



AGENDA
CHARTER TOWNSHIP OF MERIDIAN
PLANNING COMMISSION – REGULAR MEETING
March 10, 2025 6:30 PM

1. CALL MEETING TO ORDER
2. ROLL CALL
3. PUBLIC REMARKS
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES
 - A. February 24, 2025
6. COMMUNICATIONS
 - A. None
7. PUBLIC HEARINGS
 - A. SUP #25003 – Okemos Land Investments
8. UNFINISHED BUSINESS
 - A. None
9. OTHER BUSINESS
 - A. 2025 Brownfield Redevelopment Authority Appointment
10. REPORTS AND ANNOUNCEMENTS
 - A. Township Board update
 - B. Liaison reports
11. PROJECT UPDATES
12. PUBLIC REMARKS
13. COMMISSIONER COMMENTS
14. ADJOURNMENT

Individuals with disabilities requiring auxiliary aids or services should contact: Director of Community Planning and Development
Timothy R. Schmitt, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4506 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864



AGENDA page 2
CHARTER TOWNSHIP OF MERIDIAN
PLANNING COMMISSION MEETING
March 10, 2025 6:30 PM

TENTATIVE PLANNING COMMISSION AGENDA
March 24, 2025

1. PUBLIC HEARINGS
 - A. SUP #25006 – Precious Sprouts Group Child Care
 - B. ZA #25002 – Sec. 86-755 – Schedule of Requirements for Parking Space

2. UNFINISHED BUSINESS
 - A. SUP #25003 – Okemos Land Investments

3. OTHER BUSINESS
 - A. None

Individuals with disabilities requiring auxiliary aids or services should contact: Director of Community Planning and Development
Timothy R. Schmitt, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4506 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864

Providing a safe and welcoming, sustainable, prime community.



CHARTER TOWNSHIP OF MERIDIAN
REGULAR MEETING PLANNING COMMISSION
5000 Okemos Road, Okemos MI 48864-1198
517.853.4000, Central Fire Station-Community Room
Monday, February 24, 2025, 6:30 pm

PRESENT: Chair Shrewsbury, Vice Chair Snyder, Commissioners Brooks, McConnell, McCurtis, and Romback.

ABSENT: None

STAFF: Planning Director Tim Schmitt

1. CALL MEETING TO ORDER

Chair Shrewsbury called the January 27, 2025, regular meeting for the Meridian Township Planning Commission to order at 6:31 pm. Commissioner Romback arrived at 6:34 pm.

2. ROLL CALL

Chair Shrewsbury called the roll of the Board. All Board members except for Commissioner Romback were present.

3. PUBLIC REMARKS

None

4. APPROVAL OF AGENDA

Chair Shrewsbury asked for approval of the agenda.

Commissioner McConnell moved to approve the February 24, 2025, Regular Planning Commission meeting agenda. Seconded by Commissioner McCurtis. Motion passed unanimously.

5. APPROVAL OF MINUTES

Chair Shrewsbury asked for approval of the minutes, correcting the misspelling of Commissioner McConnell's name.

Commissioner McCurtis moved to approve Minutes of the January 27, 2025 meeting with minor amendments. Seconded by Commissioner Brooks. Motion passed unanimously.

6. COMMUNICATIONS

None

7. PUBLIC HEARINGS

None

8. UNFINISHED BUSINESS

None

9. OTHER BUSINESS

A. Discussion – Sec. 86-755 – Schedule of Requirements for Parking Space

Director Schmitt outlined the discussion that has occurred to date, noting that he would like to introduce the updates as an ordinance at the next meeting. Staff has already begun work on the next part, which will be presented in a few months.

Commissioner McCurtis asked about the computation of spaces for multi-family residential buildings. Director Schmitt explained the reasoning behind the computation which is based on the mix of residential unit types.

Commissioner McConnell noted that the total reduction of parking in terms of reducing impervious surface is part of the Master Plan.

Chair Shrewsbury asked if there are maximum numbers of parking spaces stated in the code. Director Schmitt noted there is a provision for maximums.

Commissioner Brooks asked if any businesses have been consulted as part of the process, referencing the types of businesses that will be affected by these changes. Director Schmitt indicated that the number of spaces is often tied back to the occupancy allowed for the building, and it is rare that a business requests a variance to the parking code. Commissioner Brooks clarified that he would like to see the reason behind the changes. Director Schmitt indicated that staff can provide that information.

Chair Shrewsbury asked if notice of the hearing can be published through additional channels beyond the required notices in order to ensure that property owners are aware. Director Schmitt indicated that the EDC and CIA are aware.

