

CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS MEETING AGENDA
5151 MARSH ROAD, OKEMOS, MI 48864-1198
(517) 853-4000
WEDNESDAY, April 8, 2015 6:30 PM
TOWN HALL ROOM

A. CALL MEETING TO ORDER

B. APPROVAL OF AGENDA

C. CORRECTIONS, APPROVAL & RATIFICATION OF MINUTES

- o Wednesday March 11, 2015

D. UNFINISHED BUSINESS

E. NEW BUSINESS

1. ZBA CASE NO. 15-04-08-1 MICHIGAN STATE UNIVERSITY FEDERAL CREDIT UNION, 3777 WEST ROAD, EAST LANSING, MI 48823

DESCRIPTION: 2300 Jolly Road
TAX PARCEL: 33-378-006 & 33-378-007
ZONING DISTRICT: C-2 (Commercial)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-687(3) a., which states one wall sign shall be permitted and may be located flat against the building's front façade or parallel to the front façade on a canopy. For businesses with frontage on more than one public street, two signs may be permitted. In no case shall more than one wall sign be located on a façade and no wall sign shall be located on a rear façade.
- Section 86-687(4), which states one freestanding sign per parcel shall be permitted, except for a site with 500 feet or more of contiguous frontage on one street and more than one point of access on that street may have one additional freestanding sign. If two freestanding signs are located on a site based on this provision a minimum 250 feet shall separate the two signs.

The applicant is requesting variances to install a total of seven wall signs and two wall signs are permitted, and to install two freestanding signs and one freestanding sign is permitted, at 2300 Jolly Road.

2. ZBA CASE NO. 15-04-08-2 MICHIGAN STATE UNIVERSITY FEDERAL CREDIT UNION, 3777 WEST ROAD, EAST LANSING, MI 48823

DESCRIPTION: 1775 Central Park Drive
TAX PARCEL: 15-451-002
ZONING DISTRICT: CS (Community Service)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 85-1.11n. (CS standards), which states where a parking area, or its associated internal access or service drives, adjoins the same or any other nonresidential district, a landscaped buffer, at least 15 feet wide, shall be provided between the parking area and the property line. A vertical screen shall be erected consisting of a masonry wall, plant material, landscaped earth berm, of a combination thereof, as appropriate for the site, no less than three feet in height.

The applicant is requesting a variance to construct parking spaces and the required 15 foot wide landscaped buffer for a parking area is not provided along the south side of the site, located at 1775 Central Park Drive.

- ☛ Variance requests may be subject to change or alteration upon review of request during preparation of the staff memorandum. Therefore, Sections of the Code of Ordinances are subject to change. Changes will be noted during public hearing meeting.

F. OTHER BUSINESS

G. PUBLIC REMARKS

H. BOARD MEMBER COMMENTS

I. ADJOURNMENT

J. POST SCRIPT – CAROL OHLROGGE

Information regarding the request may be examined at the Department of Community Planning and Development, 5151 Marsh Road, Okemos, Michigan 48864-1198, between the hours of 8:00 am and 5:00 pm, Monday through Friday. Comments may be made in writing addressed to the Zoning Board of Appeals at 5151 Marsh Road, Okemos, MI 48864 or may be made at the hearing.

BRET DREYFUS
TOWNSHIP CLERK

ZONING BOARD OF APPEALS PUBLIC HEARING PROCEDURE

Persons wishing to address the topic of a scheduled public hearing are encouraged to present their remarks during the public hearing portion of the Zoning Board of Appeals meeting. **If you do intend to speak before the Zoning Board of Appeals please sign in at the door.** During a public hearing, the following order shall be used:

1. Township Staff Review
2. Comments by the applicant or applicant's designee(s)
3. Comments by other persons
4. Applicant rebuttal
5. ZBA members discuss the case. If necessary, the applicant may be asked to respond to questions from the ZBA members
6. Action by the ZBA

Persons wishing to appeal a decision of the Zoning Board of Appeals shall do so in accordance with Michigan Court Rules of Appeals to Circuit Court MCR 7.101.

**CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS MEETING MINUTES ***DRAFT***
5151 MARSH ROAD, OKEMOS MI 48864-1198
517.853.4000
WEDNESDAY, MARCH 11, 2015**

PRESENT: Members, Jackson, Ohlrogge, Hershiser, Chair Beauchine,
ABSENT: Member LeGoff
STAFF: Mark Kieselbach, Director of Community Planning & Development

A. CALL MEETING TO ORDER

Chair Beauchine called the meeting to order at 6:30 p.m.

B. APPROVAL OF AGENDA

MEMBER OHLROGGE MOVED TO APPROVE THE AGENDA AS WRITTEN

SECONDED BY MEMBER JACKSON

VOICE VOTE: Motion carried unanimously.

C. CORRECTIONS, APPROVAL, & RATIFICATION OF MINUTES

Wednesday, February 25, 2015

MEMBER HERSHISER MOVED TO APPROVE THE MINUTES AS WRITTEN

SECONDED BY MEMBER JACKSON

VOICE VOTE: Motion carried unanimously.

D. UNFINISHED BUSINESS

None

E. NEW BUSINESS

1. ZBA CASE NO. 15-03-11-1 DONNA SWAN, 173 PIPER ROAD, HASLETT, MI 48840

DESCRIPTION: 6249 W. Reynolds Road
TAX PARCEL: 03-255-013
ZONING DISTRICT: RB (Single Family-High Density)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 86-618(1) - which states nonconforming single-family structures may be altered, expanded, or modernized without prior approval of the zoning board of appeals, provided, that such alteration or extension shall not increase the area, height, bulk, use, or extent of the structure and shall satisfy all other applicable site development regulations.

The applicant is requesting variances to reconstruct and enlarge the second story on an existing nonconforming single-family dwelling at 6249 W. Reynolds Road.

Director Kieselbach outlined the case for discussion.

Greg Bullock, 5932 Shaw Street, the general contractor for the applicant, stated the main issue is the entrance for the first floor is on the side of the house. There is no entrance from the rear of the house, and due to the current configuration there is no plan to add another entrance.

Chair Beauchine stated the house appears to be made of wood. He asked Mr. Bullock and Ms. Swan if the new addition would be made with noncombustible materials.

Both Mr. Bullock and Ms. Swan replied yes, it would be.

Member Hershiser asked staff if the rear deck would exceed 8 feet.

Director Kieselbach replied in the overlay district, if a deck is made with noncombustible material the required setback is 5 feet from the side lot line, otherwise it must be setback 8 feet from the side lot line. The difficulty is at the first floor entrance the deck is approximately 4 feet in width, and therefore will not be able to meet the 5 foot setback requirement even with noncombustible materials, which will be used if variance is granted. He suggested including this portion of the deck to the variance for adding to non-conforming structure.

Member Jackson asked staff to clarify the front and back of property.

Director Kieselbach showed the site plan of the property and explained Reynolds Road is considered the front of the property. Access to the property is from the alley at the rear of the property. The main entrance for the ingress/egress of the house is on the first floor.

Member Jackson pointed out the main entrance is on the side of the house.

Chair Beauchine added it is the only entrance.

Director Kieselbach confirmed it was considered the main ingress/egress for the house.

Member Ohlrogge asked the condition of the rear deck.

Mr. Bullock responded the deck would be redone with new spindles, railings and floorboards as part of the addition. The front deck facing Reynolds Road would also be removed and replaced.

Member Ohlrogge added since the rear deck is being rebuilt, noncombustible materials could be used.

Mr. Bullock confirmed it would be noncombustible materials.

Member Hershiser asked if the variance was approved, would there be a condition stating the building material in the setback area would need to be noncombustible.

Chair Beauchine replied no variance condition was necessary since if variance is granted, building codes would still need to be met regarding noncombustible materials.

Director Kieselbach confirmed no variance condition was needed, since the building plans submitted by the applicant's builder showed noncombustible materials would be used on all sides. The zoning ordinance also requires noncombustible materials if the variance is granted.

Member Jackson asked about granting a variance to the overlay district standards.

Director Kieselbach clarified the section on nonconforming structures would apply. The overlay district provides for setback exceptions. Staff is requesting the nonconforming deck be part of the variance request.

Member Ohlrogge pointed out the request is for the building to replace the second story which would not result in an encroachment on the setback.

Director Kieselbach responded the issue with replacing the second story is it would expand a nonconforming structure by adding bulk and height.

Chair Beauchine stated the motion should include a condition for the rear deck as nonconforming. Then the board will not need to handle the ingress/egress issue again in the future.

MEMBER HERSHISER MOVED TO APPROVE THE VARIANCE FROM SECTION 86-618(1).

SECONDED BY COMMISSIONER JACKSON

Member Hershiser outlined the review criteria (Section 86-221) to be considered for approval of the variance. The unique circumstances are particular to the structure, and are not self-created. Strict interpretation enforcement would result in practical difficulties, preventing the owner from using the property for its permitted purpose. Regarding review criteria #4, the current condition of the deck does not appear usable or safe. Therefore, granting this variance is the minimum action to make use of the structure, not contrary to public interest, and will not affect the adjacent land and vicinity. Granting this variance will be consistent with the public interest.

Member Ohlrogge further pointed out practical difficulty exists because the homeowner must be able to access their front door. It is the applicant's intent to update the entryway with noncombustible materials.

CHAIR BEAUCHINE OFFERED A FRIENDLY AMENDMENT TO BE INCLUDED IN THE MAIN MOTION TO COUNT THE REAR DECK AS NONCONFORMING.

THE FRIENDLY AMENDMENT WAS ACCEPTED BY THE MAKER AND SECONDER OF THE MAIN MOTION.

ROLL CALL VOTE: YES: Member Hershiser, Jackson, Ohlrogge and Chair Beauchine
NO: None
MOTION CARRIES 4-0.

F. OTHER BUSINESS

Director Kieselbach stated there were no cases for the next meeting. Therefore the March 25, 2015 meeting is cancelled.

