Appeals approves such variance.

We understand that the variance is only effective as of the date of ZBA approval.

3. A building permit must be applied for within 24 months of the date of the approval of the variance, and a Certificate of occupancy must be issued within 18 months of the date the building permit was issued, otherwise the variance shall be null and void.

A building permit and certificate of occupancy will not be required for this project.

**Reapplication:**

1. No application for a variance, which has been denied wholly or in part by the Zoning Board of Appeals, shall be resubmitted until the expiration of one (1) year or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed conditions found by the Zoning Board of Appeals to be sufficient to justify consideration.

We understand that resubmittal shall not occur within one (1) year of denial, excepting the discovery of new conditions.

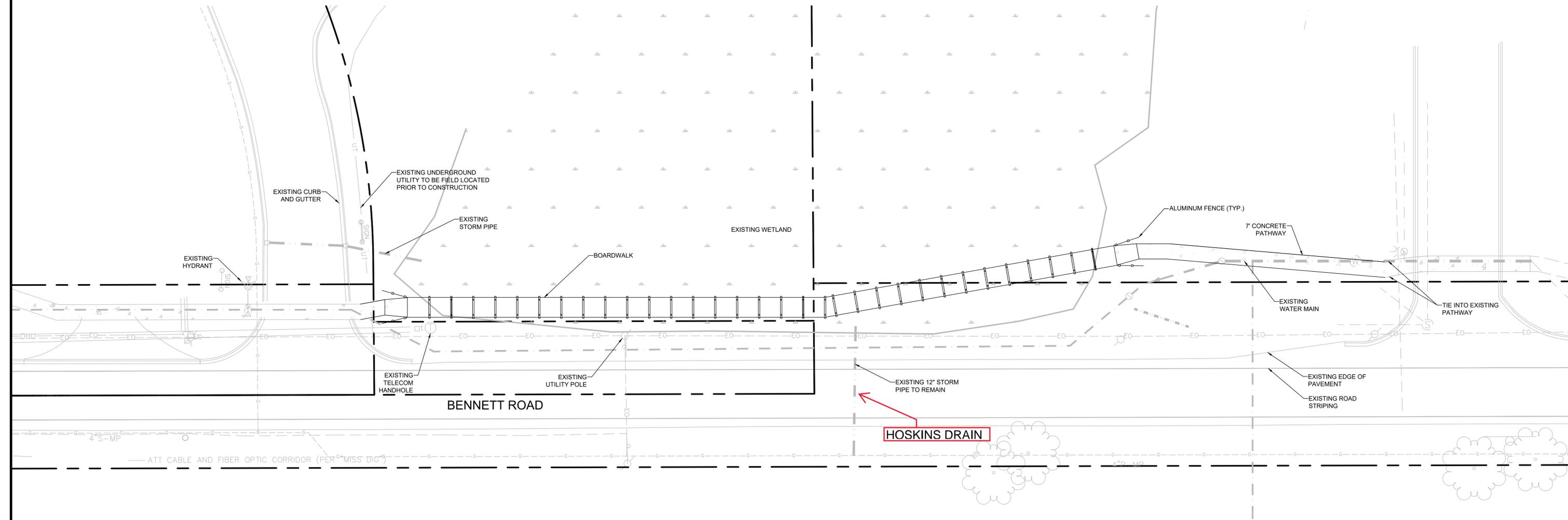
Respectfully,

Caycee Hart  
Project Engineer  
Meridian Township

| PAY ITEMS (THIS SHEET)     |     |    |
|----------------------------|-----|----|
| SHARED USE PATH, CONCRETE  | 115 | SY |
| SHARED USE PATH, AGGREGATE | 40  | TN |
| CONCRETE ABUTMENT          | 2   | EA |
| TREATED TIMBER BOARDWALK   | 335 | FT |
| BOARDWALK STRUCTURAL PILES | 1   | LS |
| SITE RESTORATION           | 1   | LS |
| FENCE, ALUMINUM            | 50  | FT |

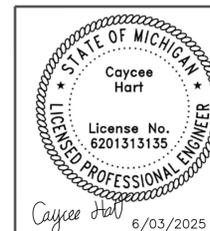
**LEGEND**

- — — — — PROPERTY LINE
- — — — — EXISTING OVERHEAD ELECTRIC LINE
- — — — — EXISTING WATER MAIN



**Call 811 before you dig.**

WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township  
Ingham County, Michigan  
**PATHWAY**

**SCHULTZ PATHWAY**

SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: CH

CHECKED BY: YI

| REVISIONS: |     |                           |
|------------|-----|---------------------------|
| DATE       | BY: | COMMENTS:                 |
| 11.02.24   | CH  | EGLE 2ND SUBMITTAL        |
| 2.20.25    | CH  | EGLE 3RD SUBMITTAL        |
| 4.11.25    | CH  | EGLE 4TH SUBMITTAL        |
| 5.02.25    | CH  | BID SET                   |
| 5.23.25    | CH  | BID SET; ADDENDUM #1      |
| 6.03.25    | CH  | EGLE: CONST. MAT REVISION |

SHEET:

UTILITY COMPANY UTILITIES

AT&T  
337 N. ABBOTT, RM. 201  
EAST LANSING, MI 48823  
517.337.3660

TELEPHONE

CONSUMERS ENERGY  
530 W. WILLOW ST.  
P.O. BOX 30162  
LANSING, MI 48909  
517.373.6100

GAS  
ELECTRIC

COMCAST  
1070 TROWBRIDGE ROAD  
EAST LANSING, MI 48823  
517.332.1012

CABLE TV

MERIDIAN TOWNSHIP  
5151 MARSH RD.  
OKEMOS, MI 48864  
517.853.4440

WATER MAINS  
SANITARY SEWER  
PATHWAYS

WOLVERINE PIPE LINE  
8105 VALLEYWOOD LANE  
PORTAGE, MI 49024-5251  
231.323.2491

PETROLEUM PIPELINE

INGHAM COUNTY DRAIN  
COMMISSIONER  
707 BUHL ST.  
MASON, MI 48854  
517.676.8395

DRAINS  
STORM SEWER

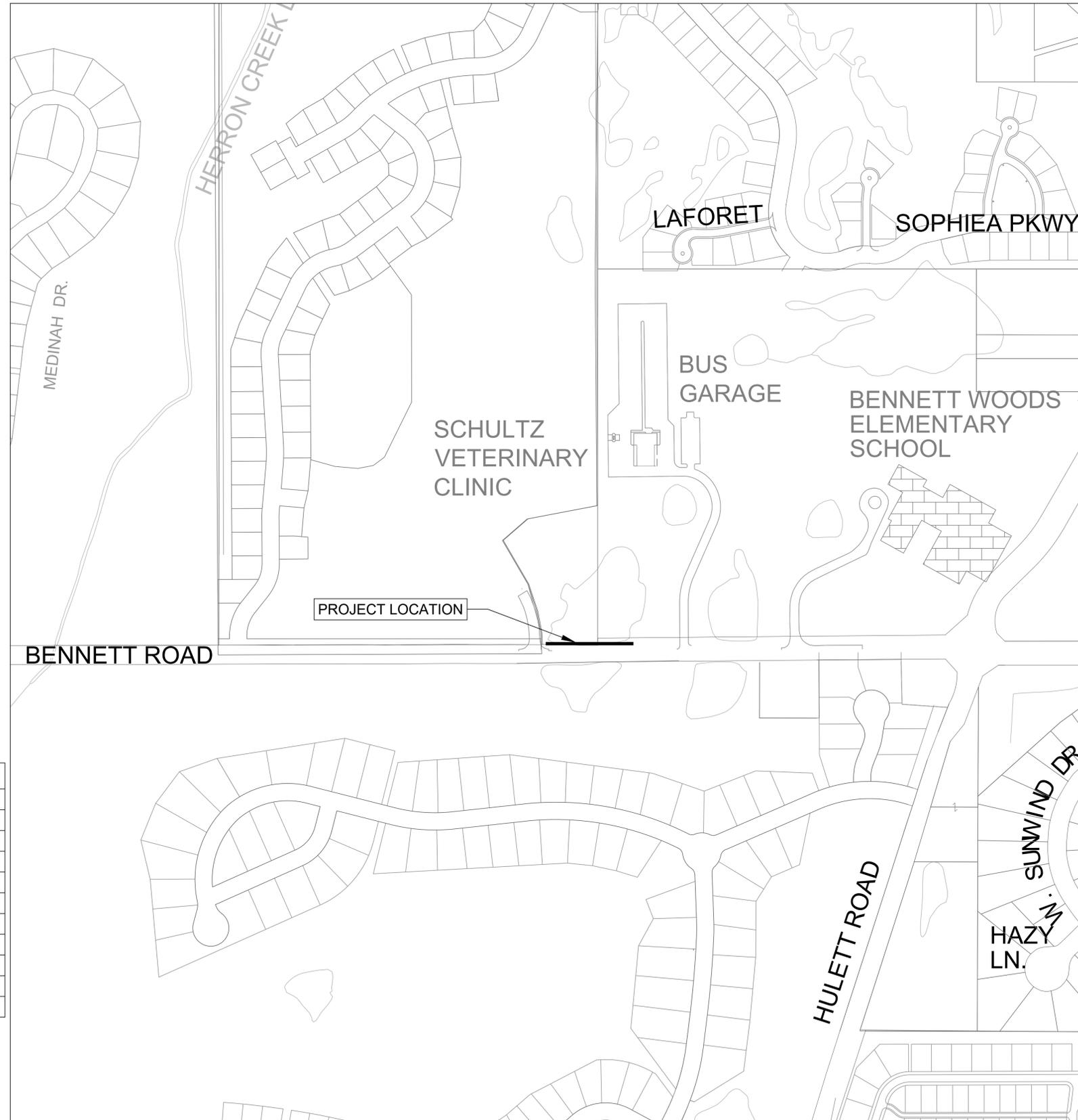
INGHAM COUNTY ROAD DEPT  
301 BUSH ST.  
MASON, MI 48854  
517.676.9722

PUBLIC ROADS AND  
RIGHTS OF WAY

# SCHULTZ PATHWAY CONSTRUCTION PLANS FOR MERIDIAN TOWNSHIP INGHAM COUNTY, MICHIGAN



**Call 811 before you dig.**



**STANDARD CONSTRUCTION NOTES**

- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering 517-853-4440 a minimum of 72 hours prior to the start of construction of public utilities or of construction within the public right-of-way.
- All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
- After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
- The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
- The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
- The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Charter Township of Meridian, upon four hours notice, reserves the right to perform the work and deduct the cost therefore from the money due the contractor.
- A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments disturbed or destroyed by the contractor's operations.
- Contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
- Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
- Trees and shrubs are to be protected during construction and bored where necessary.
- Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
- Driveways, culverts, ditches, drain tile, tile fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
- All established lawn areas disturbed by the contractor's operations shall be resodded with matching sod. All other areas shall be seeded and mulched. Seeding and mulching shall be done in accordance with the General Specifications.
- All ditch slopes shall have established vegetation and be protected from erosion.
- All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
- Onsite parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.

**PATHWAY NOTES**

- Pathways and sidewalks shall be four (4) inch thick concrete except at driveways where they shall be six (6) inch (residential) or seven (7) inch (commercial) thick concrete.
- Three (3) inches of compacted sand base shall be placed under all pathways and sidewalks.
- All bituminous aprons shall be two and one-half (2½) inches thick, unless otherwise noted.
- Property irons shall be maintained by the Contractor.
- All existing concrete and bituminous to be removed shall be sawcut. All bituminous removal shall be considered incidental to construction.
- All aggregate base material shall be four (4) inches of 22A.
- All tree (less than 6") and shrub removal shall be considered part of subgrade preparation.
- Location of new plant material shall be as directed by the Engineer, and shall be installed in accordance with guidelines established by the A.N.L.A.
- All plant material not marked for removal shall be protected.
- Bituminous drives shall be sawcut 18" on either side of proposed pathway.
- The maximum longitudinal slope is 5% (up to an absolute maximum of 8½% at the direction of the Engineer) and the maximum cross slope is 2%.
- Expansion joints shall be placed at approximately 100' intervals and shall be ½" thick. Contraction joints shall be sawcut to a depth of ¼ of the depth of the concrete.
- All lumber to be pressure treated (Osmose 33 or equal) to 0.4 retention.
- All items not covered under a specific pay item shall be considered incidental.