10. REPORTS AND ANNOUNCEMENTS

A. Township Board Update

Director Schmitt noted that REZ #25001 will be presented at the next Board meeting and the Senior and Community Center decision will be made in April.

B. Liaison Reports

Commissioner McConnell noted that the Environmental Commission will be receiving help from staff to make progress on 2025 goals.

Commissioner Brooks noted that the ZBA approved the variances requested in Case #24-11.

Chair Shrewsbury noted that the Planning Commission still needs to designate a Liaison to the BRA and suggested that be a consideration when filling the Planning Commission vacancy.

11. PROJECT UPDATES

Director Schmitt gave an overview of the projects that will be coming to the Commission in the next few months.

12. PUBLIC REMARKS

None

13. COMMISSIONER COMMENTS

Commissioners McConnell briefed the Commission on the 2025 Joint Boards & Commissions meeting.

14. ADJOURNMENT

Chair Shrewsbury called for a motion to adjourn the meeting at 7:03 pm

Commissioner McConnell moved to adjourn the February 24, 2025 regular meeting of the Planning Commission. Seconded by Commissioner Romback. Motion passed unanimously.



To: Planning Commission

From: Brian Shorkey, Principal Planner

Date: March 10, 2025

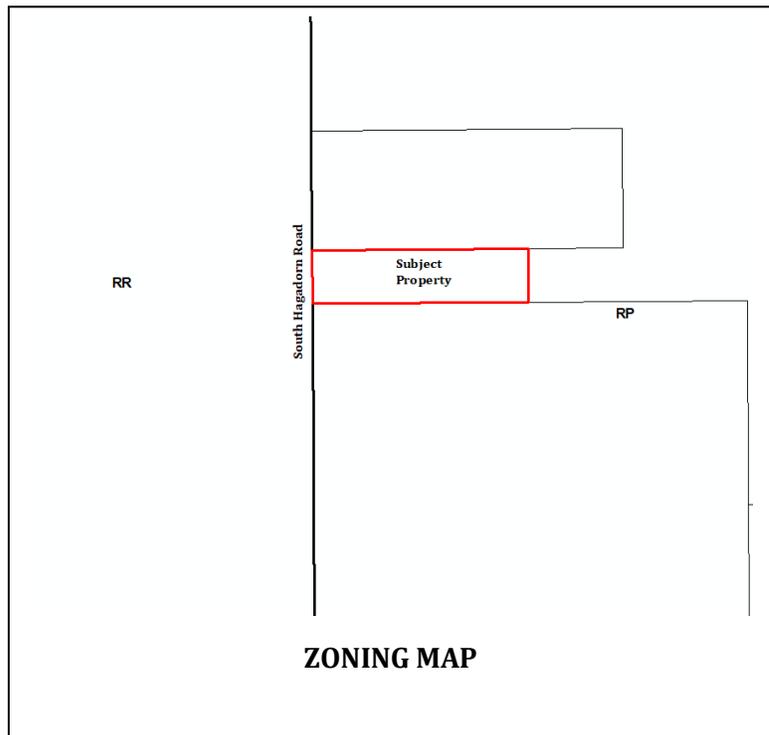
Re: Special Use Permit #25003 (Okemos Local Investments), to construct an adult use marijuana provisioning center at 4360 South Hagadorn Road, Okemos, MI 48864.

Okemos Local Investments (Applicant) has submitted a Special Use Permit (SUP) application for the construction of a 2,030 square foot adult use marijuana retailer at 4360 South Hagadorn Road, Okemos, MI 48864 (Subject Property). This is a major amendment from the Applicant's previous application (SUP #24020) for an adult use marijuana retailer in the existing 2,587 square foot building at the Subject Property. The Subject Property is approximately 0.62 acre in size and is zoned RP – Research and Office Park. This SUP application follows the Board of Trustees' approval of the adult use marijuana conditional license on May 9, 2024.

Zoning and Future Land Use

The Subject Property is located in the RP – Research and Office Park zoning district. The same zoning designation applies to the adjacent properties to the north, east, and south. The property to the west is zoned RR – Rural Residential and is Michigan State University property.