G. PUBLIC REMARKS

None

H. BOARD MEMBER COMMENTS

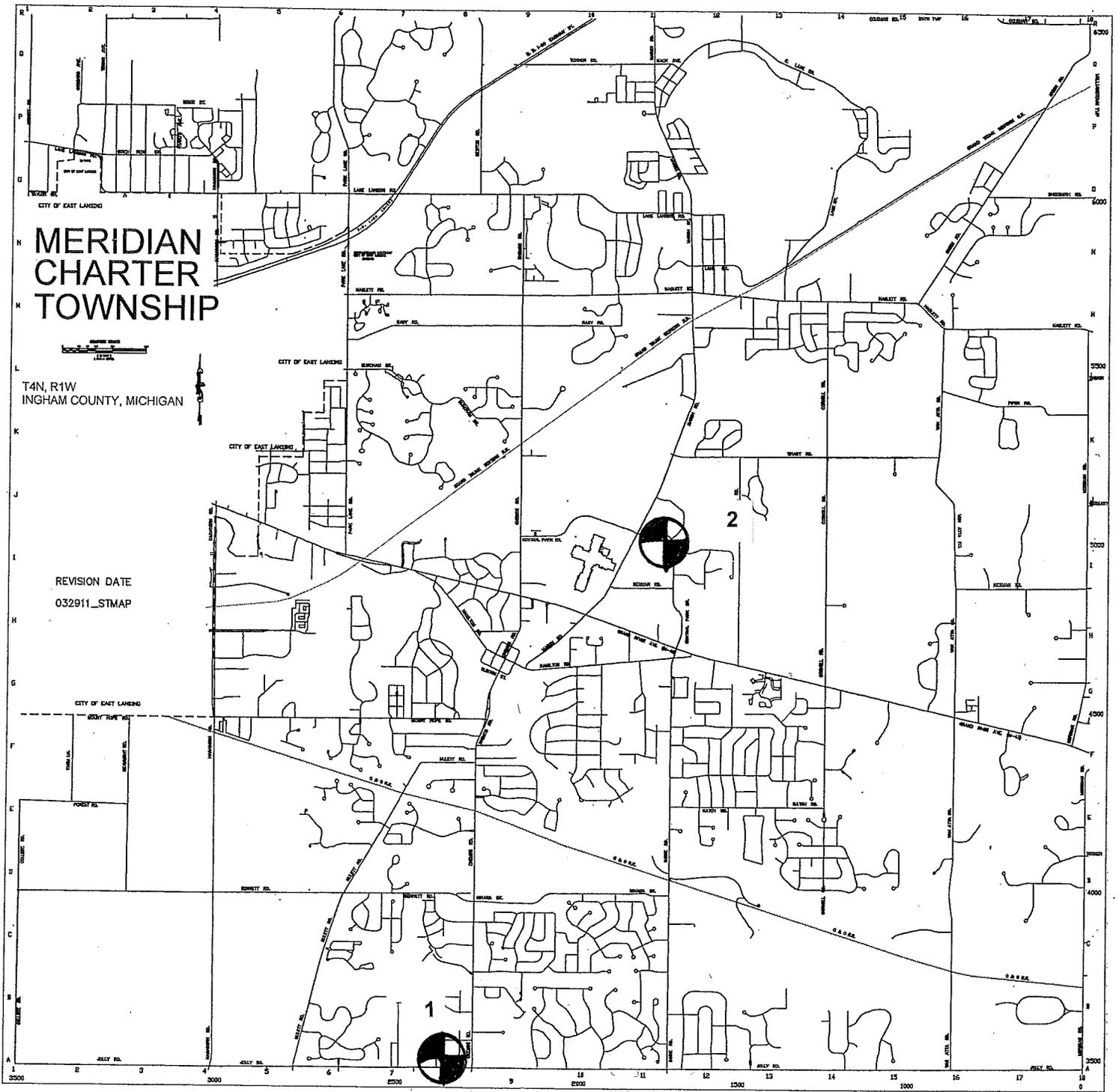
Member Hershiser remarked he appreciated the applicant chose to make improvements to the property without increasing the footprint or asking for additional variances.

I. ADJOURNMENT

Chair Beauchine adjourned the meeting at 6:56 p.m.

Respectfully Submitted,

Erin M. Bierly
Recording Secretary



LOCATION MAP

1. ZBA Case #15-04-08-1
2. ZBA Case #15-04-08-2

VARIANCE APPLICATION SUPPLEMENT

A variance will be granted, if the following Review Criteria are met:

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
2. These special circumstances are not self-created.
3. Strict interpretation and enforcement of the literal terms and provisions of the Ordinance would result in practical difficulties.
4. The alleged practical difficulties, which will result from a failure to grant the variance, would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting the variance will be generally consistent with public interest, the purposes and intent of this Zoning Ordinance.

Effect of Variance Approval:

1. Granting a variance shall authorize only the purpose for which it was granted.
2. The effective date of a variance shall be the date of the Zoning Board of Appeals approves such variance.
3. A building permit must be applied for within 24 months of the date of the approval of the variance, and a Certificate of occupancy must be issued within 18 months of the date the building permit was issued, otherwise the variance shall be null and void.

Reapplication:

1. No application for a variance, which has been denied wholly or in part by the Zoning Board of appeals, shall be resubmitted until the expiration of one (1) year or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed conditions found by the Zoning Board of Appeals to be sufficient to justify consideration.

MEMORANDUM

TO: Zoning Board of Appeals

FROM: 
Martha K. Wyatt
Associate Planner/Landscape Architect

DATE: April 2, 2015

RE: ZBA Case No. 15-04-08-1

ZBA CASE NO. 15-04-08-1 MICHIGAN STATE UNIVERSITY FEDERAL CREDIT UNION, 3777 WEST ROAD, EAST LANSING, MI 48823

DESCRIPTION: 2300 Jolly Road

TAX PARCEL: 33-378-006 & 33-378-007

ZONING DISTRICT: C-2 (Commercial) District

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-687(3)a., which states one wall sign shall be permitted and may be located flat against the building's front façade or parallel to the front façade on a canopy. For businesses with frontage on more than one public street, two signs may be permitted. In no case shall more than one wall sign be located on a façade and no wall sign shall be located on a rear façade.
- Section 86-687(4)a., which states one freestanding sign per parcel shall be permitted, except a site with 500 feet or more of contiguous frontage on one street and more than one point of access on that street may have one additional freestanding sign. If two freestanding signs are located on a site based on this provision, a minimum 250 feet shall separate the two signs.

Michigan State University Federal Credit Union (MSUFCU) is currently constructing an approximate 7,520 square foot credit union branch on Unit 6 and Unit 7 in the Meridian Crossing shopping center. The site is located on the north side of Jolly Road, east of Jolly Oak Road and west of Meridian Crossing Drive (southwest corner of Meridian Crossing shopping center), addressed as 2300 Jolly Road. The project includes six drive-through lanes: four drive-through lanes connected to the north side of the principal building with a canopy and two stand-alone drive-through ATM lanes (for ATM services only), in a detached/separate structure (with a canopy), east of the principal building. The project required a special use permit for the drive-through use which was approved under Special Use Permit #13161.

The applicant is requesting variances for additional wall signs and freestanding signs. The first variance is regarding wall signs. Section 86-687(3)a. permits two wall signs for a business with frontage on more than one public street. Per Section 86-687(3)b., a wall sign is permitted up to one square foot in area for each one foot of lineal frontage for the building elevation.

The principal building is located at the northeast corner of Jolly Road and Jolly Oak Road with frontage on two streets, thus permitting two wall signs by right. The west building elevation has 90 lineal feet of frontage thus permitting one wall sign up to 90 square feet in size. The south building elevation has 83 lineal feet of frontage thus permitting one wall sign, up to 83 square feet in size.

The plans indicate five wall signs on the principal building and two wall signs on the stand-alone ATM drive-through structure, east of the principal building. The proposed signs on the ATM canopy are considered wall signs in conjunction with the signage allowed for the principal building. Upon further review of the plans staff noted additional wall signs on the principal building than were stated in the original variance request. The applicant has provided a second letter summarizing those signs in a letter dated April 1, 2015. A summary of the wall signs is outlined below.

Wall Signs-Principal building

- One internally illuminated wall sign generally facing Jolly Road, placed on the angled wall at the southeast corner of the building, 'MSU Michigan State University Federal Credit Union', measuring approximately 46 square feet in area.
- One internally illuminated wall sign generally facing Jolly Oak Road, placed on the angled wall at the southwest corner of the building, 'MSU Michigan State University Federal Credit Union', measuring approximately 46 square feet in area. The site address is located below each of these wall signs and is approximately one square foot in area.
- One wall sign on the south elevation, 'Night Deposit' (Sign #13) measuring approximately 1.63 square feet in area.
- One wall sign on the south elevation, 'ATM' Sign #14), measuring approximately 1.63 square feet in area.
- One wall sign on the east elevation (screen wall), 'Employee Entrance' (Sign #15), measuring approximately 1.63 square feet in area.

Sign #13, #14, and #15 are not internally illuminated.

Wall Signs-Stand-alone ATM structure

- One wall sign is located on the south elevation (front façade) of the ATM canopy facing Jolly Road, approximately 20.2 square feet in size
- One wall sign is located on the north elevation (rear façade) of the ATM canopy facing the internal driveway of the subject site, approximately 20.2 square feet in size. The wall sign does not face a public street.

Each wall sign on the canopy is internally illuminated. The south elevation of the ATM canopy, facing Jolly Road has approximately 42 lineal feet of frontage, if using the length of the canopy structure as the basis for allowed signage.

Per Section 86-687(3)a., a maximum of two wall signs are permitted for a business with frontage on more than one public street. In this case two wall signs are permitted by right, one wall sign on the south elevation facing Jolly Road, with a maximum size of 83 square feet; and one wall sign on the west elevation facing Jolly Oak Road, with a maximum size of 90 square feet. The applicant is requesting a variance to install a total of seven wall signs and two wall signs are permitted. A chart has been provided listing the square footage and location of each wall sign for informational purposes.

PROPOSED WALL SIGNS

Sign	Location	Size (sq. ft.)
MSUFCU	South (main bldg.)	46 sq. ft.
Night Deposit	South (main bldg.)	1.63 sq. ft.
ATM	South (main bldg.)	1.63 sq. ft.
TOTAL SQ. FT. (south façade, principal bldg.)		49.26 sq. ft.
Employee Entrance	East (main bldg.)	1.63 sq. ft.
MSUFCU	West (main bldg.)	46 sq. ft.
MSUFCU ATM	South (ATM canopy)	20.2 sq. ft.
MSUFCU ATM	North (ATM canopy)	20.2 sq. ft.