**Sheet List Table**

| Sheet Number | Sheet Title            |
|--------------|------------------------|
| 1            | COVER SHEET            |
| 2            | SESC PLAN              |
| 3            | SESC NOTES AND DETAILS |
| 4            | SESC NOTES AND DETAILS |
| 5            | GRADING PLAN           |
| 6            | SITE PLAN              |
| 7            | TYPICAL DETAILS        |
| 8            | BOARDWALK DETAILS      |
| 9            | BOARDWALK DETAILS      |
| 10           | TYPICAL SECTIONS       |

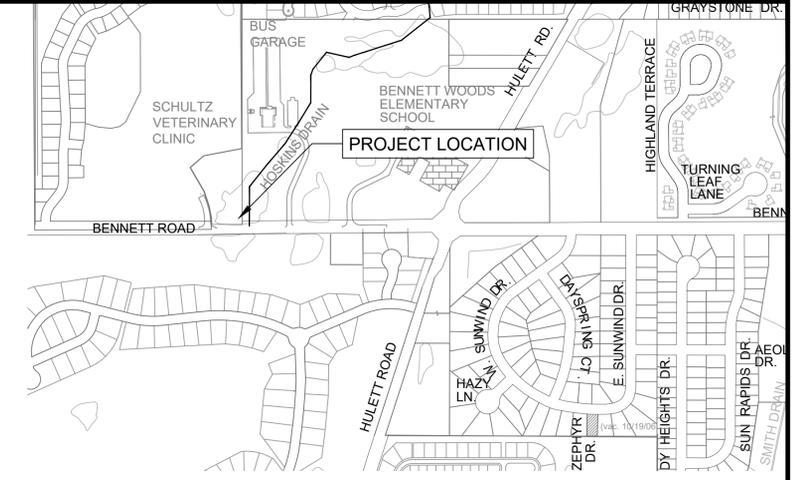


**SEQUENCE OF CONSTRUCTION**

1. INSTALL CONSTRUCTION ENTRANCE, INLET PROTECTION, AND SILT FENCE.
2. CONSTRUCT BOARDWALK BY DRIVING PILES, CONSTRUCTING THE SUPPORT SPAN OF BOARDWALK BETWEEN THE PILES. CONSTRUCTION MAT WILL BE PLACED OVER THE WETLAND AND WILL BE USED TO ACCESS THE BOARDWALK DURING CONSTRUCTION.
3. DEMOLISH THE EXISTING CONCRETE PATHWAY.
4. CONSTRUCT THE PROPOSED CONCRETE PATHWAY
5. PERMANENTLY SEED AREAS ONCE THEY HAVE REACHED FINAL GRADE.
6. REMOVE SESC MEASURES ONCE THE SITE IS FULLY STABILIZED.

**RECOMMENDED CONSTRUCTION SCHEDULING & SEQUENCING**

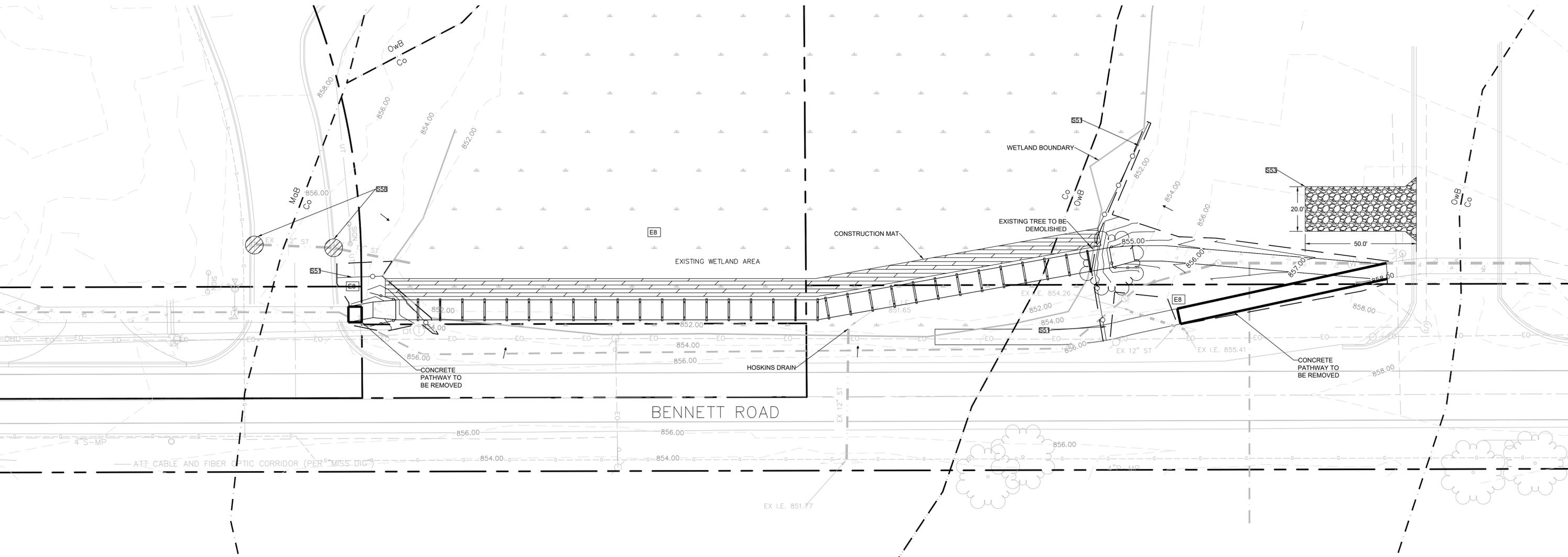
|                                    | JUNE | JULY | AUGUST | SEPTEMBER | OCTOBER | NOVEMBER | DECEMBER | JANUARY | FEBRUARY | MARCH | APRIL | MAY |
|------------------------------------|------|------|--------|-----------|---------|----------|----------|---------|----------|-------|-------|-----|
| INSTALL SESC MEASURES              |      |      |        |           |         |          |          |         |          |       |       |     |
| CONSTRUCT BOARDWALK AND ABUTMENTS  |      |      |        |           |         |          |          |         |          |       |       |     |
| DEMOLISH EXISTING CONCRETE PATHWAY |      |      |        |           |         |          |          |         |          |       |       |     |
| CONSTRUCT CONCRETE PATHWAY         |      |      |        |           |         |          |          |         |          |       |       |     |
| SITE CLEANUP AND RESTORATION       |      |      |        |           |         |          |          |         |          |       |       |     |
| REMOVE SESC MEASURES               |      |      |        |           |         |          |          |         |          |       |       |     |



THE PROJECT IS LOCATED WITHIN 0' OF THE >1 ACRE WETLAND AND HOSKINS DRAIN.

**PAY ITEMS (THIS SHEET)**

|   |     |    |
|---|-----|----|
| EROSION CONTROL, GRAVEL ACCESS APPROACH | 1   | EA |
| EROSION CONTROL, SILT FENCE             | 165 | FT |
| EROSION CONTROL, INLET PROTECTION       | 2   | EA |
| SIDEWALK, REMOVAL                       | 85  | SY |
| TREE REMOVAL, 19 TO 36 INCH             | 1   | EA |

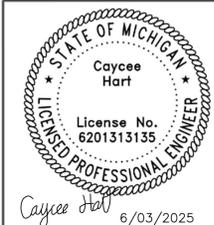
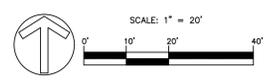


**SOILS:**  
 Co - Colwood-Brookston loams  
 MaB - Marlette Fine Sandy Loam, 2 to 6 percent slopes  
 OwB - Owosso-Marlette Sandy Loams, 2 to 6 percent slopes

**LEGEND**

|  |                       |
|--|-----------------------|
|  | PROPERTY LINE         |
|  | EXISTING CONTOUR      |
|  | PROPOSED CONTOUR      |
|  | SILT FENCE            |
|  | LIMITS OF DISTURBANCE |
|  | SOIL BOUNDARY         |
|  | INLET PROTECTION      |
|  | CONSTRUCTION ENTRANCE |

| KEY               | BEST MANAGEMENT PRACTICES      | SYMBOL | WHERE USED   |
|-------------------|--------------------------------|--------|--|
| SEDIMENT CONTROLS |                                |        |  |
| S51               | SILT FENCE                     |        | Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.        |
| S53               | STABILIZED CONSTRUCTION ACCESS |        | Used at every point where construction traffic enters or leaves a construction site.                   |
| S58               | INLET PROTECTION FABRIC DROP   |        | Use at stormwater inlets, especially at construction sites.  |
| E8                | PERMANENT SEEDING              |        | Stabilization method utilized on sites where earth change has been completed (final grading attained). |



Meridian Charter Township  
 Ingham County, Michigan  
**PATHWAY**

SCHULTZ PATHWAY  
 SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
 INGHAM COUNTY, MICHIGAN

DRAWN BY: CH CHECKED BY: YI

**REVISIONS:**

| DATE     | BY: | COMMENTS:                |
|----------|-----|--------------------------|
| 11.02.24 | CH  | EGL 2ND SUBMITTAL        |
| 2.20.25  | CH  | EGL 3RD SUBMITTAL        |
| 4.11.25  | CH  | EGL 4TH SUBMITTAL        |
| 5.02.25  | CH  | BID SET                  |
| 5.23.25  | CH  | BID SET; ADDENDUM #1     |
| 6.03.25  | CH  | EGL: CONST. MAT REVISION |

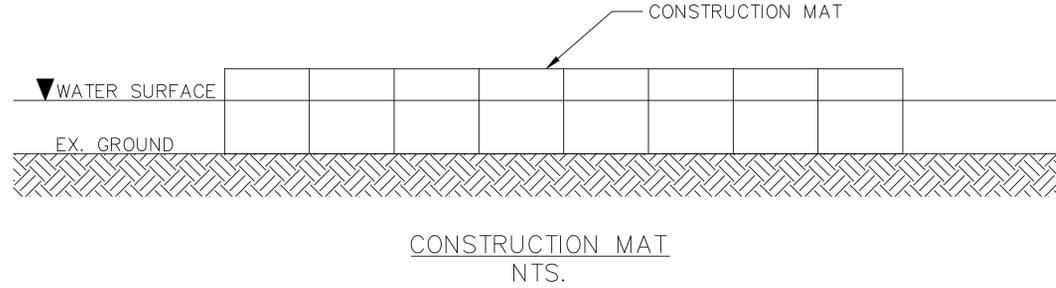
SHEET:

TAX ID: 29-300-014  
 LEGAL DESCRIPTION: M 29-15-3- BEG AT S 1/4 COR SD SEC 29 -W ON S SEC LN 200 FT -N 0 DEG 18'55"W, 60.77 FT -ON CURVE LEFT 174.36 FT HAVING A 333 FT RAD & A CHD OF 172.37 FT. BRG N 15 DEG 18'55"W, -N 30 DEG 18'55"W, 175.77 FT -N 49 DEG 08'47" E, 114 FT -N 79 DEG 14'28" E, 250 FT TO NS 1/4 LN -S 0 DEG 18'55" E, 500 FT ON 1/4 LINE TO POB. SEC 29 T4NR1W 2.73 AC ML

TAX ID: 29-451-002  
 LEGAL DESCRIPTION: COM @ THE S 1/4 COR SEC 29 - N 80 RODS TO N LN OF S 1/2 OF SE 1/4 - E ON N LN 1314.7 FT - S 426.5 FT - E 537.1 FT TO C/L HULETT RD - SWLY ON C/L 1036.22 FT TO S SEC LN - W ON S SEC LN 1324.92 FT TO THE POB. EXC R/W FOR BENNETT & HULETT RD DESC AS COM @ THE S 1/4 COR SEC 29 - N 33 FT TO THE POB. - N 17 FT - N 89 DEG 29'35" E, 1211.32 FT - N 48 DEG 18'54" E, 103.79 FT - ALONG CURVE RT 170 FT HAVING A 314.36 FT RADIUS & A CHD OF 167.94 FT BRG N 29 DEG 40'35" E - N 45 DEG 10' 08" E 125.64 FT - ON CURVE LEFT 140 FT HAVING A 534.53 FT RADIUS & A CHD OF 139.60 FT BRG N 37 DEG 39'56" E - N 30 DEG 09' 44" E, 484.33 FT - N 90 DEG E 30.76 FT - S 30 DEG 25' 06" W 984.28 FT - S 89 DEG 29' 35" W 1322.15 FT TO THE POB SEC 29 T4NR1W 44.26 AC +/-

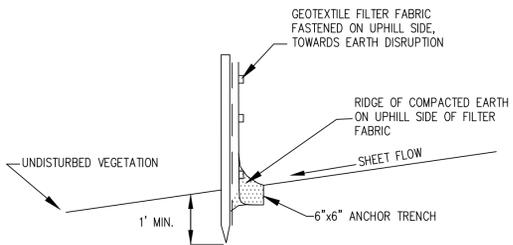
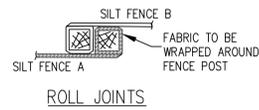
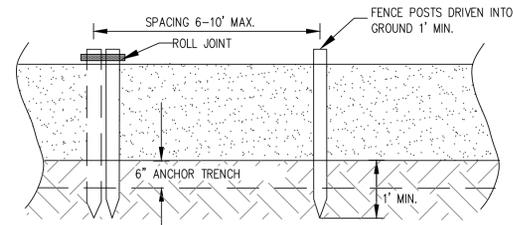
**SOIL EROSION & SEDIMENTATION CONTROL NOTES**

- All soil erosion and sediment control (SESC) work shall conform to the standards and specifications of the Ingham County Drain Commissioner's Office and Meridian Township.
- Daily inspections shall be made by the contractor for effectiveness of SESC measures. Any necessary repairs shall be performed without delay.
- Erosion of any sediment from work on the site shall be contained on-site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, ponds, and wetlands.
- The Contractor shall apply temporary SESC measures when required and as directed on these plans. The Contractor shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other changes have been established.
- Staging the work shall be done by the Contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
- Soil erosion control practice shall be established in the early stages of construction by the Contractor. Sedimentation control practices shall be applied as a perimeter defense against any transporting of soil off the site.
- The Contractor shall preserve natural vegetation as much as possible.
- Vegetative stabilization of all disturbed areas shall be established within 15 days of completion of the final grading.