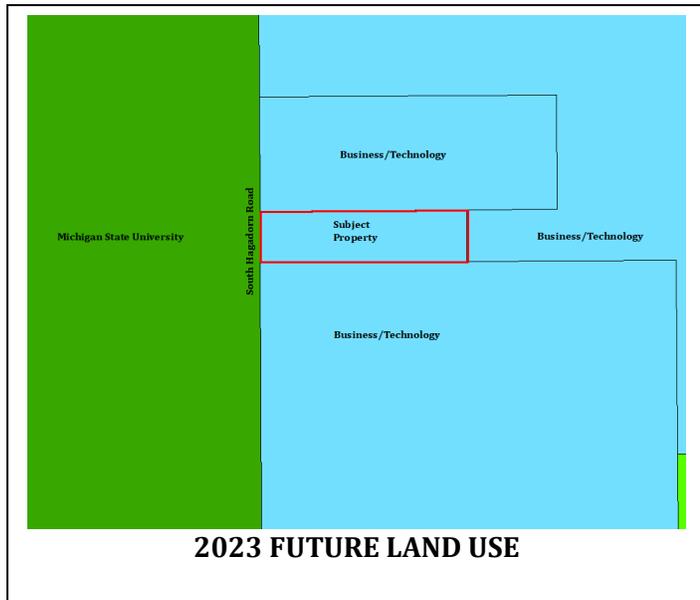
The RP district requires a minimum of 200 feet of lot frontage and 2 acres of lot area for new lots. The Subject Property is an existing parcel and is approximately 0.62 acres in size (approximately 27,000 square feet) and has approximately 82 feet of frontage along South Hagadorn Road.



The Future Land Use Map from the 2023 Master Plan designates the subject site in the Business/Technology category. This is likewise true for the properties to the north, east, and south. The property to the west is shown as Michigan State University property.

Staff Analysis

Applications for special land use permits are reviewed under Sec. 86-126 in the Zoning Ordinance. Based on that review, Staff has the following comments:



1. This application is a major amendment from the Applicant's prior SUP application (#24020) in 2024. At that time, the Planning Commission asked the Applicant was asked to update the traffic assessment. This was completed and the updated traffic assessment is attached. After the traffic assessment was completed, the Applicant decided to amend the application to reflect the decision to demolish the existing building on the Subject Property and construct a new, slightly smaller building. The decision to not use the existing building constituted a major amendment to SUP #24020.
2. The Subject Property lies within Adult Use Marijuana Overlay Area 4. This has been approved of one of the only five areas in the Township where adult use marijuana retailers are allowed. An adult use marijuana retail conditional license has been approved for the site.
3. The project is consistent with the intent and purposes of this chapter and the proposed adult use marijuana retailer conforms with the Subject Property's zoning and Future Land Use designations.
4. The project is consistent with applicable land use policies contained in the Township's comprehensive development plan of current adoption.
5. The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
6. The project is not expected to adversely affect or be hazardous to existing neighboring uses.
7. The project is not expected to be detrimental to the economic welfare of the surrounding properties or the community.
8. The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.

9. The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and stormwater are proposed, they shall be properly designed and capable of handling the long term needs of the proposed project.
10. The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
11. The project is not expected to directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, or wildlife areas.
12. Attachment #7 details the safety and odor control that is being proposed by the Applicant. The safety and odor control systems meet the Township's requirements.
13. The Subject Property is adequately served by water and sewer. An attached traffic assessment (Attachment #6, dated November 2024) verifies that the existing roads are capable of handling the traffic and no traffic study is required.
14. A site plan was submitted (Attachment #5) as required by Sec. 40-30. If this SUP application is approved, the applicant will be required to formally submit for site plan approval before any construction or land clearing is approved.

Based on the information provided by the Applicant, Staff has identified no major concerns that would negatively impact surrounding properties or the Township at large while reviewing the proposed Special Use Permit. If the Special Use Permit for the project is approved by the Planning Commission and the Township Board, the applicant will be required to submit for Site Plan Review and/or any required building permits prior to beginning operations.

Recreational Marihuana Approval Process

Applicants for a Recreational Marihuana Facility must go through various steps in order to establish a facility within Meridian Township, including securing local and state approval. Applications are submitted to the Director of Community Planning and Development for review. All inspections, review, processing, and competitive review, if necessary, shall be completed within 90 days of a complete application. A completed application is forwarded to the Township Board, who must approve or deny the application within 120 days of a completed application and fees. If the application is approved, then the Applicant shall receive a conditional approval, the conditions of which must be met for the Applicant to receive a Permit as the Permit Holder. If the Township Board issues conditional approval, then the Applicant must submit their SUP application to the Planning Commission within 60 days. Recreational Marihuana permits are reviewed for renewal or amendment, but the SUP does not require annual renewal. If the applicant maintains a valid State license and remains in good standing with both the State and Township a renewal will be granted for another one year period.

Planning Commission Options

The Planning Commission may recommend approval, approval with conditions, or denial of the proposed special use permit. A resolution will be provided at a future meeting.