The second variance is a request to install two freestanding signs. Sheet ST5.2 shows a detail drawing of a 2-sided 'development entry' freestanding sign located at the corner of Jolly Road and Jolly Oak Road (southwest corner of the subject site). The brick sign structure is approximately 7 feet in height and has an internally illuminated sign box with the MSU Federal Credit Union name and logo. Above the sign box are pin-mounted metal letters which states 'Meridian Crossing'. Measuring to the full extent of the sign area (sign box and metal letters), the total surface display area is approximately 24.7 square feet (7'-5" in width x 6'-0" in height). An additional 2.6 square feet is dedicated to the address. The permitted size for a freestanding sign greater than five feet in height is 28 square feet of surface display area per side per Section 88-687(4)d., which includes three square feet for the site address. The proposed freestanding sign has approximately 27.3 square feet of surface display area including the address.

The applicant is requesting a variance to install a second freestanding sign on the east side of the building, labeled as the 'hours menu sign'. Per the applicant the sign is similar to a menu board but in this case the sign lists the hours of operation for the bank lobby, drive-through lanes, and ATM.

The triangular-shaped sign has two sign panels which are internally lit (see Sheet ST5.3 for the detail drawing of the sign). One panel faces toward the southeast corner and the other panel faces northwest. The surface display area for each side of the sign (with sign panels) is approximately 16 square feet, using the dimensions of 6 feet in height and 2'-8" in width, as measured to the fullest extent (height and width).

Section 86-687(4)a. permits one freestanding sign and the applicant is requesting a variance to install two freestanding signs.

Additional site signage is proposed as shown on Sheet ST1.6 (Site Signage Plan), which includes the following signs:

- 8 Signs providing directions to services offered on the site (Sign #4, #5, #6, #7, #8, #10, #11, and #12). Each sign is approximately 5.3 square feet in size and 3 feet in height.
- 6 Traffic control signs (Sign #1, #2, and #9: Stop, Yield, and Do Not Enter One Way). Sign size varies.
- 5 No Parking signs (Sign #16). Sign size is approximately 1.5 square feet.
- 3 Handicap signs (Sign #3A and #3B)

Some of the signs are 2-sided. Detailed sign drawings for the site signs are shown on Sheet 5.1. Staff has informed the applicant that signs purely used for traffic regulation and direction must comply with the Michigan Manual of Uniform Traffic Control Devices.

Site History

- On May 5, 1999 the Planning Commission approved Special Use Permit #99071 for the Meridian Crossing shopping center.
- On January 13, 2014 the Planning Commission approved Special Use Permit #13161 for the construction of a credit union branch (Michigan State University Credit Union), subject to the applicant applying for and receiving all applicable variances from the Zoning Board of Appeals.
- On February 12, 2014 the Zoning Board of Appeals granted variances to exceed the maximum number of drive-through lanes and the maximum number of off-street parking spaces, under ZBA Case #14-02-12-1.
- On April 30, 2014 site plan review approval was granted for the construction of the credit union with six drive-through lanes under Site Plan Review #14-06.

ZBA Case No. 15-04-08-1

April 2, 2015

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Attachments

1. Application
2. Site Location Map
3. Letter from the Applicant dated January 21, 2015
4. Letter from Applicant dated April 1, 2015
5. Site/signage plans (full size plans)
6. Site/signage plans (11" x 17")

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CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION

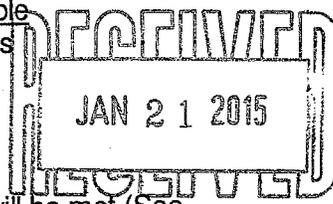
A. Applicant Michigan State Univ. Federal Credit Union
Address of Applicant 3777 West Rd. East Lansing, MI 48823
Telephone (Work) 517-333-2254 Telephone (Home) _____
Fax 517-333-2227 Email address: aprilc@msufcu.org
Interest in property (circle one): Owner Tenant Option Other

B. Site address/location 2300 Jolly Road Okemos, MI 48864
Zoning district C-2 Commercial Dist Parcel number 33-02-02-33-378-006 &
33-02-02-33-378-007

C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) 86-687(3) WALL SIGNS
86-687(4) FREESTANDING SIGNS

D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met. (See next page)



April M Clobes
Signature of Applicant

April Clobes, EVP/COO
Print Name

JANUARY 16, 2015
Date

Fee: \$200.00

Received by/Date: Monte [Signature] 1/21/15

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

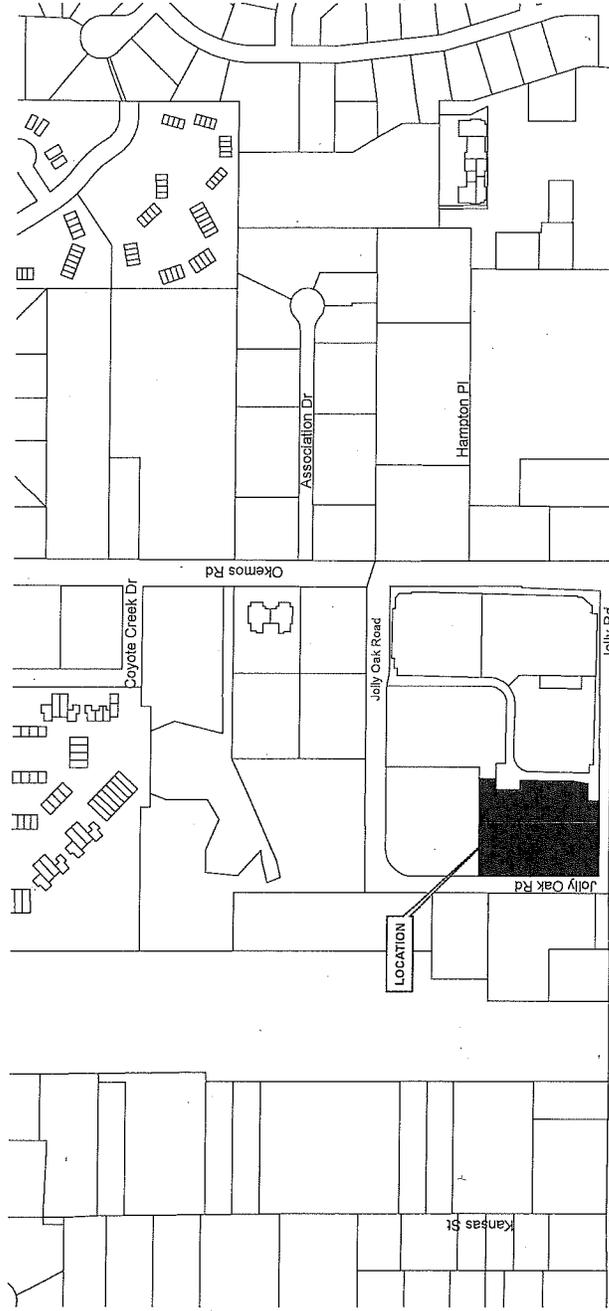
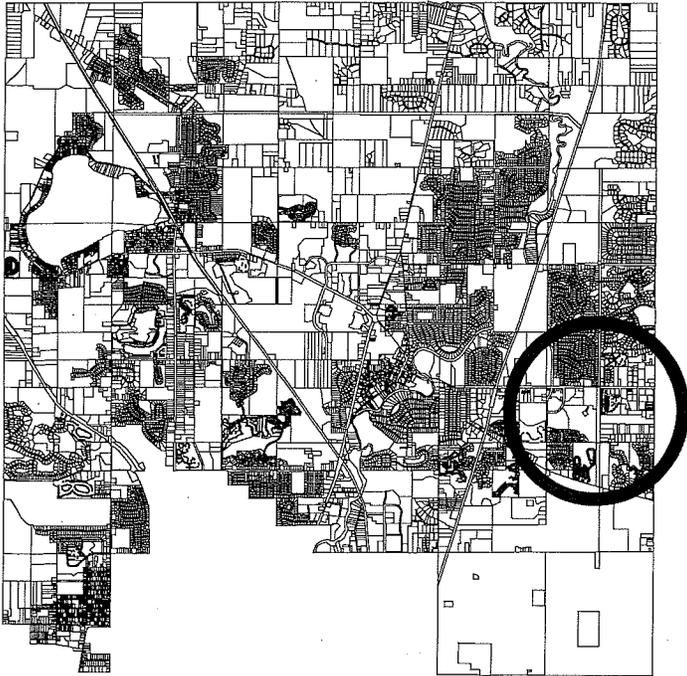
Signature of Applicant(s) Date _____

Signature of Applicant(s) Date _____

**ZONING BOARD OF APPEALS #15-04-08-1
(MSU FEDERAL CREDIT UNION)**

**VARIANCES TO ALLOW FOR ADDITIONAL
WALL SIGNS & AN ADDITIONAL
FREE-STANDING SIGN AT 2300 JOLLY ROAD**

CHARTER TOWNSHIP OF MERIDIAN



Variance Request
January 16, 2015

PROJECT: Michigan State University Federal Credit Union
Meridian Crossing Branch Office
2300 Jolly Road
Okemos, Michigan 48864

PROJECT NO: 2012-13

MSUFCU is requesting a variance to section 86-687(3) Wall Signs for a 20.17 sq.ft. lighted wall sign on both the north and south face of the remote ATM canopy.

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

The separate remote ATM canopy structure provides drive-up ATM service for MSUFCU members and other first time users. The remote ATM is 24 hours and is a separate structure from the Branch building. It is important that users are able to clearly understand the location and traffic flow at all hours of the day and in all weather conditions.

Meridian Crossings Drive is a private road for public use, however, since it is a private drive, not a public frontage, the Ordinance does not permit signage on this frontage. The requested signage will assist traffic that travels south on the internal road and entering the development from Jolly Road.

2. These special circumstances are not self-created.

The 24hr service at the remote ATM canopy is a function of the demand for convenient ATM access from MSUFCU members and other users.

The private Meridian Crossings Drive is an existing condition of the site and MSUFCU has no control over the designation of this drive.

3. Strict interpretation and enforcement of the literal terms and provisions of the Ordinance would result in practical difficulties.

The interpretation and enforcement of the signage ordinance along Meridian Crossings Drive and identification of services would impede way-finding. Providing the requested signage will assist in smoother, safer traffic flow and service identification.

4. The alleged practical difficulties, which will result from a failure to grant the variance, would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.

The adjacent properties as part of the retail complex and hotel have permitted wall signs on both building faces of the businesses, with one facing Meridian Crossing Drive. Failure to grant the variance will be unfairly burdensome to MSUFCU.

5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

The proposed (2) wall signs would not impact sight lines through the site, would improve public safety to assist vehicular traffic flow and way-finding and be consistent with signage allowed at other businesses in the development.

6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.