S51

**SILT FENCE**



**SILT FENCE SPECIFICATIONS**

S51

- When** • A temporary measure for preventing sediment movement.
- Why** • Used to prevent sediment suspended in runoff from leaving an earth change area.
- Where** • Use adjacent to critical areas, wetlands, base of slopes, and watercourses.
- How**
- Install parallel to a contour.
  - The silt fence should be made of woven geotextile fabric.
  - Silt fence should accommodate no more than 1/2 to 1 acre of drainage per 100' of fence and on slopes less than 1:2 (v:h).
  - Dig a 6" trench along the area where the fence is to be installed.
  - Place 6" of the silt fence bottom flap into the trench.
  - Backfill the trench with soil and compact the soil on both sides. Create a small ridge on the up-slope side of the fence.
  - Install wooden stakes 6 - 10' apart and drive into the ground a minimum of 12".
  - Staple the geotextile fabric to the wooden stakes.
  - Join sections of silt fence by wrapping ends together (See drawing).
- Maintenance**
- Inspect frequently and immediately after each storm event. Check several times during prolonged storm events. If necessary, repair immediately.
  - If the sediment has reached 1/3 the height of the fence, the soil should be removed and disposed of in a stable upland site.
  - The fence should be re-installed if water is seeping underneath it or if the fence has become ineffective.
  - Silt fence should be removed once vegetation is established and up-slope area has stabilized.



S51

**SILT FENCE SPECIFICATIONS**

- Limitations**
- Silt fence may cause temporary ponding and could fail if too much water flows through the area.
  - Do not use in areas with concentrated flows.
  - Chance of failure increases if fence is installed incorrectly or if sediment accumulation is not removed.



Meridian Charter Township  
 Ingham County, Michigan  
**PATHWAY**

**SCHULTZ PATHWAY**

SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

DRAWN BY: GH

CHECKED BY: YI

| REVISIONS: |     |                          |
|------------|-----|--------------------------|
| DATE       | BY: | COMMENTS:                |
| 11.02.24   | CH  | EGL 2ND SUBMITTAL        |
| 2.20.25    | CH  | EGL 3RD SUBMITTAL        |
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| 5.02.25    | CH  | BID SET                  |
| 5.23.25    | CH  | BID SET; ADDENDUM #1     |
| 6.03.25    | CH  | EGL: CONST. MAT REVISION |

SHEET:

**S58** INLET PROTECTION – FABRIC DROP

INLET GRATE

2'-0"

4'-0"

5'-0"

1" REBAR FOR BAG REMOVAL FROM INLET

ISOMETRIC VIEW

INSTALLATION DETAIL

STANDARD SYMBOL

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET

**S58** INLET PROTECTION – FABRIC DROP SPECIFICATIONS

**When**

- When sediment laden stormwater requires treatment before entering a stormwater drainage system.

**Why**

- To prevent sediment from entering stormwater systems.

**Where**

- Use in or at stormwater inlets, especially at construction sites or in streets.

**How**

- A filter fabric bag is hung inside the inlet, beneath the grate.
- Replace grate, which will hold bag in place.
- Anchor filter bag with 1" rebar for removal from inlet.
- Flaps of bag that extend beyond the bag can be buried in soil in earth areas.

**Maintenance**

- Drop inlet filters should be inspected routinely and after each major rain event.
- Damaged filter bags should be replaced.
- Clean and/or replace filter bag when 1/2 full.
- Replace clogged fabric immediately.
- If needed, initiate repairs immediately upon inspection.
- Remove entire protective mechanism when upgradient areas are stabilized and streets have been swept.

**Limitations**

- Can only accommodate small flow quantities.
- Requires frequent maintenance.
- Ponding may occur around storm drains if filter is clogged.

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET

**E8** PERMANENT SEEDING SPECIFICATIONS

**When**

- To finalize stabilization of temporary seeding areas or when an area needs permanent stabilization following completion of construction. Also used when vegetative establishment can correct existing soil erosion or sedimentation problem.
- Within 5 days of final grade.

**Why**

- To stabilize soil and prevent or reduce soil erosion/sedimentation problems from developing.

**Where**

- Used on construction and earth change sites which require permanent vegetative stabilization.

**How**

- Review SESC plan and construction phasing to identify areas in need of permanent vegetative stabilization.
- Select perennial grass and ground cover for permanent cover.
- Seed mixes vary. However, they should contain native species.
- Seed mixes should be selected through consultation with a certified seed provider and with consideration of soil type, light, moisture, use applications, and native species content.
- Soil tests should be performed to determine the nutrient and pH levels in the soil. The pH may need to be adjusted to between 6.5 and 7.0.
- Prepare a 3–5" deep seedbed, with the top 3–4" consisting of topsoil.
- Slopes steeper than 1:3 should be roughened.
- Apply seed as soon as possible after seedbed preparation. Seed may be broadcast by hand, hydroseeding, or by using mechanical drills.
- Mulch immediately after seeding.
- Dormant seed mixes are for use after the growing season, using seed which lies dormant in the winter and begins growing as soon as site conditions become favorable.

STANDARD SYMBOL

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET

**E8** PERMANENT SEEDING SPECIFICATIONS

**How (cont.)**

- Protect seeded areas from pedestrian or vehicular traffic.
- Divert concentrated flows away from the seeded area until vegetation is established.

**Maintenance**

- Inspect weekly and within 24 hours following each rain event in the first few months following installation to be sure seed has germinated and permanent vegetative cover is being established.
- Add supplemental seed as necessary.

**Limitations**

- Seeds need adequate time to establish.
- May not be appropriate in areas with frequent traffic.
- Seeded areas may require irrigation during dry periods.
- Seeding success is site specific, consider mulching or sodding when necessary.

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET

**E8** PERMANENT SEEDING

| Planting Zones:                  | Lower Peninsula (South of T20N) Zone 1 | Lower Peninsula (North of T20N) Zone 2 | Upper Peninsula Zone 3 |
|----------------------------------|--|--|------------------------|
| Seeding Window Permanent Seeding | 4/15 – 10/10                           | 5/1 – 10/1                             | 5/1 – 9/20             |
| Seeding Window Dormant Seeding*  | 11/15 – Freeze                         | 11/01 – Freeze                         | 11/01 – Freeze         |

Source: Adapted from MDOT Interim 2003 Standard Specifications for Construction

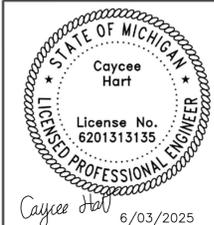
|  | Zone 1<br>Lower Peninsula<br>(South of U.S. 10) | Zone 2<br>Lower Peninsula<br>(North of U.S. 10) | Zone 3<br>Upper<br>Peninsula   |
|--|---|---|--------------------------------|
| Seeding Dates (with Irrigation or Mulch) | 4/1 – 8/1                                       | 5/1 – 9/20                                      | 5/1 – 9/10                     |
| Seeding Dates (w/o Irrigation or Mulch)  | 4/1 – 5/20<br>or<br>8/10 – 10/1                 | 5/1 – 6/10<br>or<br>8/1 – 9/20                  | 5/1 – 6/15<br>or<br>8/1 – 9/20 |
| Dormant Seeding Dates*                   | 11/1 – Freeze                                   | 10/25 – Freeze                                  | 10/25 – Freeze                 |

Source: Adapted from USDA NRCS Technical Guide #342 (1999)

\* Dormant seeding is for use in the late fall after the soil temperature remains consistently below 50°F, prior to the ground freezing. This practice is appropriate if construction on a site is completed in the fall but the seed was not planted prior to recommended seeding dates. No seed germination will take place until spring. A cool season annual grass may be added in an attempt to have some fall growth.

- Mulch must be used with dormant seed.
- Do not seed when the ground is frozen or snow covered.
- Do not use a dormant seed mix on grassed waterways.

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET



Meridian Charter Township  
Ingham County, Michigan

**PATHWAY**

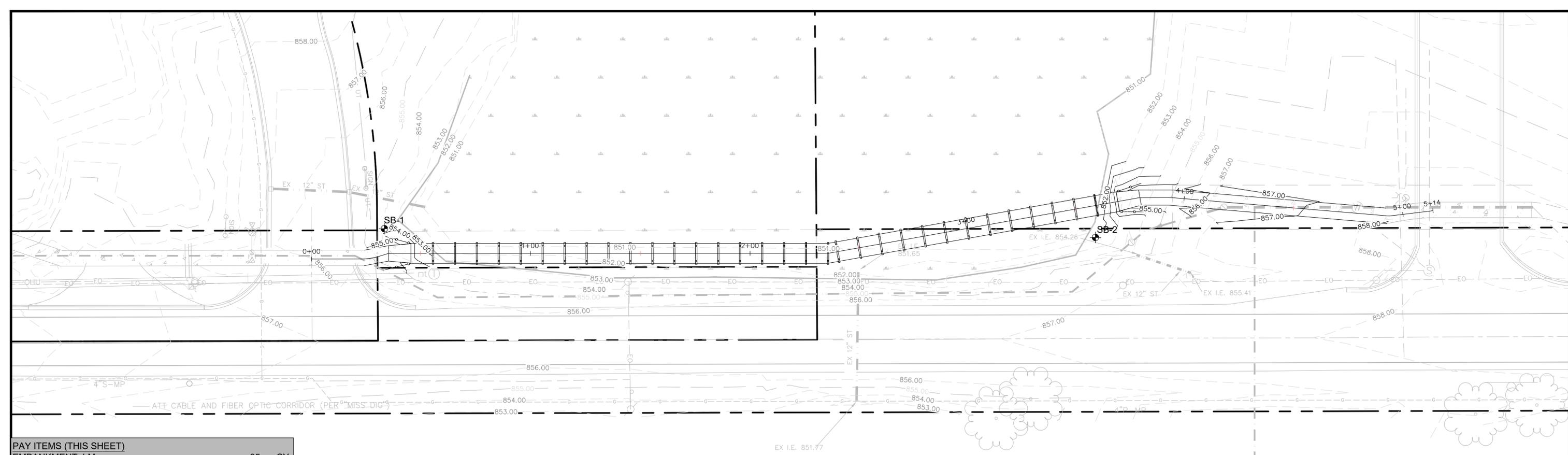
SCHULTZ PATHWAY  
SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: CH      CHECKED BY: YI

| REVISIONS: |     |                          |
|------------|-----|--------------------------|
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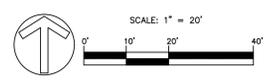
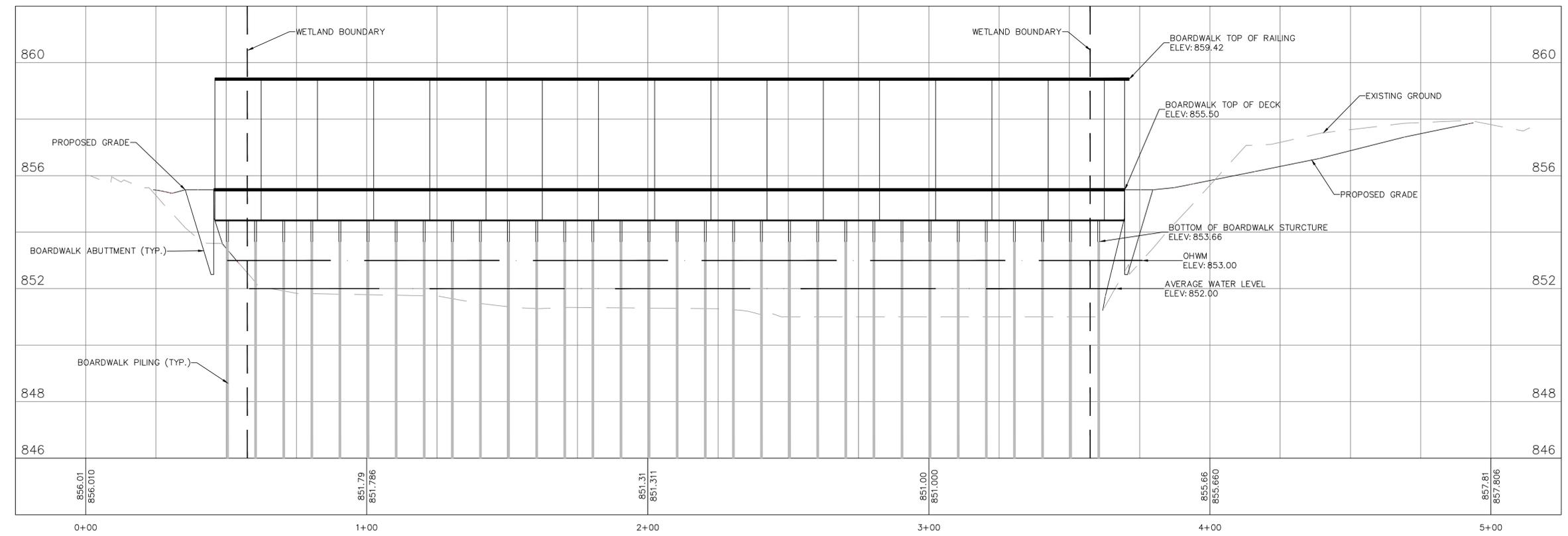
SHEET:

4 - SESC NOTES AND DETAILS



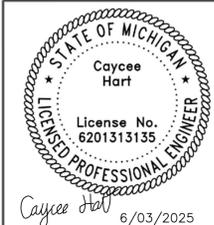
PATHWAY PROFILE

| PAY ITEMS (THIS SHEET)  |     |    |
|-------------------------|-----|----|
| EMBANKMENT, LM          | 35  | CY |
| EXCAVATION, EARTH       | 75  | CY |
| SHARED USE PATH GRADING | 140 | FT |



**Call 811 before you dig.**

WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township  
Ingham County, Michigan  
**PATHWAY**

SCHULTZ PATHWAY  
SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: CH CHECKED BY: YI

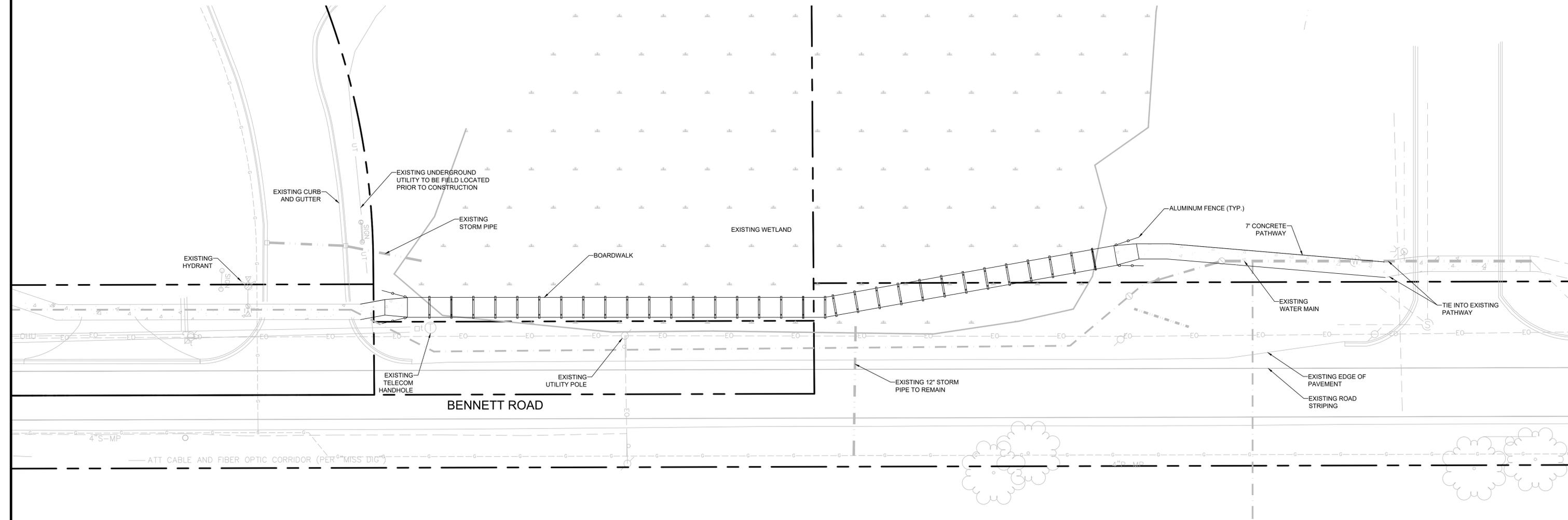
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|------------|-----|---------------------------|
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| 6.03.25    | CH  | EGLE: CONST. MAT REVISION |

SHEET:

| PAY ITEMS (THIS SHEET)     |     |    |
|----------------------------|-----|----|
| SHARED USE PATH, CONCRETE  | 115 | SY |
| SHARED USE PATH, AGGREGATE | 40  | TN |
| CONCRETE ABUTMENT          | 2   | EA |
| TREATED TIMBER BOARDWALK   | 335 | FT |
| BOARDWALK STRUCTURAL PILES | 1   | LS |
| SITE RESTORATION           | 1   | LS |
| FENCE, ALUMINUM            | 50  | FT |

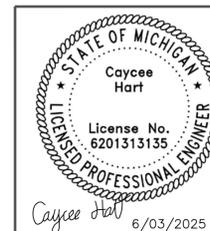
**LEGEND**

- — — — — PROPERTY LINE
- — — — — EXISTING OVERHEAD ELECTRIC LINE
- — — — — EXISTING WATER MAIN



**Call 811 before you dig.**

WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township  
Ingham County, Michigan  
**PATHWAY**

**SCHULTZ PATHWAY**

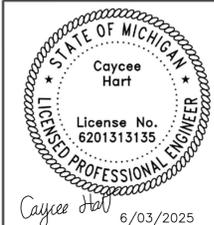
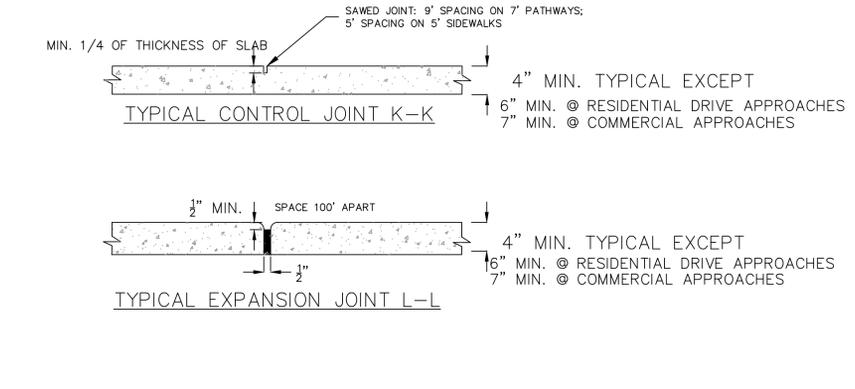
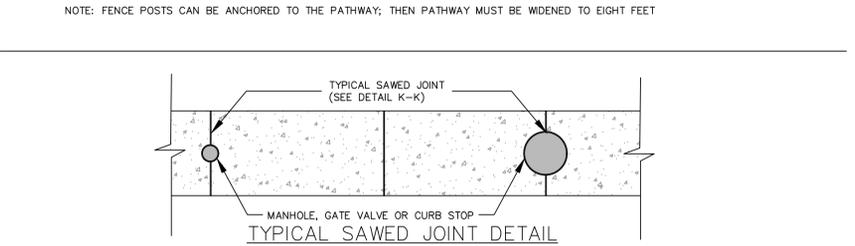
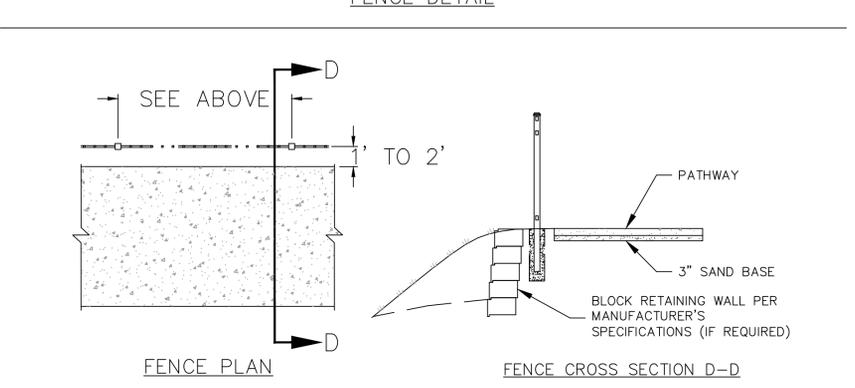
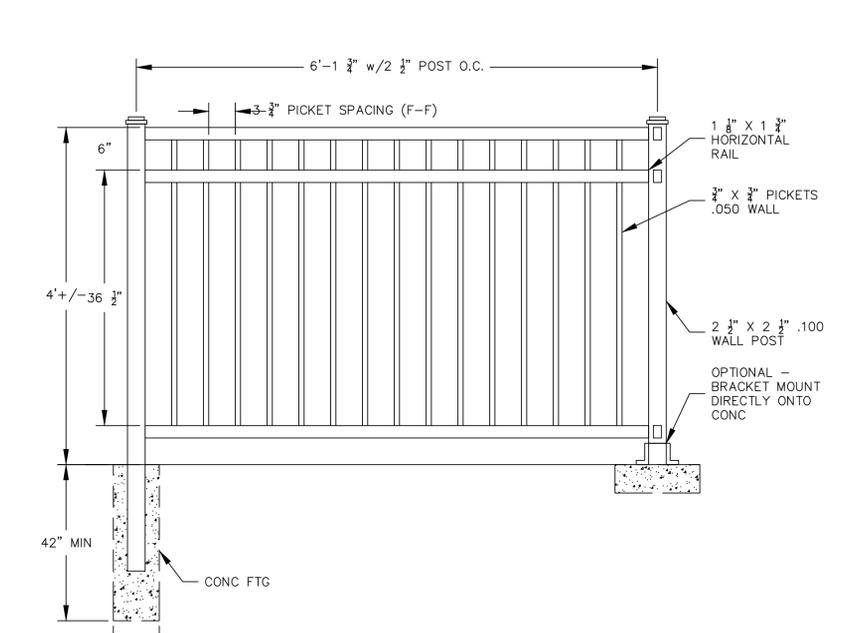
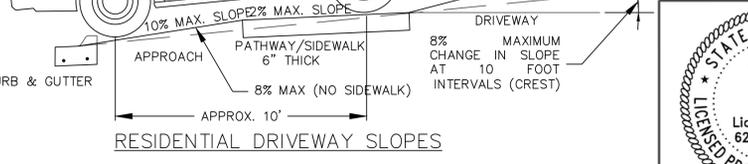
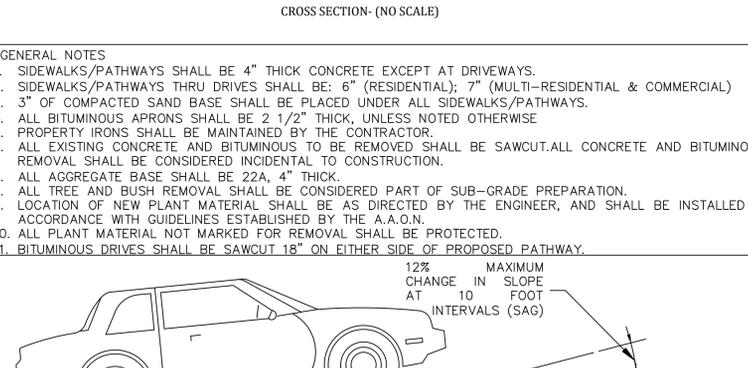
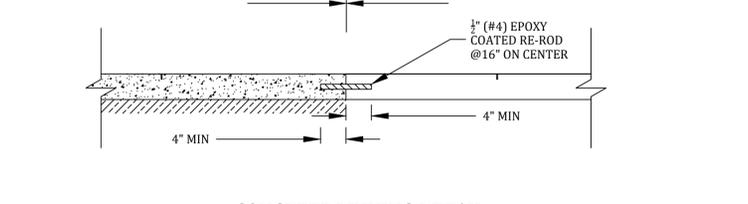
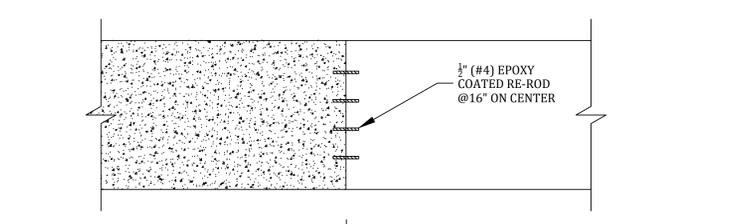
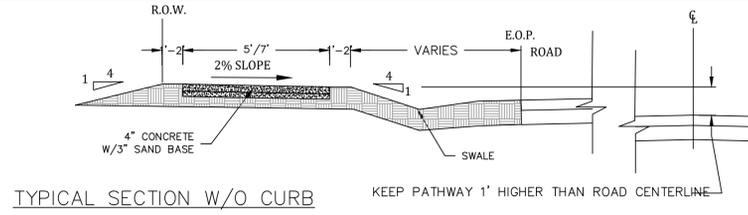
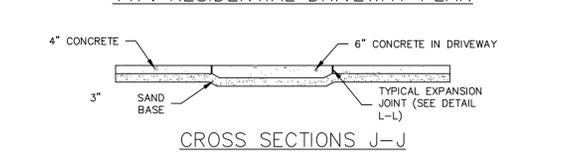
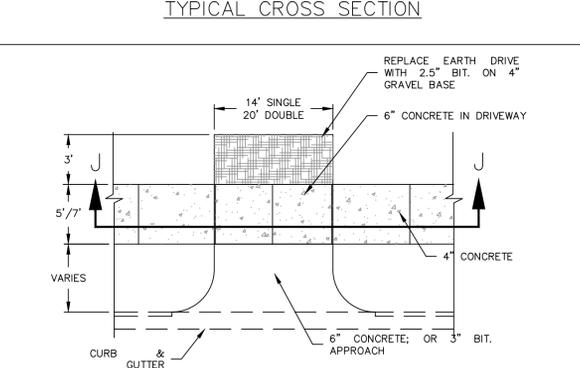
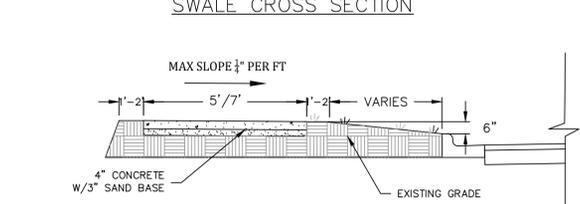
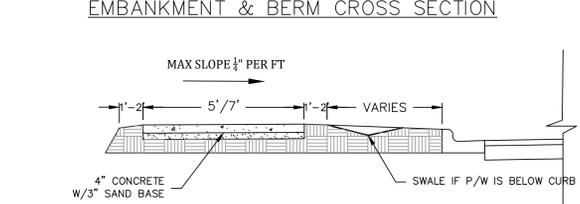
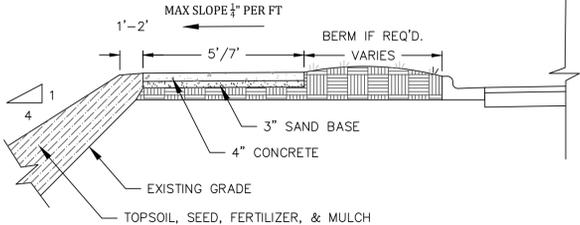
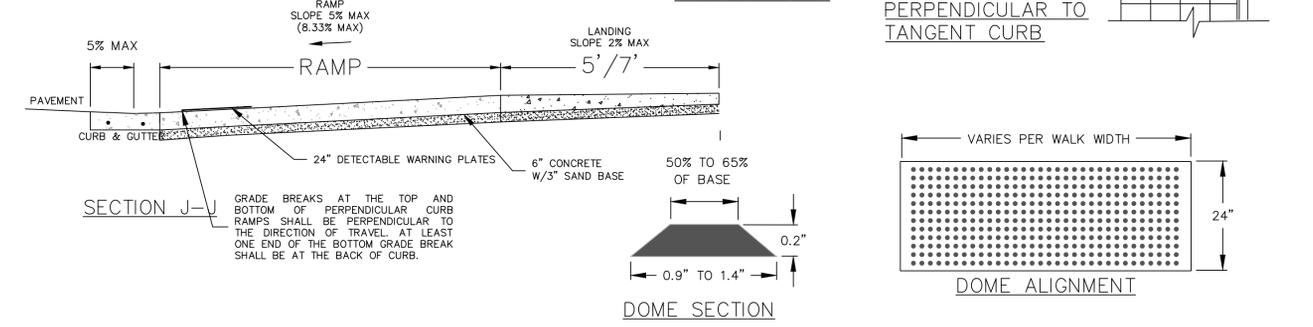
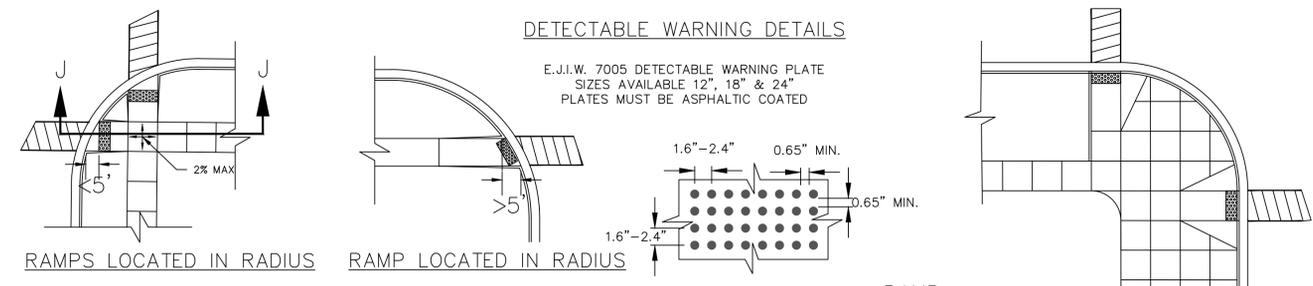
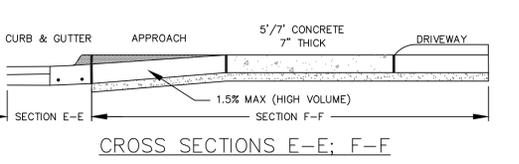
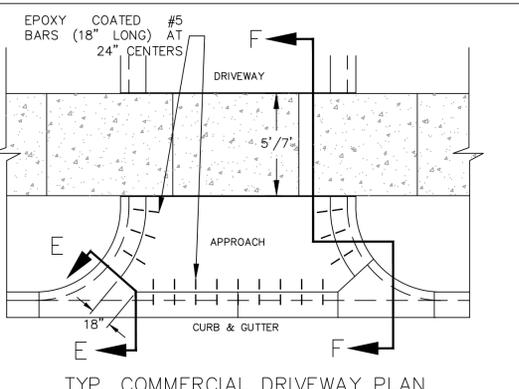
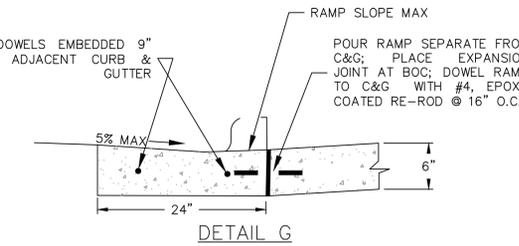
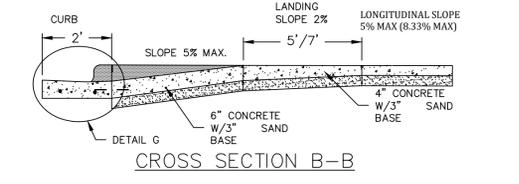
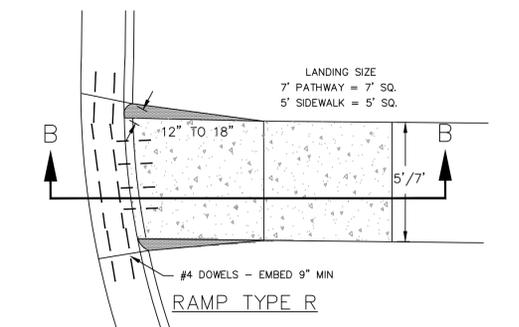
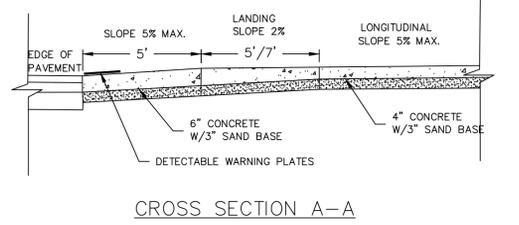
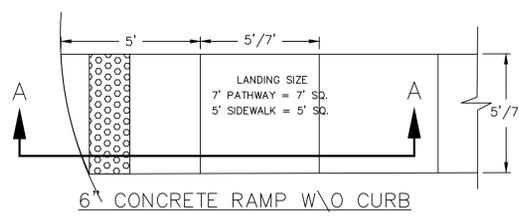
SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: CH