Special Use Permit #25003 (Okemos Local Investments)

Planning Commission (March 10, 2025)

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Attachments

1. Special use permit application
2. Attachment 1: List of Persons Possessing Property Interest and Description of Property Interest
3. Attachment 2: Legal Description for 4360 South Hagadorn Road, Okemos, MI 48864
4. Attachment 3: Description of Project and Development Phases
5. Attachment 4: Nonrefundable Application Fee
6. Attachment 5: Site Plan, dated January 27, 2025
7. Attachment 6: Building Floor Plans and Elevations, dated January 30, 2025
8. Attachment 7: Business Operation Plan
9. Attachment 8: Traffic Impact Analysis, dated November 14, 2024

CHARTER TOWNSHIP OF MERIDIAN
DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT
5151 MARSH ROAD, OKEMOS, MI 48864
PLANNING DIVISION PHONE: (517) 853-4560, FAX: (517) 853-4095

SPECIAL USE PERMIT APPLICATION

Before submitting this application for review, an applicant may meet with the Director of Community Planning and Development to discuss the requirements for a special use permit and/or submit a conceptual plan for review to have preliminary technical deficiencies addressed prior to submittal of the application. If the property or land use is located in the following zoning districts RD, RC, RCC, RN then the applicant must meet with the Planning Director to discuss technical difficulties before filing a formal application.

Part I

- A. Applicant Okemos Local Investments LLC
 Address of Applicant 4360 S Hagadorn Rd
 Telephone - Work 248-914-0631 Home _____ Fax _____ Email pernickprogressive@gmail.com
 Interest in property (circle one): Owner _____ Tenant _____ Option _____ **Other** _____
 (Please attach a list of all persons with an ownership interest in the property.)
- B. Site address / location / parcel number 4360 S Hagadorn Rd 33-02-02-29-151-003
 Legal description (please attach if necessary) Please see attached.
 Current zoning Research and Office Park (RP)
 Use for which permit is requested / project name Marihuana Retailer
 Corresponding ordinance number Ord. No. 2022-19
- C. Developer (if different than applicant) _____
 Address _____
 Telephone – Work _____ Home _____ Fax _____
- D. Architect, Engineer Planner or Surveyor responsible for design of project if different from applicant:
 Name Gumma Group
 Address 7419 Middlebelt Rd, Suite 4, West Bloomfield, MI 48322
 Telephone – Work (248)-865-5555 Home _____ Fax _____
- E. Acreage of all parcels in the project: Gross 0.621 Net _____
- F. Explain the project and development phases: Please see attached.
- G. Total number of:
 Existing: structures 1 bedrooms _____ offices _____ parking spaces 12 carports _____ garages _____
 Proposed: structures _____ bedrooms _____ offices _____ parking spaces _____ carports _____ garages _____
- H. Square footage: existing buildings 2587 proposed buildings 2030
 Usable Floor area: existing buildings _____ proposed buildings _____
- I. If employees will work on the site, state the number of full time and part time employees working per shift and hours of operation: 10 employees – 9 am to 9 pm public hours; 8am to 10pm total hours
- J. Existing Recreation: Type _____ Acreage _____
 Proposed Recreation: Type _____ Acreage _____
 Existing Open Space: Type _____ Acreage _____
 Proposed Open Space: Type _____ Acreage _____

- K. If Multiple Housing:
- Total acres of property _____
- Acres in floodplain _____ Percent of total _____
- Acres in wetland (not in floodplain) _____ Percent of total _____
- Total dwelling units _____
- Dwelling unit mix:
- | | | |
|------------------------------------|----------------|-------------|
| Number of single family detached: | for Rent _____ | Condo _____ |
| Number of duplexes: | for Rent _____ | Condo _____ |
| Number of townhouses: | for Rent _____ | Condo _____ |
| Number of garden style apartments: | for Rent _____ | Condo _____ |
| Number of other dwellings: | for Rent _____ | Condo _____ |