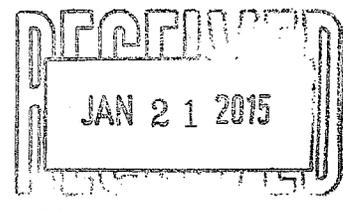
The adjacent developments have similar lighted signs of the type, size and number of signs requested. The additional ATM signs on the MSUFCU site would be consistent with the existing character and signage in the vicinity.

7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.

The separate second structure and the "internal" road signage are unique to this request and are not a general condition.

8. Granting the variance will be generally consistent with public interest, the purposes and intent of this Zoning Ordinance.

The requested signage is consistent with sign area and number for the separate ATM frontage calculations and is consistent with the intent of the Ordinance for information, way-finding and safety.



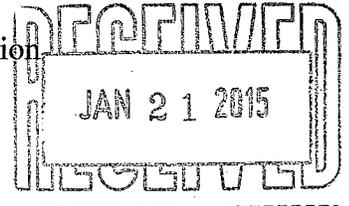
**DANIELS AND
ZERMACK**
ARCHITECTS, LLC.



**Variance Request
January 16, 2015**

PROJECT: Michigan State University Federal Credit Union
Meridian Crossing Branch Office
2300 Jolly Road
Okemos, Michigan 48864

PROJECT NO: 2012-13



MSUFCU is requesting a variance to section 86-687(4) Freestanding Signs for an “hours” freestanding directional sign.

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

The “hours” bollard sign provides information and direction for access and convenience for on-site traffic to the lobby, attended drive-up lanes and ATMs. The requested sign is similar to other drive-up uses such as restaurant exterior “menu” boards and signage.

2. These special circumstances are not self-created.

The “hours” bollard sign is a function of the demand for convenient way-finding from MSUFCU members and other users.

3. Strict interpretation and enforcement of the literal terms and provisions of the Ordinance would result in practical difficulties.

The interpretation and enforcement of the signage ordinance from Meridian Crossing Drive would impede way-finding. Providing the requested signage will assist in smoother, safer traffic flow on site.

4. The alleged practical difficulties, which will result from a failure to grant the variance, would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.

The requested sign allows visitors to readily identify which services and/or areas are available conveniently.

5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

The requested freestanding sign would not impact sight lines through the site and would improve public safety to assist vehicular traffic flow and way-finding.

6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.

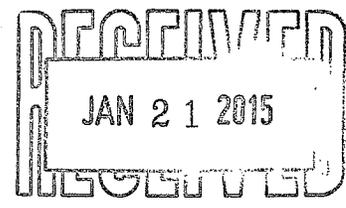
The requested sign does not affect adjacent properties or adversely affect the essential character of the area.

7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.

The "hours" bollard sign is similar to drive-up "menu" boards at other drive-up facilities and is not a general condition.

8. Granting the variance will be generally consistent with public interest, the purposes and intent of this Zoning Ordinance.

The requested signage is consistent with the intent of the Ordinance for information, way-finding and safety.



DANIELS *AND*
ZERMACK
ARCHITECTS, LLC.

2080 South State Street
Ann Arbor, Michigan 48104-4696
(734) 761-2090 (734) 761-6607 FAX

April 1, 2015

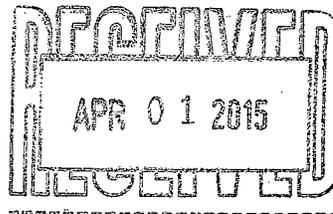
RE: Amendment to Variance request
Project No. 2012-13

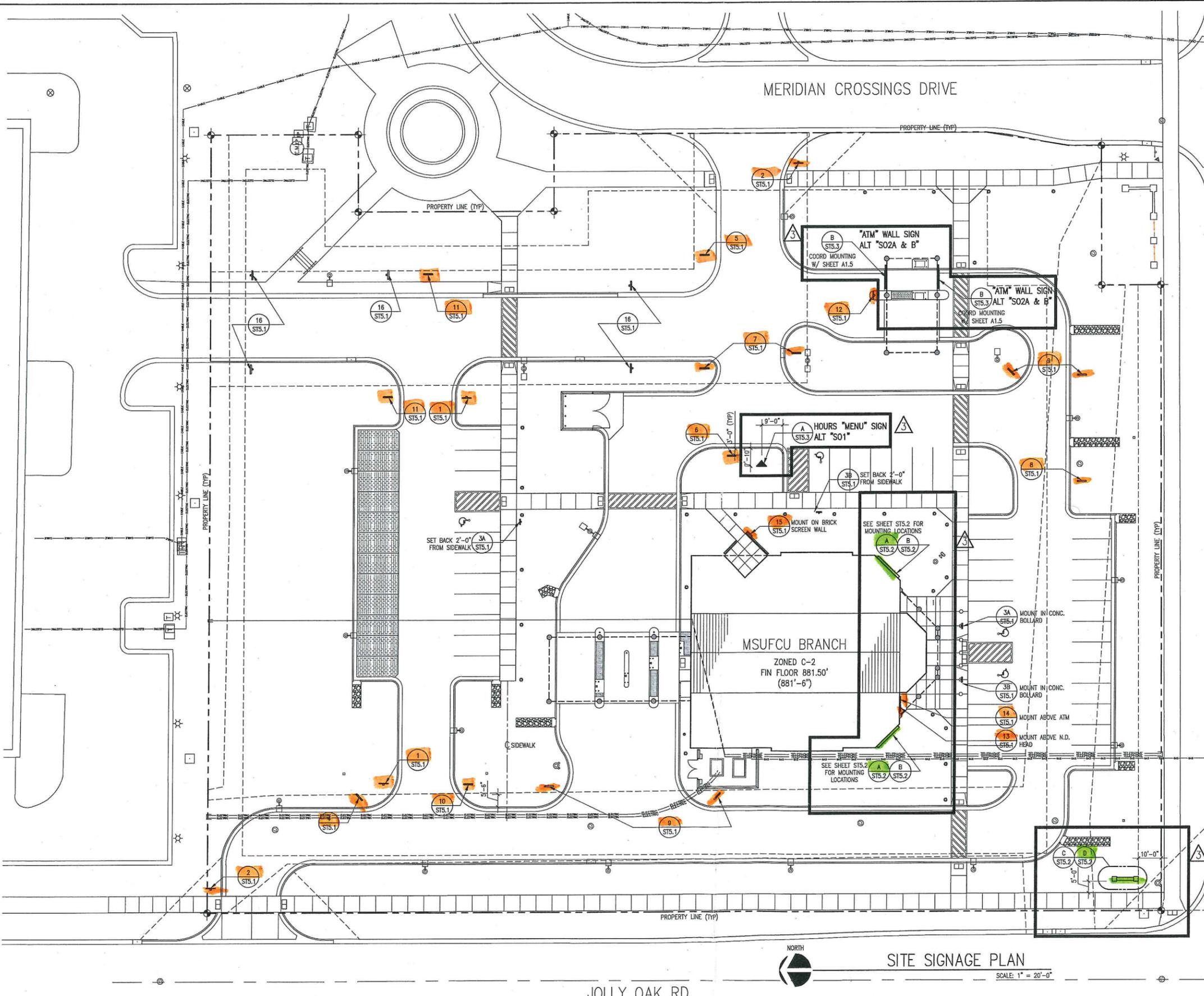
Dear Martha Wyatt,

This letter is to amend the sign variance request dated January 16, 2015 for the Michigan State University Federal Credit Union, Meridian Crossing Branch Office located at 2300 Jolly Road Okemos, Michigan 48864.

Daniels and Zermack Architects request amendment to the sign variance request for three wall signs: Night Deposit, ATM and Employee Entrance. These signs are to be mounted on the building to provide clear information to members and site visitors. These signs do not exceed the total wall sign area for these frontages.

Please let us know if you have any questions.





GENERAL NOTES

1. SEE SHEETS "ST5.1" SERIES DRAWINGS FOR SIGN DETAILS AND TYPICAL INSTALLATION NOTES. COORDINATE FINAL LOCATIONS WITH UNDERGROUND UTILITIES AND LANDSCAPE PLANS.
2. GENERAL CONTRACTOR SITE SIGNAGE AND OTHER CONTRACTORS TO CAREFULLY COORDINATE WITH OWNER'S SEPARATE BUILDING SIGNAGE CONTRACTOR FOR SCOPE AND INSTALLATION PER SIGN DETAIL SHEET.
3. FURNISHING & INSTALLING OF BUILDING IDENTIFICATION SIGNS SHOWN ON ST5.2 AND ST5.3 ARE UNDER A SEPARATE CONTRACT DIRECTLY WITH THE OWNER. SEE DWG'S ST1.6, ST5.2 AND ST5.3 FOR ADDITIONAL NOTES AND INFORMATION THAT MAY AFFECT WORK UNDER THE GENERAL CONTRACT. ALL CONTRACTORS ARE TO CAREFULLY REVIEW DETAILS AND NOTES ON DRAWINGS FOR NOTES AND REQUIREMENTS THAT MAY AFFECT THEIR WORK. FOR ITEMS SUCH AS ELECTRICAL, MASONRY, GRADING ETC. THAT ARE NOT INCLUDED IN THE OWNER'S SEPARATE CONTRACT FOR BUILDING SIGNS AND ARE TO BE INCLUDED AS PART OF GENERAL CONTRACTOR'S WORK AND COORDINATION.

JOLLY RD.