CHECKED BY: YI

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| 5.23.25    | CH  | BID SET; ADDENDUM #1      |
| 6.03.25    | CH  | EGLE: CONST. MAT REVISION |

SHEET:



Meridian Charter Township  
Ingham County, Michigan

**PATHWAY**

SCHULTZ PATHWAY  
SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: CH CHECKED BY: YI

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| 6.03.25    | CH  | EGLE: CONST. MAT REVISION |

SHEET:

| BOARDWALK MATERIALS |                                     |                             | EXTREME FIBER BENDING STRENGTH F <sub>b</sub> (PSI) | MODULES OF ELASTICITY E (PSI) |
|---------------------|-------------------------------------|-----------------------------|---|-------------------------------|
| ITEM                | DESCRIPTION                         | SIZE/LENGTH                 |   |                               |
| 1.                  | 8" X 10" BEAMS                      | 9'                          | 2400  | 1600000                       |
| 2.                  | 3" X 10" JOISTS                     | 11'                         | 2400  | 1600000                       |
| 3.                  | 3" X 10" JOIST SPLICES              | 18"                         | 2400  | 1600000                       |
| 4.                  | 3" X 8" DECK                        | 9'                          | 1500  | 1800000                       |
| 5.                  | 4" X 8" RAIL POSTS                  | 4'-6"                       | 1200  | 1200000                       |
| 6.                  | 2 X 10 TOP RAILS                    | 11'                         | 1200  | 1200000                       |
| 7.                  | 2 X 8 SIDE RAILS                    | 11'                         | 1200  | 1200000                       |
| 8.                  | 10" WOOD WOLMANIZED POSTS           | 5'-7" (VARIES)              |   |                               |
| 9.                  | 3" X 12" HEADER                     | 9'                          | 2400  | 1600000                       |
| 10.                 | 3/8" CARRIAGE BOLTS, NUTS & WASHERS | 5-1/2" - 7" (SPLICE PLATES) |   |                               |
| 11.                 | 3/4" BOLTS, NUTS & WASHERS          | 10"                         |   |                               |
| 12.                 | 3/4" BOLTS, NUTS & WASHERS          | 7-1/2"                      |   |                               |
| 13.                 | 7 GA. GALVANIZED STEEL PLATES       | 4" X 8"                     |   |                               |
| 14.                 | 5/8" LAG BOLTS                      | 3"                          |   |                               |
| 15.                 | ICE & WATER CAP                     | 6"                          |   |                               |

MATERIALS:

A. WOOD:

All wood members shall be Coast Region Douglas Fir or Southern Yellow Pine species. Commercial grade lumber for beams, joists, blocking and deck panels shall be similar to 2400f-1.6E(MSR). All other members shall be similar to 1200f-1.2E(MSR). All members shall be conditioned and pressure-treated in accordance with the requirements of AWPAC C2. The preservative chemical used shall meet applicable EPA requirements. The use of waterborne chemicals will not be allowed.

Handrails and posts shall be conditioned and pressure-treated with a clean preservative such as pentachlorophenol.

Joists shall extend over the full width of the supporting 8"x10" beams (except side joists).

Deck members shall be continuous over the deck width with no intermediate splices. Deck members shall lay up with no spaces between them. Deck members shall be in full contact with joists below.

Field cutting and drilling of wood members will not be allowed, unless all cuts and field-drilled holes are brush treated with a 5% pentachlorophenol solution or other approved field-treatment. Creosote solutions will not be approved for field-treatment.

All wood members shall have a smooth surface finish.

Wood posts shall meet ASTM D-25 standards for round timber posts. Posts shall be pressure treated in accordance with APWA standard C3.

All wood posts to have a minimum cover of 5'.

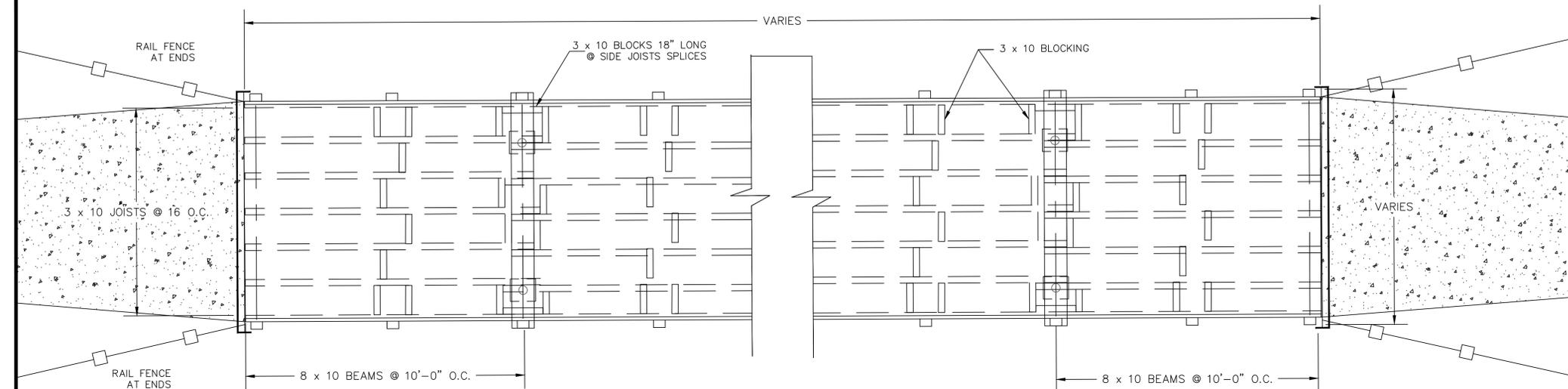
Manufacturer shall submit a certificate attesting to compliance with preservative specifications.