MERIDIAN CROSSING BRANCH

MICHIGAN STATE UNIVERSITY
FEDERAL CREDIT UNION

DANIELS AND ZERMACK
ARCHITECTS, L.L.C. Architects and Interior Designers
2080 South State Street, Ann Arbor, Michigan 48104 734-761-2090

REVISIONS

1	ISSUED FOR BULLETIN NO. 03 31 DEC 14	ISSUED FOR SITE PLAN APPROVAL 17 MAR 13
2	ISSUED FOR ZBA SIGN VARIANCES 16 JAN 15	ISSUED FOR FINAL SITE PLAN APPROVAL 02 MAY 13
3	ISSUED FOR OWNER SIGNAGE BIDS 28 JAN 15	ISSUED FOR BID PACKAGE NO. 01 BIDS & PERMITS 06 MAY 13
		RESUBMITTED FOR FINAL SITE PLAN APPROVAL 01 JUN 14
		ISSUED TOWNSHIP SUBMITTAL 09 JUL 14

JOB	2012-13
DATE	17 MAR 13
DRAWN	LND
CHECKED	GAM

DETAIL SYMBOL
DETAIL NUMBER
REFERENCE SHEET

ST1.6
MERIDIAN CROSSING

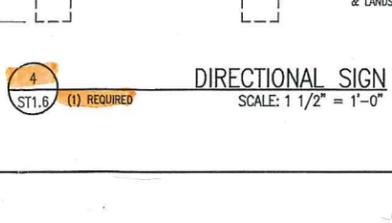
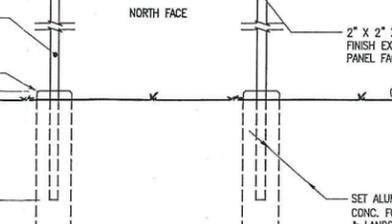
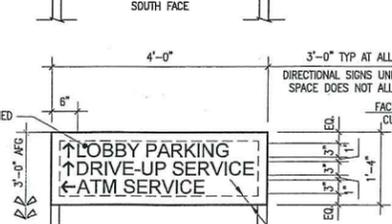
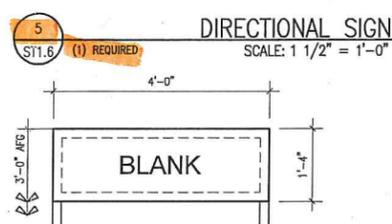
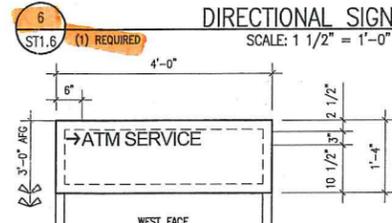
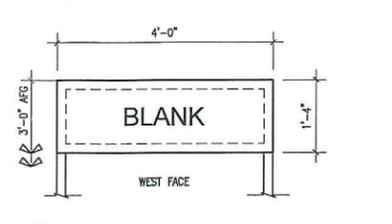
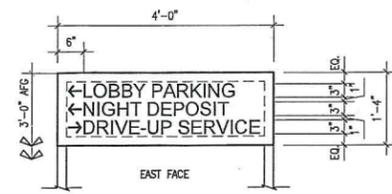
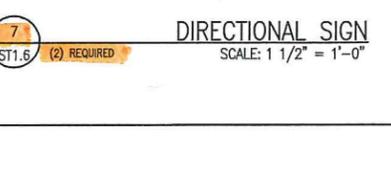
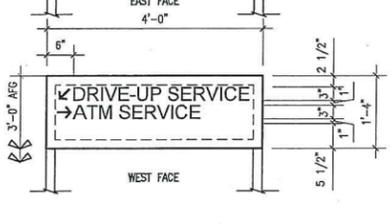
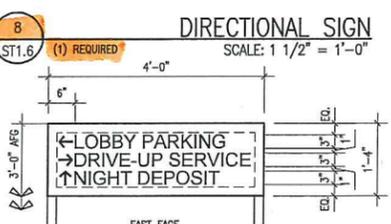
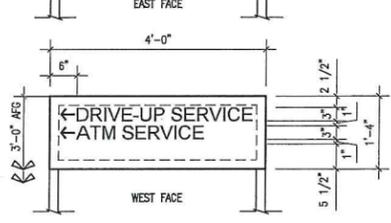
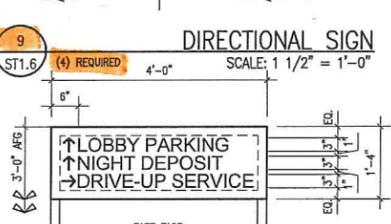
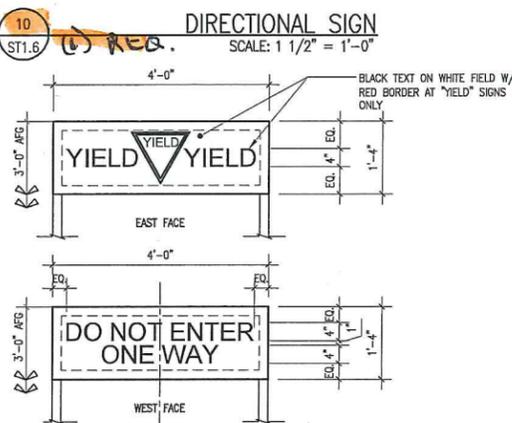
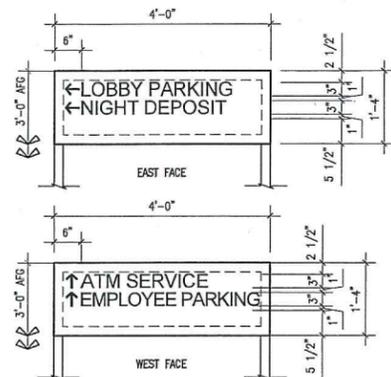
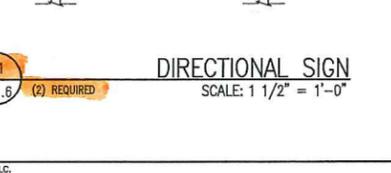
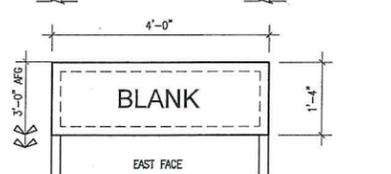
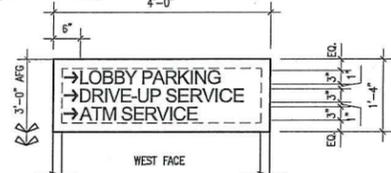
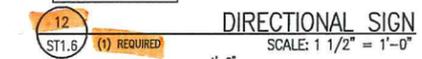
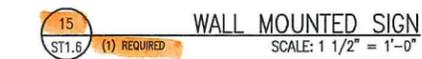
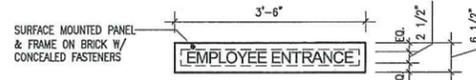
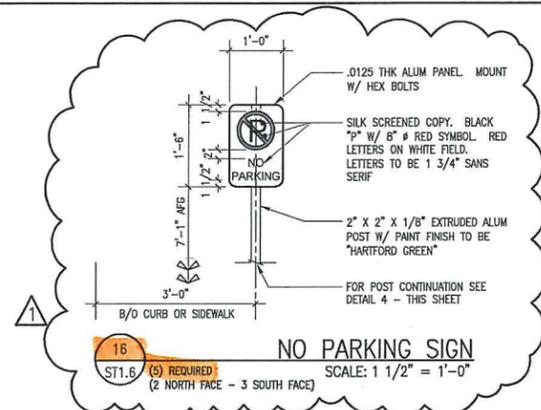
SITE SIGNAGE PLAN

SCALE: 1" = 20'-0"



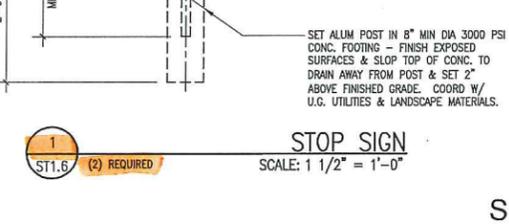
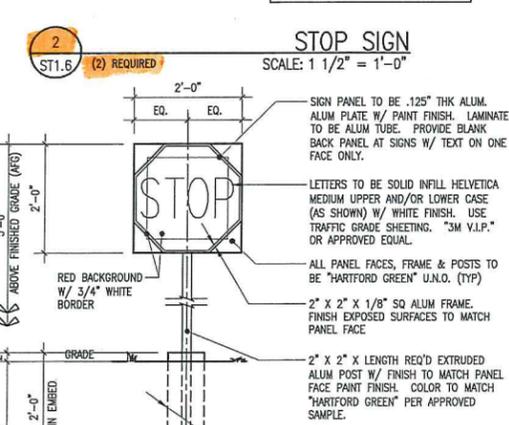
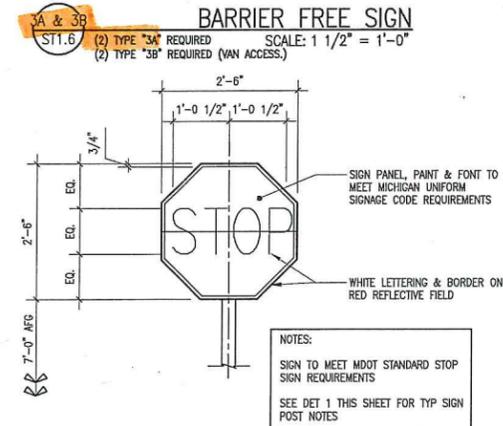
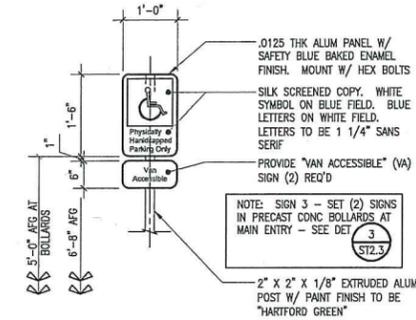
3 WORKING DAYS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171

SITE SIGNAGE PLAN



DIRECTIONAL SIGN NOTES

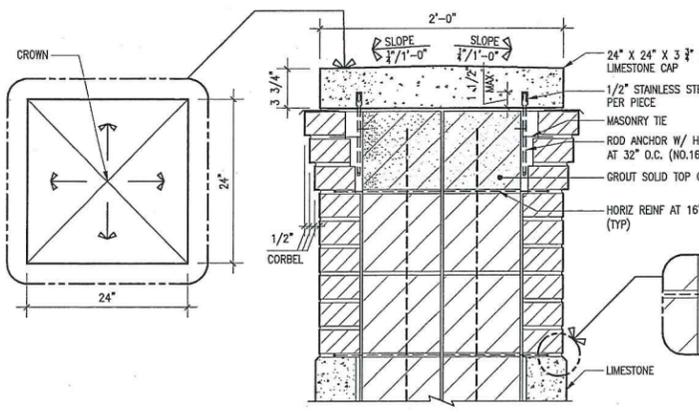
- FINAL LOCATION OF ALL SIGNS TO BE COORDINATED WITH UNDERGROUND UTILITIES & LANDSCAPE PRIOR TO INSTALLATION. SEE DRAWINGS ST1.6 FOR PROPOSED LOCATIONS.
- FOR FOOTING, POST AND IMBED NOTES AND MATERIALS FOR ALL DIRECTIONAL SIGNS, SEE DETAILS 1 AND 4 (TYP).
- ALL LETTERING TO BE 100% SOLID WHITE INFILL LETTERING.
- SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- LOCATE ALL DIRECTIONAL SIGNS THREE (3) FEET FROM BACK OF CURB U.N.O. OR SPACE DOES NOT PERMIT.