B. HARDWARE:

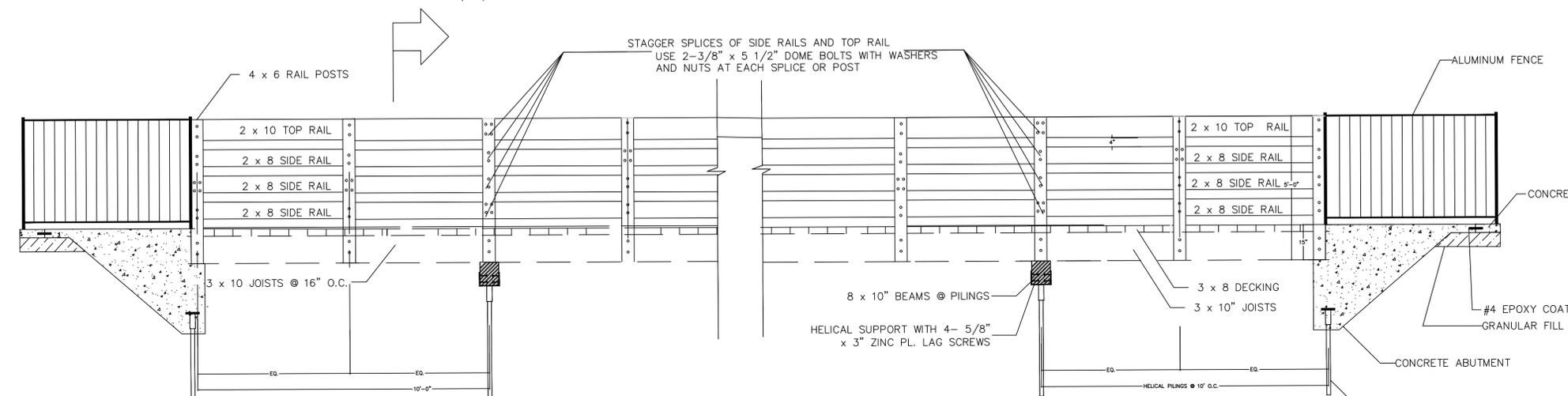
Bolts, nuts, and washers used for assembly shall conform to the requirements of ASTM A 325 and shall be hot-dip galvanized in accordance with ASTM A 153 or stainless steel.

Steel plate brackets used to connect beams to posts shall be ASTM A36 steel with hot-dip galvanized coating conforming to the requirements of ASTM A 153. Dimensions shall be as shown on plan.

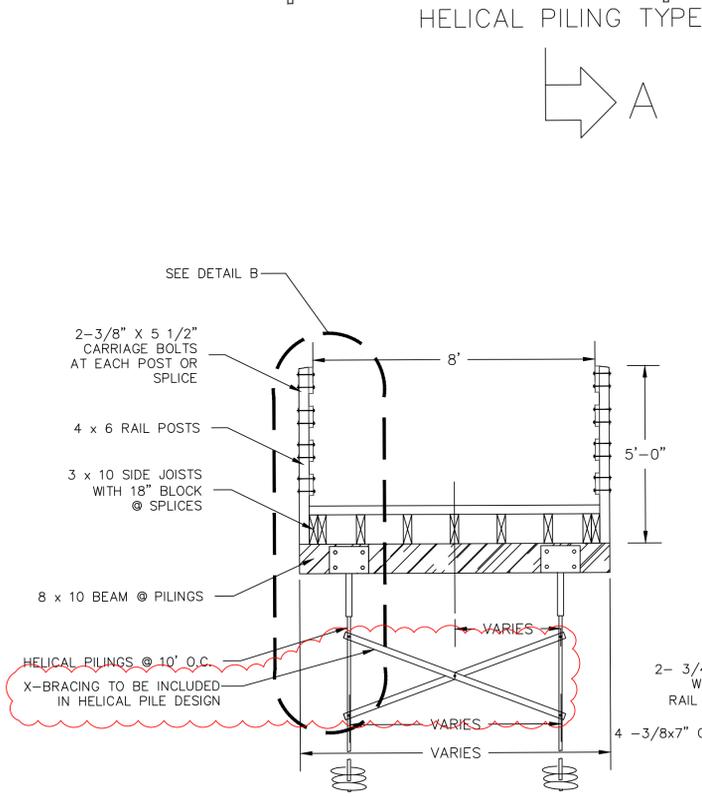
Deck Screws shall be epoxy coated t25 (#10 x 5") coarse thread. Provide two (2) screws per each for the following: joist to beam, joist laps, and blocking. Pre-drill toe-nailed joist to beam members, and deck ends (at side joists) with a 6" ring shank nail, to prevent splitting. Counterset deck screws 1/4", otherwise place as directed.



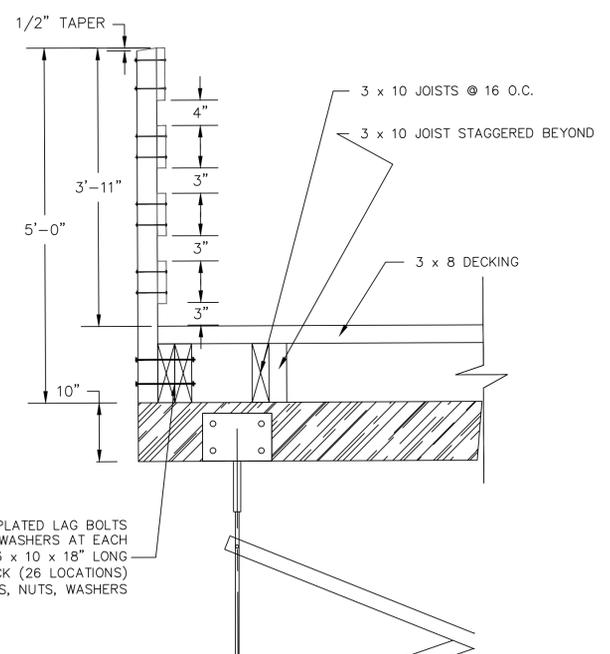
FRAMING PLAN



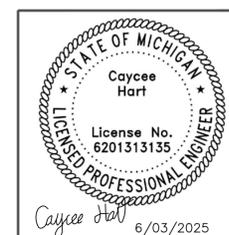
BOARDWALK ELEVATION  
SCALE: 1" = 3'



SECTION A-A



DETAIL B



Meridian Charter Township  
Ingham County, Michigan

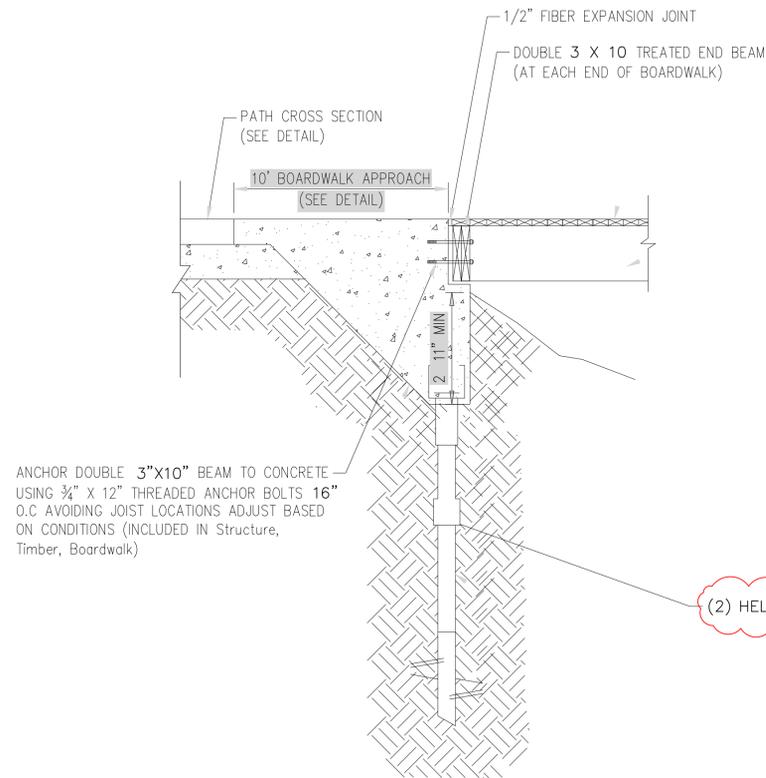
**PATHWAY**

SCHULTZ PATHWAY  
SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: GH CHECKED BY: YI

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SHEET:

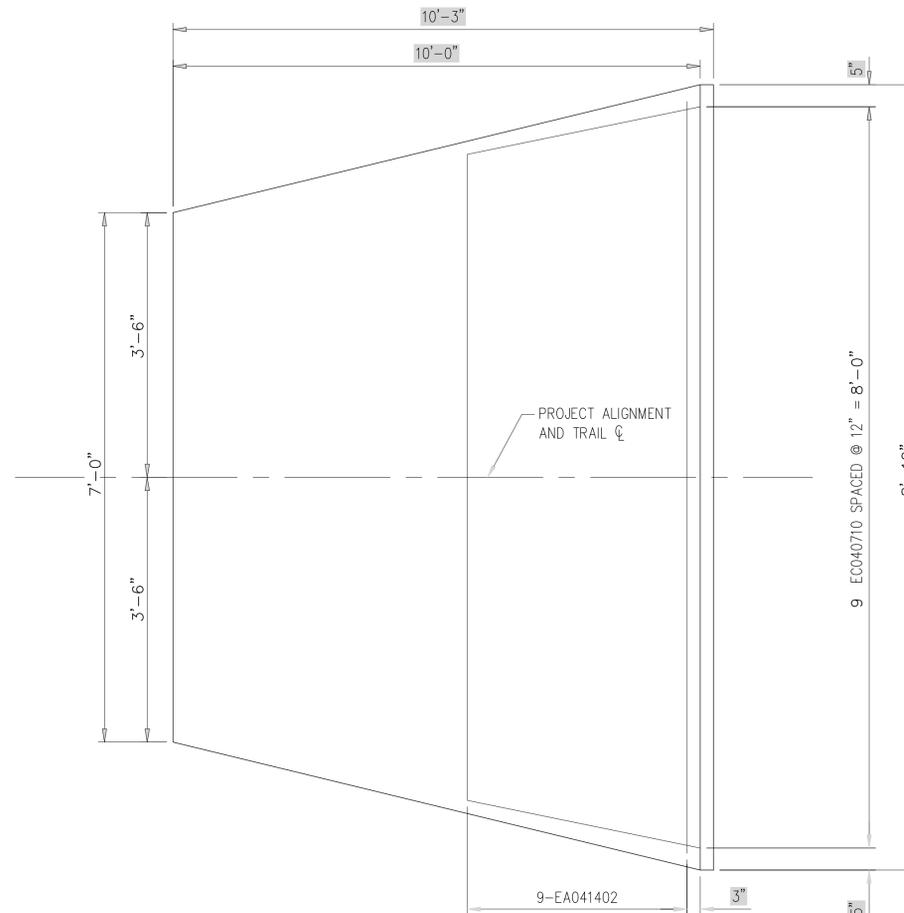


ANCHOR DOUBLE 3"x10" BEAM TO CONCRETE USING 3/4" X 12" THREADED ANCHOR BOLTS 16" O.C AVOIDING JOIST LOCATIONS ADJUST BASED ON CONDITIONS (INCLUDED IN Structure, Timber, Boardwalk)

(2) HELICALS PER ABUTMENT

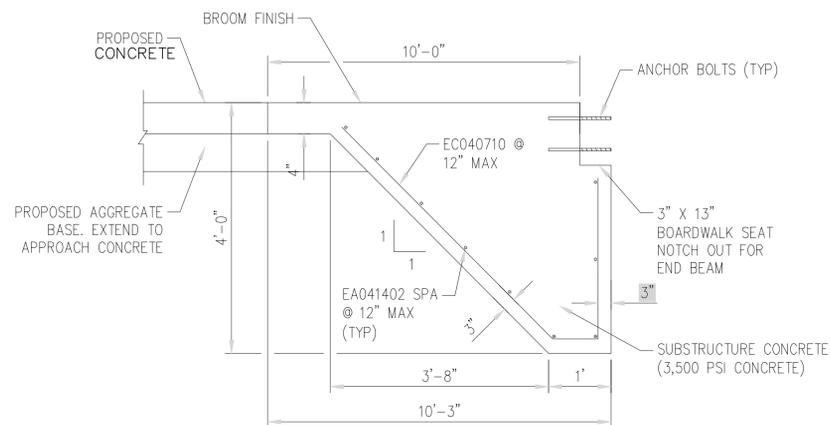
**BEAM/JOIST/POST DETAIL**

NOT TO SCALE



**BOARDWALK APPROACH PLAN**

SCALE: 1/2" = 1'-0"

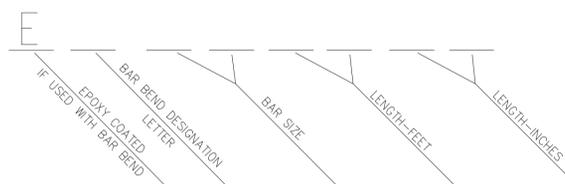


**BOARDWALK APPROACH DETAIL**

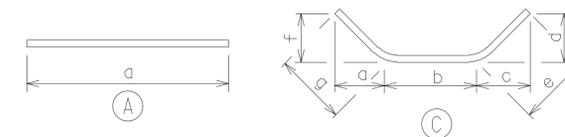
NOT TO SCALE

CUT EA041402 BARS AS REQUIRED.