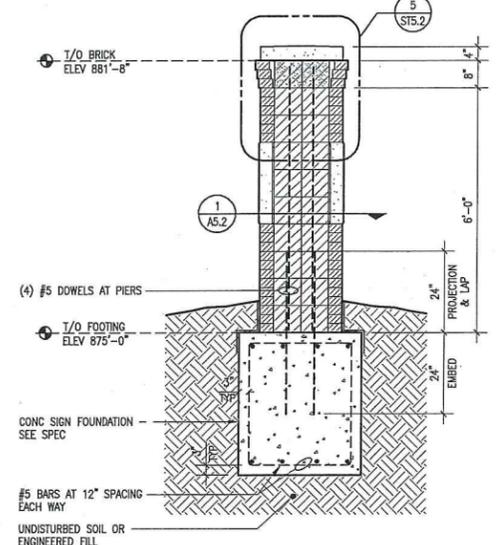
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31 DEC 14	17 MARCH 15
	ISSUED FOR FINAL SITE PLAN APPROVAL
	02 MAY 15
	ISSUED FOR BID PACKAGE NO. 01 BIDS & PERMITS
	08 MAY 15
	RESUBMITTED FOR FINAL SITE PLAN APPROVAL
	03 JUL 15
	ISSUED TOWNSHIP SUBMITTAL
	09 JUL 14

JOB	2012-13
DATE	17 MAR 14
DRAWN	LND
CHECKED	GAM

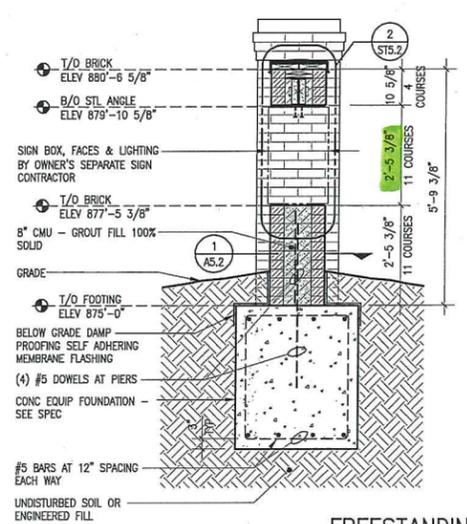
DETAIL SYMBOL	(CIRCLE) (SQUARE)
DETAIL NUMBER	ST5.1
REFERENCE SHEET	MERIDIAN CROSSING



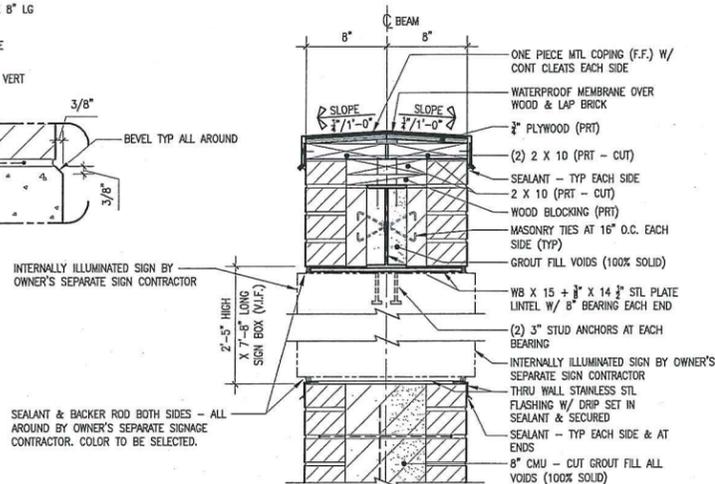
DETAIL 5
SCALE: 1 1/2" = 1'-0"



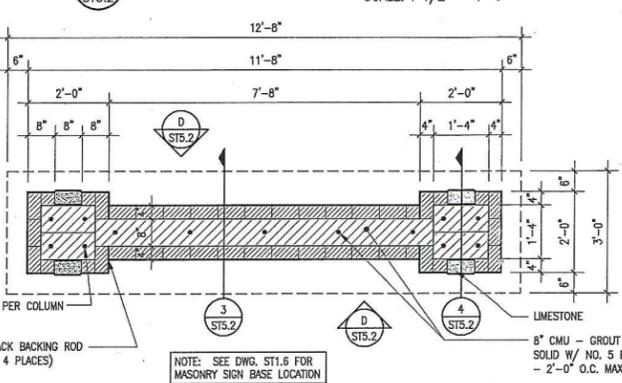
DETAIL 4
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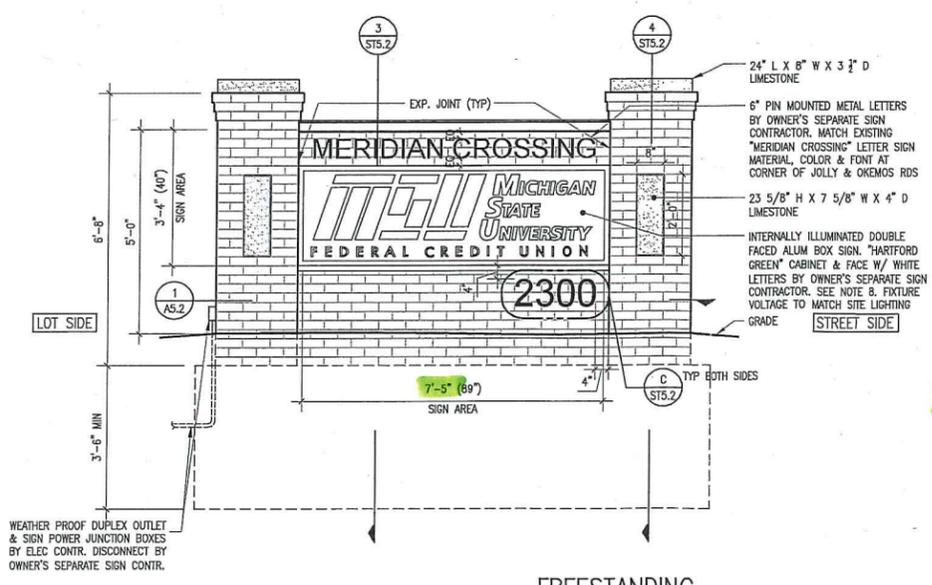
DETAIL 3
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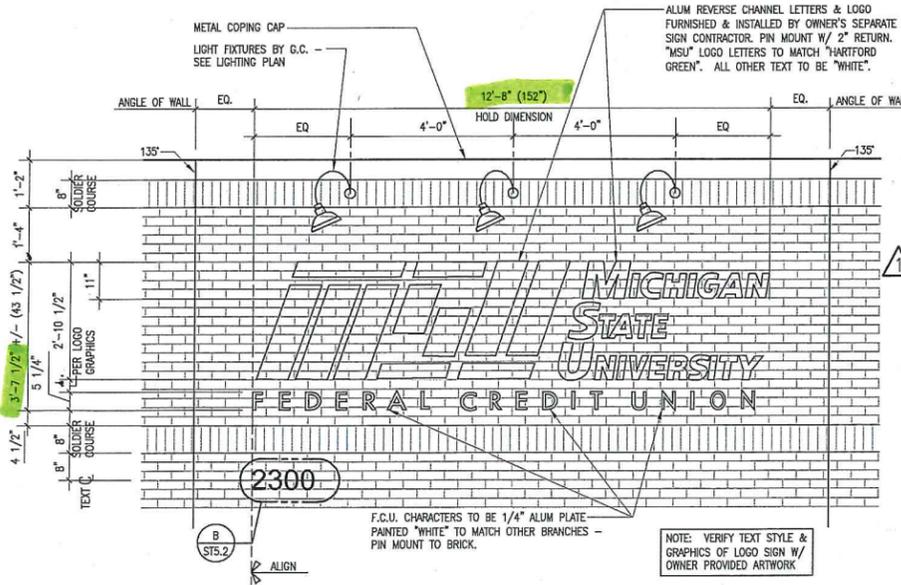
DETAIL 2
SCALE: 1 1/2" = 1'-0"



DETAIL 1
SCALE: 1/2" = 1'-0"



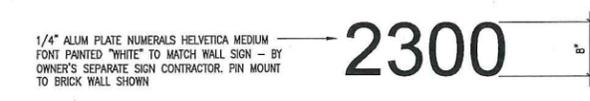
DETAIL 6
SCALE: 1/2" = 1'-0"



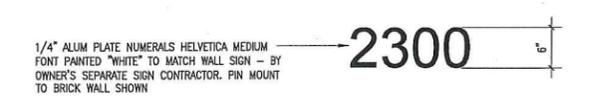
DETAIL A
SCALE: 1/2" = 1'-0"

NOTES

- SEE SHEET ST1.6 FOR GENERAL SIGNAGE NOTES.
- ALL BUILDING IDENTIFICATION SIGN WORK ON THIS DRAWING WILL BE FURNISHED AND INSTALLED UNDER A SEPARATE CONTRACT WITH THE OWNER, EXCEPT AS NOTED.
- THE ELECTRICAL CONTRACTOR IS TO BRING CONDUITS, WIRING AND POWER TO THE SIGNS AS SHOWN AND COORDINATE WITH THE OWNER'S SEPARATE SIGN CONTRACTOR FOR LOCATIONS OF BOXES AND/OR TERMINATION POINTS.
- ALL LIGHT FIXTURES NOT PART OF SIGN BOXES ARE BY ELECTRIC CONTRACTOR AS SHOWN AND AS NOTED ON LIGHTING PLANS.
- ALL MASONRY AND ACCESSORIES ARE TO BE FURNISHED AND INSTALLED BY THE PROJECT MASONRY CONTRACTOR. COORDINATE WITH THE OWNER'S SEPARATE SIGN CONTRACTOR FOR FINISHED OPENING SIZES, BUILT-IN ITEMS, BLOCKOUTS, ETC.
- CONCRETE FOUNDATIONS, REINFORCING, EXCAVATION AND BACKFILL AND SIGN SUPPORTS ARE TO BE BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR TO COORDINATE ALL TRADES AND OWNER'S SEPARATE SIGN CONTRACTOR FOR SCHEDULE.
- OWNER'S SEPARATE SIGN CONTRACTOR TO VERIFY COLORS, MATERIALS, AND FINISHES TO MATCH EXISTING WALL AND GROUND SIGNS AT MSUFCU MASON BRANCH, MASON, MI.
- OWNER'S SEPARATE SIGN CONTRACTOR TO OBTAIN AND PAY FOR ALL MERIDIAN TOWNSHIP PERMITS REQUIRED FOR HIS WORK. ANY SIGNAGE VARIANCES REQUIRED HAVE BEEN APPLIED FOR BY THE OWNER AND WILL BE OBTAINED PRIOR TO START OF OWNER SIGNAGE WORK.