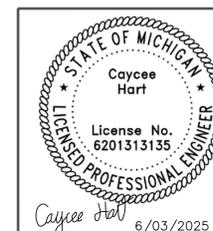
| A.S.T.M. STANDARD REINFORCING BARS |                  |                 |
|------------------------------------|------------------|-----------------|
| BAR SIZE DESIGNATION               | WEIGHT (LBS/FT.) | DIAMETER (INCH) |
| #2                                 | .167             | .250            |
| #3                                 | .376             | .375            |
| #4                                 | .668             | .500            |
| #5                                 | 1.043            | .625            |
| #6                                 | 1.502            | .750            |
| #7                                 | 2.044            | .875            |
| #8                                 | 2.670            | 1.000           |
| #9                                 | 3.400            | 1.128           |
| #10                                | 4.303            | 1.270           |



**STANDARD REINFORCING BAR TYPES**



| STEEL REINFORCEMENT  |            |    |    |       |       |       |        |      |        |           |
|----------------------|------------|----|----|-------|-------|-------|--------|------|--------|-----------|
| BAR                  | DIMENSIONS |    |    |       |       |       |        | SIZE | LENGTH | NO. REQ'D |
|                      | a          | b  | c  | d     | e     | f     | g      |      |        |           |
| SUBSTRUCTURE         |            |    |    |       |       |       |        |      |        |           |
| BOARDWALK APPROACHES |            |    |    |       |       |       |        |      |        |           |
| EA041402             | 8'-2"      |    |    |       |       |       |        | 4    | 8'-2"  | 18        |
| EC040710             | 3'-5"      | 8" | 0" | 2'-4" | 2'-4" | 3'-5" | 4'-10" | 4    | 7'-10" | 105       |



Meridian Charter Township  
Ingham County, Michigan  
**PATHWAY**

**SCHULTZ PATHWAY**

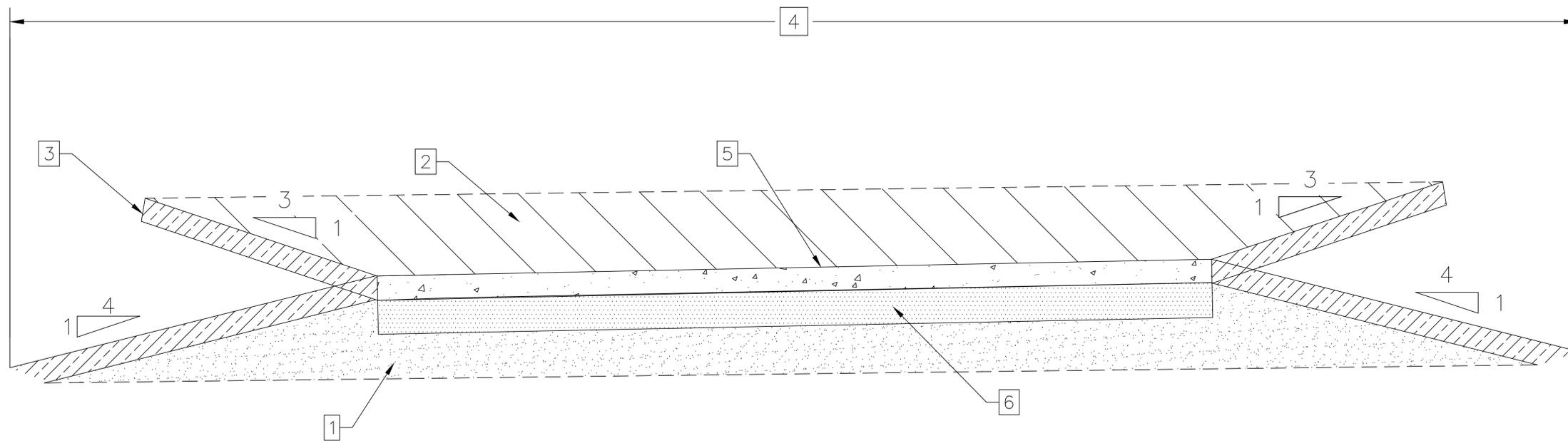
SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

DRAWN BY: GH

CHECKED BY: YI

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SHEET:



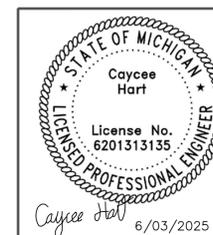
TYPICAL SECTION: CONCRETE PATHWAY

PAY ITEM LEGEND:

- 1 EMBANKMENT, LM
- 2 EXCAVATION, EARTH
- 3 SITE RESTORATION, 3" SCREENED TOPSOIL
- 4 SHARED USE PATH, GRADING
- 5 SHARED USE PATH, 4" CONCRETE
- 6 SHARED USE PATH, AGGREGATE (6" DEPTH)

GENERAL NOTES:

- CROSS-SECTIONS ARE NOT TO SCALE.
- SALVAGE OR REMOVE EXISTING TOPSOIL WITHIN THE GRADING LIMITS, OR AS DIRECTED BY THE ENGINEER. REMOVAL AND DISPOSAL WILL BE PAID FOR AS EXCAVATION, EARTH.
- TOPSOIL FOR SITE RESTORATION MAY BE SALVAGED FROM SITE, BUT MUST BE SCREENED OR RAKED TO REMOVE 1" OR GREATER DEBRIS.
- FOR SITE RESTORATION, USE SEED MEETING MDOT THM MIXTURE.
- EMBANKMENT, LM SHALL BE CLASS II GRANULAR MATERIAL OR ASPHALT MILLINGS.
- FOR EMBANKMENT, LM THE CONTRACTOR MAY USE MILLINGS FROM THE STOCKPILE AT MERIDIAN TOWNSHIP'S SERVICE CENTER. THERE ARE MORE THAN ENOUGH MILLINGS FOR ALL OF THE FILL REQUIRED ON THIS PROJECT. THE CONTRACTOR WILL BE RESPONSIBLE TO PROVIDE THE LABOR AND EQUIPMENT TO LOAD AND TRANSPORT THE MILLINGS FROM THE STOCKPILE LOCATION TO THE CONSTRUCTION SITE.



Meridian Charter Township  
Ingham County, Michigan  
**PATHWAY**

SCHULTZ PATHWAY

SE 1/4 AND SW 1/4 SECTION 29, T4N, R1W, MERIDIAN TOWNSHIP,  
INGHAM COUNTY, MICHIGAN

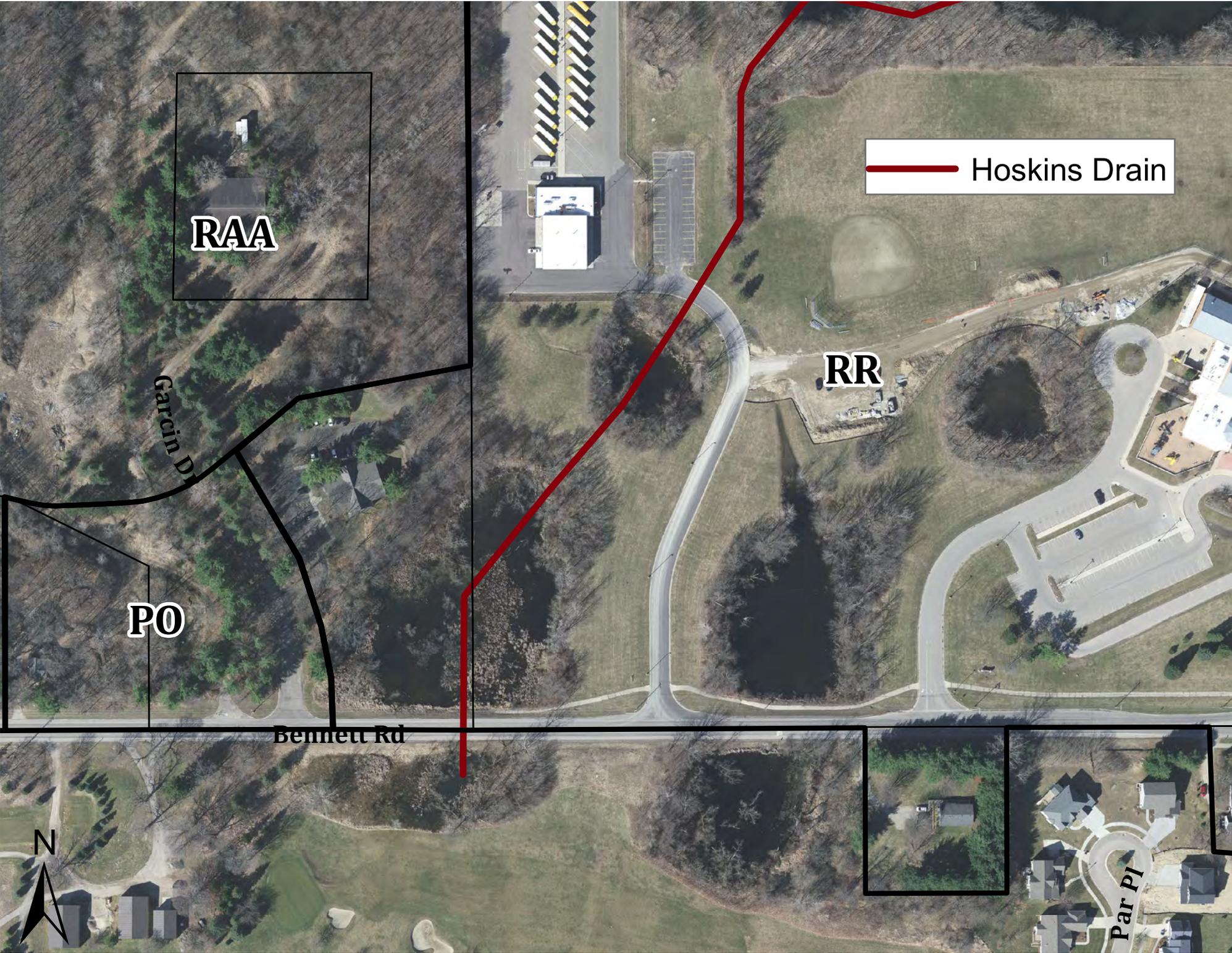
DRAWN BY: CH

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SHEET:



**RAA**

**Hoskins Drain**

**RR**

**PO**

**Bennett Rd**

**Garcin Dr**

**Par Pl**





**To:** Zoning Board of Appeals  
**From:** Keith Chapman, Associate Planner  
**Date:** July 9, 2025  
**Re:** ZBA Case No. 25-08 (1982 Grand River) – Ashley Furniture

---

**ZBA CASE NO.:** 25-08 (1982 Grand River), Dagher Signs & Graphics, 22476 Telegraph Rd., Southfield, MI 48033  
**LOCATION:** 1982 Grand River Ave.  
**PARCEL ID:** 22-101-011  
**ZONING DISTRICT:** C-3 (Commercial)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-687(1)(a), Wall signs. One wall sign shall be permitted on each building facade with frontage on a public street.

The applicant is requesting a variance to install two wall signs at 1982 Grand River Ave. for Ashley Furniture. The two 138.2 square foot signs will be located on the north and the south of the former Younkers site. A third wall sign was approved on the east facade of the building. In 2000 variances were granted for the size and location of three signs for a Jacobson’s store and those signs were replaced in 2003 with Younker’s signage. In 2008 variances were granted for new Younker’s signage again for size and location. All previous signage has been removed from the building.

The applicant is proposing to install two wall signs on the north and south elevations where there is no frontage on a public street. A variance to install 2 additional wall signs with no frontage on a public street is requested.

**Attachments**

1. Variance application and attachments
2. Site location map



**CHARTER TOWNSHIP OF MERIDIAN  
PLANNING DIVISION  
5151 MARSH ROAD, OKEMOS, MI 48864  
(517) 853-4560**

**VARIANCE APPLICATION**

A. Applicant \_\_\_\_\_  
Address of Applicant \_\_\_\_\_  
\_\_\_\_\_  
Telephone (Work) \_\_\_\_\_ Telephone (Home) \_\_\_\_\_  
Fax \_\_\_\_\_ Email address: \_\_\_\_\_  
Interest in property (circle one):      Owner      Tenant      Option      Other

B. Site address/location \_\_\_\_\_  
Zoning district \_\_\_\_\_ Parcel number \_\_\_\_\_

C. Nature of request (Please check all that apply):  
 Request for variance(s)  
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances  
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) \_\_\_\_\_

D.      Required Supporting Material                      Supporting Material if Applicable  
-Property survey    -Architectural sketches  
-Legal description    -Other  
-Proof of property ownership or  
    approval letter from owner  
-Site plan to scale  
-Written statement, which demonstrates how all the review criteria will be met (See next page)

\_\_\_\_\_  
Signature of Applicant                      Print Name                      Date

Fee: \_\_\_\_\_ Received by/Date: \_\_\_\_\_

*I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)*

\_\_\_\_\_  
Signature of Applicant(s)                      Date  
\_\_\_\_\_  
Signature of Applicant(s)                      Date

## **VARIANCE APPLICATION SUPPLEMENT**

### **A variance will be granted, if the following Review Criteria are met:**

1. Unique circumstances exist that are peculiar to the land or structure, that are not applicable to other land or structures in the same zoning district and these unique circumstances are not self-created.
2. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties that would prevent the owner from using the property for a permitted purpose.
3. Granting the variance is the minimum action necessary which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
4. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
5. Granting the variance will be generally consistent with public interest and the purposes and intent of this chapter.

### **Effect of Variance Approval:**

1. Granting a variance shall authorize only the purpose for which it was granted.
2. The effective date of a variance shall be the date of the Zoning Board of Appeals approves such variance.
3. A building permit must be applied for within 24 months of the date of the approval of the variance, and a Certificate of occupancy must be issued within 18 months of the date the building permit was issued, otherwise the variance shall be null and void.

### **Reapplication:**

1. No application for a variance, which has been denied wholly or in part by the Zoning Board of Appeals, shall be resubmitted until the expiration of one (1) year or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed conditions found by the Zoning Board of Appeals to be sufficient to justify consideration.

Thank you for providing the variance application and clarifying the signage requirements for the Ashley Furniture location at Meridian Mall.

Regarding the criteria for granting a variance, we would like to outline how our proposed signage for the north and south facades meets these requirements:

1. \*Unique Circumstances:\*

The location of the Ashley Furniture store within the Meridian Mall presents unique circumstances. Unlike standalone buildings with clear street frontage on all sides, its north and south facades face internal mall thoroughfares that are primary points of customer access and visibility within the mall's environment. This internal positioning is a circumstance peculiar to the structure and is not applicable to other properties with standard zoning district configurations. These circumstances are inherent to the property's location within the mall and are not self-created.

2. \*Practical Difficulties:\*

Strict interpretation of the ordinance to only allow a wall sign on the east facade, which may not be as readily visible to a significant portion of potential customers navigating the mall's interior, would create practical difficulties. This limitation would impede the owner's ability to effectively identify their business and attract customers within the intended retail environment of the mall, hindering the permitted purpose of operating a retail establishment.

3. \*Minimum Action Necessary:\*

Granting a variance for signage on the north and south facades is the minimum action necessary to allow for reasonable business identification within the context of the mall's layout. This would align with the spirit of the zoning ordinance by facilitating the operation of a permitted use while still maintaining public safety and providing substantial justice to the business owner.

4. \*No Adverse Effect:\*

The proposed signage on the north and south facades, designed to be consistent with the overall aesthetic and scale of signage within the Meridian Mall, will not adversely affect adjacent land or the essential character of the vicinity. The signs will be internal to the mall environment and are intended to guide shoppers, not impact external properties or the general public beyond mall patrons.

5. \*Consistent with Public Interest:\*

Allowing appropriate signage on these facades is generally consistent with public interest and the purposes and intent of the chapter, as it supports the economic vitality of the Meridian Mall, a designated commercial area, and aids consumers in locating businesses within it. We believe that the proposed signage variance aligns with all the stipulated review criteria. Please let us know if you require any further information or clarification as we proceed with the application.

# PROPOSED SIGNAGE

1982 W Grand River Ave, Okemos, MI 48864

PROPOSED SIGN: 138.2 sqft

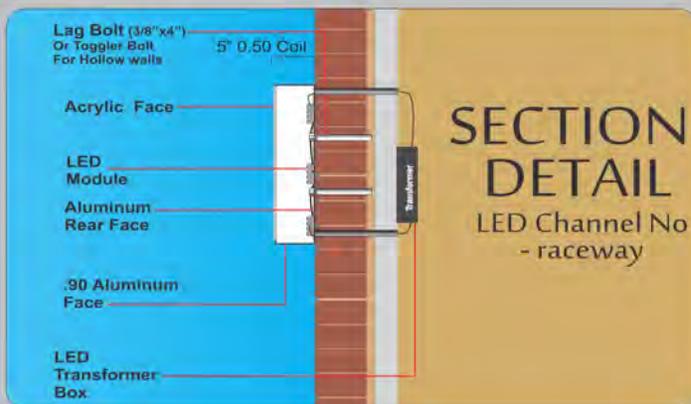
## DIMENSIONS APPLY TO EAST, NORTH, AND SOUTH ELEVATIONS.



22.1 SQFT



116.1 SQFT



### Storefront Signage Standards: Dark Facades



#### DARK FACADES

Specifications presented on building's elevation drawing. Individually illuminated channel letters individually measured to existing's elevation.

#### HOUSE LOGO

Face: 117' x 244' Acrylic; SG w/ 1M Ashley Orange x 1650-3375 vinyl applied fine surface.  
Return: Ashley Orange 1" Cap™ Trim (up to 8' tall).  
Aluminum extrusion (standard) Finishes: 15% longer than 6' tall.  
Return: 1" deep aluminum (min. 0.50) painted Ashley Orange PMS 711C.  
Back: Anodized aluminum (min. 0.03).

#### LETTERS & GRAPHICS SYMBOLS

Face: 117' x 132' White Acrylic; SG.  
Trimcap: 1" Cap™ Trim White.  
Return: 1" deep aluminum (min. 0.50) painted to match Duranodic / New Bronze.  
Back: Anodized aluminum (min. 0.03) Ashley (min. 0.40 thickness).

LEDs: Energy efficient, low voltage White LED to match 2000K 160° viewing angle.  
Power: Self-contained or remote-mount transformers, typically 120-277 volt.  
Insects: Painted White.

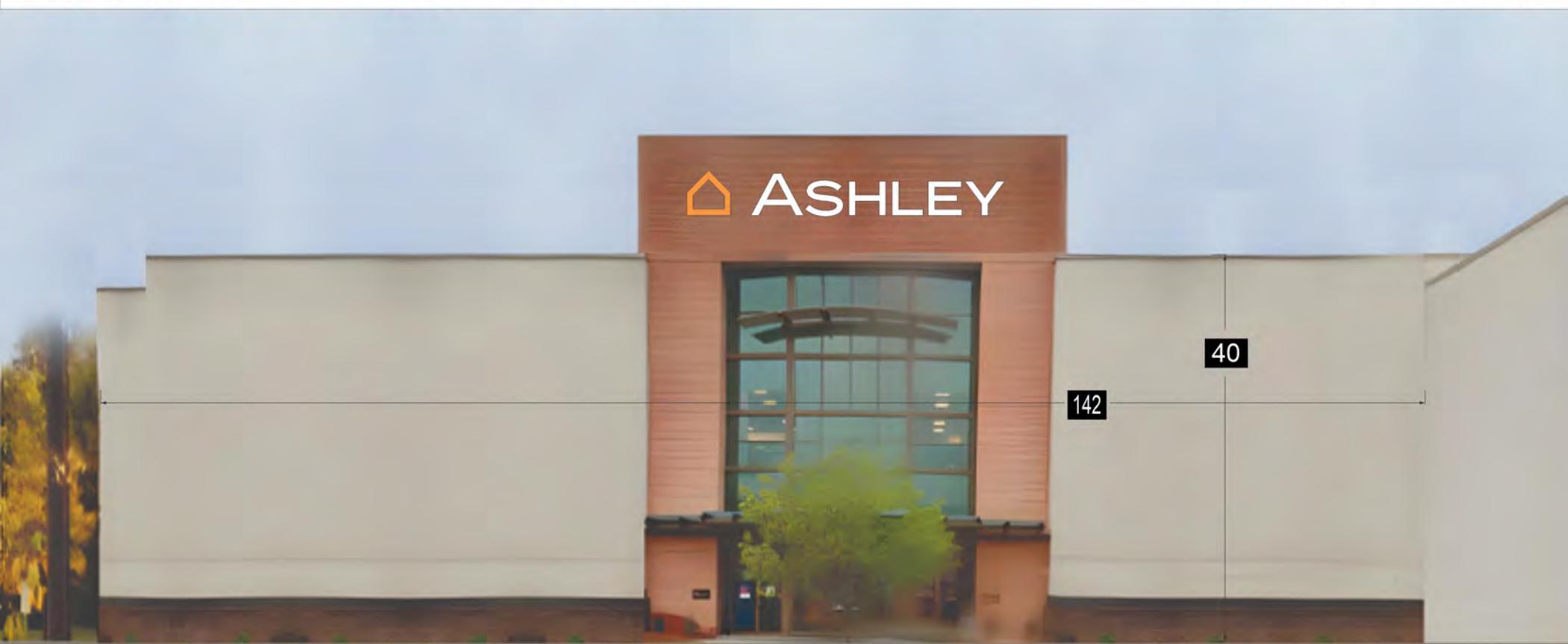
#### Color Reference Chart



# PROPOSED SIGNAGE (FACING NORTH)

1982 W Grand River Ave, Okemos, MI 48864

BUILDING: 142' W x 40'H  
PROPOSED SIGN: 138.2 sqft



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& GRAPHICS

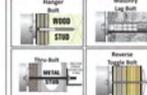
BUILDING SIGNS | ARCHITECTURAL ELEMENTS  
ELECTRONICS LTD. | INTERIOR SIGNAGE | AWYNNES

DEAN TUDGAM, ID: 56195522  
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PHOTOGRAPHY BY:  
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OKEMOS, MI 48864  
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# PROPOSED SIGNAGE (FACING SOUTH)

1982 W Grand River Ave, Okemos, MI 48864

BUILDING: 153' W x 40'H  
PROPOSED SIGN: 138.2sqft



**DAGHER**  
**SIGNS**  
& GRAPHICS

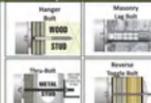
BUILDING SIGNS | ARCHITECTURAL ELEMENTS  
ELECTRONIC & LED | INTERIOR IMAGING | FINISHES

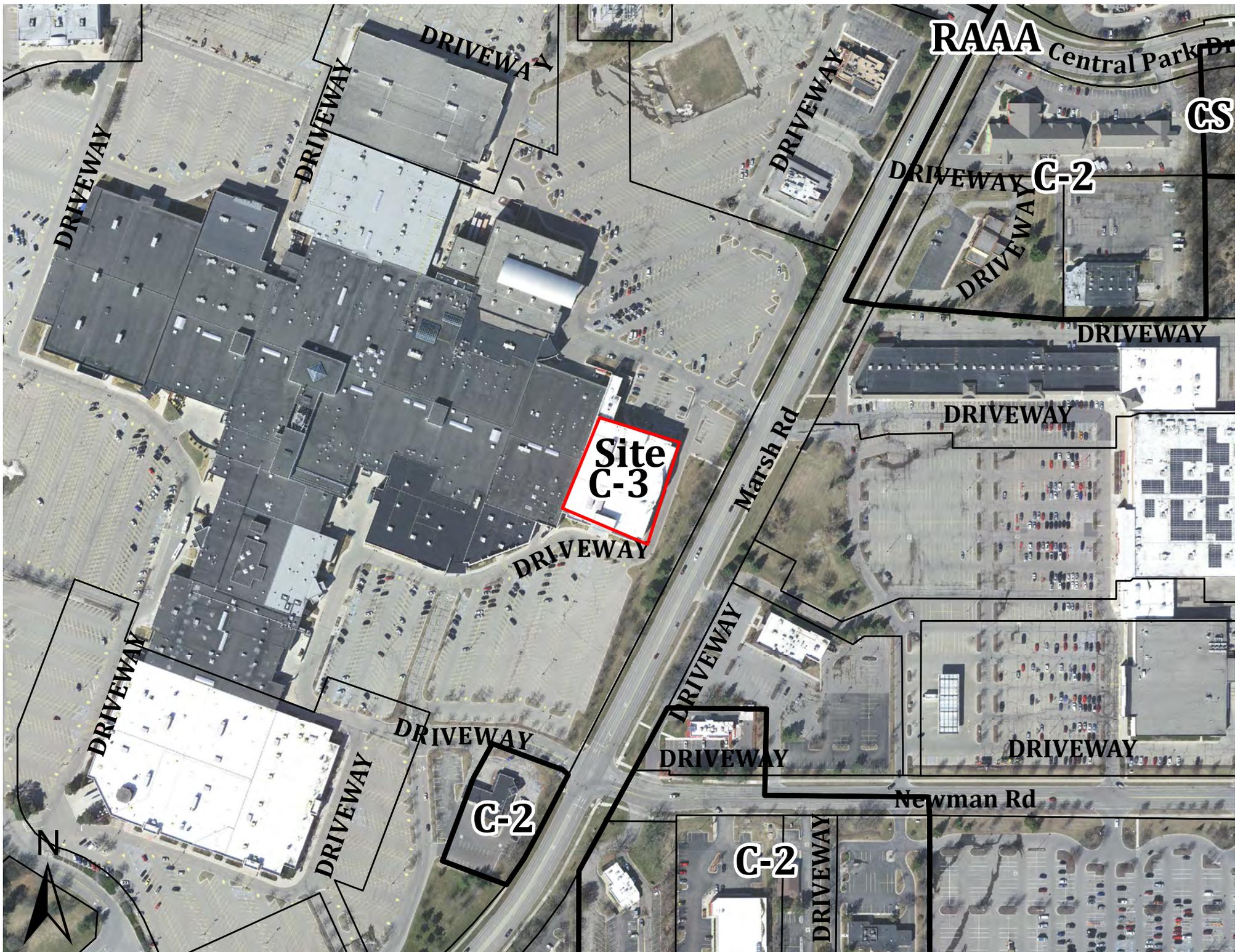
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CS

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DRIVEWAY

DRIVEWAY

DRIVEWAY

Site C-3

Marsh Rd

DRIVEWAY

DRIVEWAY

Newman Rd

C-2

C-2

DRIVEWAY