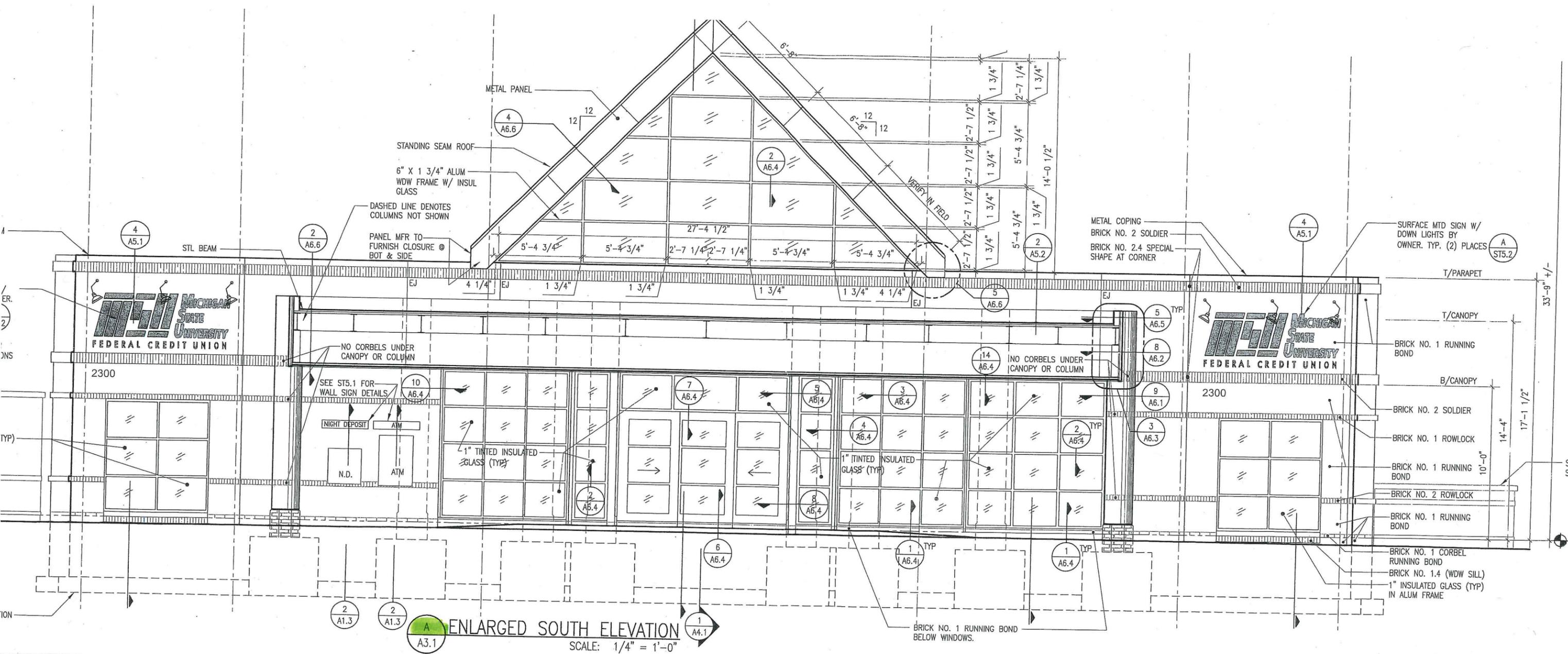
DETAIL C
SCALE: 1/2" = 1'-0"



DETAIL B
SCALE: 1/2" = 1'-0"

REVISIONS	
ISSUED FOR SITE PLAN APPROVAL	09 JUL 14
ISSUED FOR FINAL SITE PLAN APPROVAL	17 MAR 14
ISSUED FOR OWNER SIGNAGE	02 MAY 14
ISSUED FOR BID PACKAGE NO. 01 BIDS & PERMITS	08 JUN 14
REISSUED FOR FINAL SITE PLAN APPROVAL	03 JUN 14
ISSUED FOR BID PACK NO. 2	01 JUL 14

JOB	2012-13
DATE	17 MAR 14
DRAWN	LDN
CHECKED	GAM
DETAIL SYMBOL	
DETAIL NUMBER	ST5.2
REFERENCE SHEET	



A ENLARGED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

- 4 A5.1
- 2 A6.6
- 4 A6.6
- 2 A6.4
- 5 A6.6
- 4 A5.2
- 4 A5.1
- A ST5.2
- T/PARAPET
- T/CANOPY
- BRICK NO. 1 RUNNING BOND
- B/CANOPY
- BRICK NO. 2 SOLDIER
- BRICK NO. 1 ROWLOCK
- BRICK NO. 1 RUNNING BOND
- BRICK NO. 2 ROWLOCK
- BRICK NO. 1 RUNNING BOND
- BRICK NO. 1 CORBEL RUNNING BOND
- BRICK NO. 1.4 (WDW SILL)
- 1" INSULATED GLASS (TYP) IN ALUM FRAME

ER.
2
ONS
TYP)
TON

33'-9" +/-
17'-1 1/2"
14'-4"
10'-0"

MSU MICHIGAN STATE UNIVERSITY
FEDERAL CREDIT UNION

MSU MICHIGAN STATE UNIVERSITY
FEDERAL CREDIT UNION

NIGHT DEPOSIT
 ATM
 N.D.

1" TINTED INSULATED GLASS (TYP)

1" TINTED INSULATED GLASS (TYP)

SEE ST5.1 FOR WALL SIGN DETAILS

NO CORBELS UNDER CANOPY OR COLUMN

NO CORBELS UNDER CANOPY OR COLUMN

PANEL MFR TO FURNISH CLOSURE @ BOT & SIDE

DASHED LINE DENOTES COLUMNS NOT SHOWN

6" X 1 3/4" ALUM WDW FRAME W/ INSUL GLASS

STANDING SEAM ROOF

METAL PANEL

VERIFY IN FIELD

METAL COPING
 BRICK NO. 2 SOLDIER
 BRICK NO. 2.4 SPECIAL SHAPE AT CORNER

SURFACE MTD SIGN W/ DOWN LIGHTS BY OWNER. TYP. (2) PLACES

BRICK NO. 1 RUNNING BOND BELOW WINDOWS.

MEMORANDUM

TO: Zoning Board of Appeals

FROM: 
Martha K. Wyatt
Associate Planner/Landscape Architect

DATE: April 2, 2015

RE: ZBA Case No. 15-04-08-2

ZBA CASE NO. 15-04-08-2 MICHIGAN STATE UNIVERSITY FEDERAL CREDIT UNION, 3777 WEST ROAD, EAST LANSING, MI 48823

DESCRIPTION: 1775 Central Park Drive

TAX PARCEL: 15-451-002

ZONING DISTRICT: CS (Community Service)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 85-1.11n. (CS standards), which states where a parking area, or its associated internal access or service drives, adjoins the same or any other nonresidential district, a landscaped buffer, at least 15 feet wide, shall be provided between the parking area and the property line. A vertical screen shall be erected consisting of a masonry wall, plant material, landscaped earth berm, or a combination thereof, as appropriate for the site, no less than three feet in height.

Michigan State University Federal Credit Union (MSUFCU) is proposing to construct four additional parking spaces at the credit union located at 1775 Central Park Drive. The credit union, approximately 6,700 square feet in gross floor area, has six drive-through lanes and was approved under Special Use Permit #01091 and Site Plan Review #01-30. The site is zoned CS (Community Service) and the CS zoning standards apply to the site.

When constructed in 2003, 36 parking spaces were required based on the parking formula used for office uses at that time, as outlined in Section 85-1.10 (business, professional office, and banks). The number of required parking spaces equates to one parking space per 150 square feet of useable floor area. Typically 80% of the gross floor area was determined to be the useable floor area. Forty-two parking spaces were constructed in 2003. The four proposed parking spaces brings the total to 46 parking spaces. The CS parking standards for an office use (bank) do not set a maximum limit for the number of parking spaces therefore a variance is not required for the number of parking spaces as was previously stated in the legal notice for this case.

A variance is required for three of the four proposed parking spaces regarding the width of the landscaped buffer. The four proposed parking spaces are located as follows: one parking space is added in the row of parking facing Central Park Drive, by reducing the width of the existing parking island in the middle of the row; three parallel parking spaces are proposed in the southeast corner of the site, adjacent to the south property line. The three new parking spaces encroach into the existing landscaped buffer in this area. A minimum 12 foot wide maneuvering lane is required for a parallel parking space. The maneuvering lane is approximately 14 feet wide between the proposed parallel parking space and the ATM canopy island (north of the new parking space).

Section 85-1.11n. requires a 15 foot wide landscaped buffer where a parking area or its associated internal/access drive adjoins the same or other nonresidential district. The adjoining property south of the credit union is zoned C-3 (Commercial). The three proposed parking spaces are located 9.5 feet from south property line at the closest point; therefore the applicant is requesting a variance. The following chart summarizes the variance request;

	Required Setback	Proposed Setback	Variance Request
Parking	15 feet	9'-6"	5'-6"

Site History

- On June 25, 2001 the Planning Commission approved Special Use Permit #01091 for the construction of the MSU Federal Credit Union with six drive-through lanes at 1775 Central Park Drive.
- On November 13, 2001, site plan review was granted for the construction of the MSUFCU credit union branch under Site Plan Review #01-30.
- On February 24, 2015 site plan review approval was granted for the modification of an approved site plan, approving the construction of four additional off-street parking spaces at 1775 Central Park Drive, under Site Plan Review #15-01-30. Approval was subject to the applicant applying for and receiving all applicable variances from the Zoning Board of Appeals for the additional parking spaces.

Attachments

1. Application
2. Site Location Map
3. Letter from the Applicant
4. Site plans

**CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560**

VARIANCE APPLICATION

A. Applicant Michigan State University Federal Credit Union
 Address of Applicant 3777 West Rd. East Lansing, MI 48823
 Telephone (Work) 517-333-2254 Telephone (Home) _____
 Fax 517-333-2227 Email address: aprilc@msufcu.org
 Interest in property (circle one): Owner Tenant Option Other

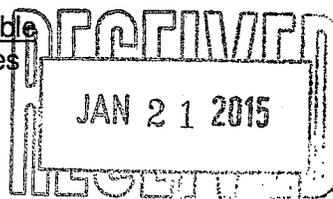
B. Site address/location 1775 Central Park Dr. Okemos, MI
 Zoning district C-S Community Parcel number 33-02-02-15-451-002
 Service District _____

C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) 86-402(1) (b) MINIMUM YARD DIMENSIONS: SIDE YARDS
86-755 SCHEDULE OF REQUIREMENTS FOR PARKING SPACE

D. Required Supporting Material
 -Property survey
 -Legal description
 -Proof of property ownership or approval letter from owner
 -Site plan to scale
 -Written statement, which demonstrates how all the review criteria will be met (See next page)

Supporting Material if Applicable
 -Architectural sketches
 -Other



April M Clabes April Clabes, EVP/COO JANUARY 16, 2015
 Signature of Applicant Print Name Date

Fee: \$450.00 Received by/Date: Manthuyatt 1/21/15

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

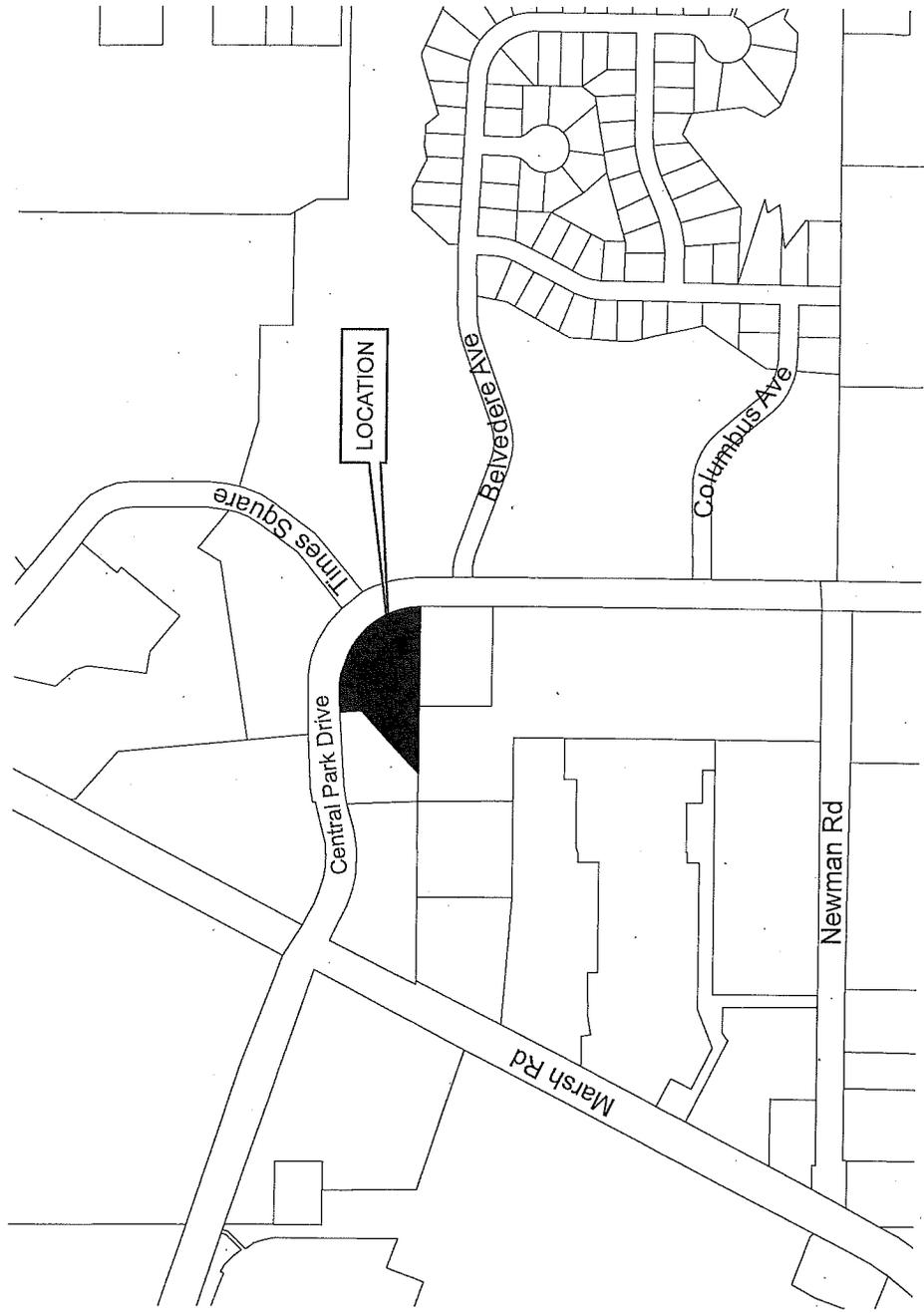
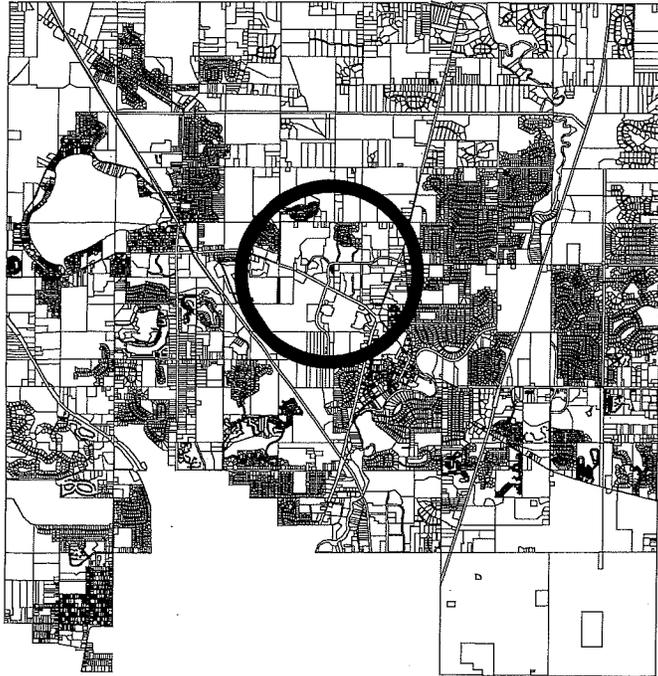
 Signature of Applicant(s) Date

 Signature of Applicant(s) Date

**ZONING BOARD OF APPEALS #15-04-08-2
(MSU FEDERAL CREDIT UNION)**

**REQUEST TO EXCEED MAXIMUM
NUMBER OF PARKING SPACES &
CONSTRUCT PARKING SPACES THAT
DO NOT MEET REQUIRED SIDE YARD
SETBACK AT 1775 CENTRAL PARK DR.**

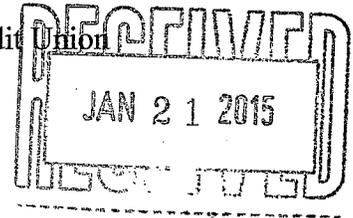
CHARTER TOWNSHIP OF MERIDIAN



Variance Request
January 16, 2015

PROJECT: Michigan State University Federal Credit Union
Central Park Branch Office
1775 Central Park Drive
Okemos, Michigan 48864

PROJECT NO: 2013-30-005



MSUFCU is asking for a variance to section 86-402(1)(b) Minimum Yard Dimensions: Side Yards and section 86-755 Schedule of Requirements for Parking Space (maximum permitted).

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

A) The Central Park Branch is MSUFCU's highest volume branch and has a very large volume of traffic from members. To accommodate this volume, the branch is fully staffed with up to 25 staff members. These dynamics create a parking shortage frequently. MSUFCU is requesting to add an additional (4) parking spaces.

B) The western portion of the site is in a regulated flood plain and also contains the county drain which does not allow the parking lot to be expanded to the west, so to accommodate (3) of the additional parking spaces requested. The current parking lot has a south property side setback of approximately 17'-6" at the area of the the additional of (3) parallel parking spaces. The request is to reduce the side setback to 9'-0".

The parcel to the south this parking setback is undeveloped, and because of the existence of a regulated wetland over a large percentage of the site, the parcel will remain in its current condition. Therefore the reduced side setback will not impinge on a neighboring development.

2. These special circumstances are not self-created.

A) The parking need is driven by the Credit Union's success and member and visitor needs.

B) The reduction of side setback is required due to the significant amount of natural features and the County Drain bisecting the site. The Credit Union has nowhere else on the site to add the additional parking needed to properly serve the Branch.

3. Strict interpretation and enforcement of the literal terms and provisions of the Ordinance would result in practical difficulties.

The parking Ordinance maximum permitted spaces does not allow for the needed parking on site to properly serve the Credit Union's members and staff due to the staff numbers and visitor volumes.

The current side setback requirement would prevent (3) of the additional parking spaces from being implemented due to site features and other restrictions on the site.

4. The alleged practical difficulties, which will result from a failure to grant the variance, would unreasonably prevent the owner from using the property for a permitted purpose or would render conformity with such restrictions unnecessarily burdensome.

The limitation on parking at this location is burdensome in that the Credit Union will not be able to serve the members in as efficient and convenient manner as possible. The shortage of parking requires staff and a members at busy times to wait or circulate on site to park.

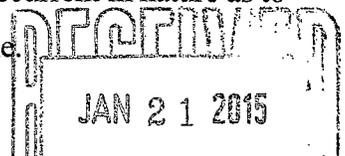
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

The additional parking spaces would properly service the traffic volume experienced at the branch. The location of the requested parking spaces would result in the minimal site disturbance. The requested parking spaces are located in areas with minimal grading and vegetation and do not impinge upon the 50ft back setback, 40ft wetland setback or the county drain.

6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.

The adjacent parcel to the south at the requested side setback variance is undeveloped naturalized wooded and wetland area and most likely will remain so. The reduction in side setback and increase in parking will not affect the character of the area due to the large on-site and adjacent undeveloped, naturalized areas.

7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.



The high volume of traffic at this specific location, coupled with the site restrictions create the conditions that require the expansion of parking and in turn the reduction in side setback but are specific to this site and should not require a general regulation change.

8. Granting the variance will be generally consistent with public interest, the purposes and intent of this Zoning Ordinance.

Granting these variances is generally consistent with the public interest to provide safe, convenient, on-site traffic circulation, adequate open space, significant buffering to adjacent properties and allow the Branch to function without public disruption.