L. The following support materials must be submitted with the application:

1. Nonrefundable Fee. [Please see attached.](#)
2. Legal Description of the property. [Please see attached site plan.](#)
3. Evidence of fee or other ownership of the property.
4. Site Plan containing the information listed in the attachment to this application.
5. Architectural sketches showing all sides and elevations of the proposed buildings or structures, including the project entrance, as they will appear upon completion. The sketches should be accompanied by material samples or a display board of the proposed exterior materials and colors.
6. A Traffic Study, prepared by a qualified traffic engineer, based on the most current edition of *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation. [Please see attached site plan.](#)
 - a. A traffic assessment will be required for the following:
 - 1) New special uses which could, or expansion or change of an existing special use where increase in intensity would, generate between 50 to 99 directional trips during a peak hour of traffic.
 - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
 - b. A traffic impact study will be required for the following:
 - 1) New special uses which would, or expansion or change of an existing special use where increase in intensity would, generate over 100 directional trips or more during a peak hour of traffic, or over 750 trips on an average day.
 - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
7. Natural features assessment which includes a written description of the anticipated impacts on the natural features at each phase and at project completion that contains the following:
 - a. An inventory of natural features proposed to be retained, removed, or modified. Natural features shall include, but are not limited to, wetlands, significant stands of trees or individual trees greater than 12 inches dbh, floodways, floodplains, waterbodies, identified groundwater vulnerable areas, slopes greater than 20 percent, ravines, and vegetative cover types with potential to sustain significant or endangered wildlife.
 - b. Description of the impacts on natural features.
 - c. Description of any proposed efforts to mitigate any negative impacts.

The natural features assessment may be waived by the Director of Community Planning and Development in certain circumstances.

[No change in natural features as this is a re-model / asphalt parking lot in the back.](#)

- M. Any other information specified by the Director of Community Planning and Development which is deemed necessary to evaluate the application.
- N. In addition to the above requirements, for zoning districts, **RD, RC, RCC, RN, and CV** and **Group Housing Residential Developments** the following is required:
1. Existing and proposed contours of the property at two foot intervals based on United States Geological Survey (USGS) data.
 2. Preliminary engineering reports in accordance with the adopted Township water and sewer standards, together with a letter of review from the Township Engineer.
 3. Ten copies of a report on the intent and scope of the project including, but not limited to: Number, size, volume, and dimensions of buildings; number and size of living units; basis of calculations of floor area and density and required parking; number, size, and type of parking spaces; architectural sketches of proposed buildings.
 4. Seven copies of the project plans which the Township shall submit to local agencies for review and comments.
- O. In addition to the above requirements, a special use application in zoning district **RP** requires the following material as part of the site plan: [Please see the attached business operations plan.](#)
1. A description of the operations proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, fire hazards or safety hazards or the emission of any potentially harmful or obnoxious matter or radiation.
 2. Engineering and architectural plans for the treatment and disposal of sewerage and industrial waste tailings, or unusable by-products.
 3. Engineering and architectural plans for the handling of any excessive traffic congestion, noise, glare, air pollution, or the emission of any potentially harmful or obnoxious matter or radiation.
- [Please see the attached business operations plan which includes a description of our cannabis waste disposal procedure.](#)
- P. In addition to the above requirements, a special use application for a use in the Floodway Fringe or zoning district **CV** requires the following:
1. A letter of approval from the State Department of Environmental Quality.
 2. A location map including existing topographic data at two-foot interval contours at a scale of one inch representing 100 feet.
 3. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits, extent, and elevations of the proposed fill, excavation, and occupation.
 4. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- Q. In addition to the above requirements, a special use application for a use in the Groundwater Recharge area or zoning district **CV** requires the following:
1. A location map including existing topographic data at two-foot interval contours.
 2. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits and extent of the proposed fill, excavation, and occupation.
 3. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- R. In addition to the above requirements, the Township Code of Ordinances, Article VI, should be reviewed for the following special uses: group housing residential developments, mobile home parks, nonresidential structures and uses in residential districts, planned community and regional shopping center developments, sand or gravel pits and quarries, sod farms, junk yards, sewage treatment and disposal installations, camps and clubs for outdoor sports and buildings greater than 25,000 square feet in gross floor area.

Part II

**SUP REQUEST STANDARDS
Township Code of Ordinances, Section 86-126**

Applications for Special Land Uses will be reviewed with the standards stated below. An application that complies with the standards stated in the Township Ordinance, conditions imposed pursuant to the Ordinance, other applicable Ordinances, and State and Federal statutes will be approved. Your responses to the questions below will assist the Planning Commission in its review of your application.

- (1) The project is consistent with the intent and purposes of this chapter.
- (2) The project is consistent with applicable land use policies contained in the Township's Master Plan of current adoption.
- (3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
- (4) The project will not adversely affect or be hazardous to existing neighboring uses.
- (5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
- (6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
- (7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and storm water are proposed, they shall be properly designed and capable of handling the longterm needs of the proposed project.
- (8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
- (9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.

Part III

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

Yes No (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate

Sam Pernick
7A7EC4110CE4426...

2/10/2025

Signature of Applicant

Date

Sam Pernick

Type/Print Name

Fee: _____

Received by/Date: _____

**Special Use Permit Application Attachment
Site Plan Requirements Per Section 86-124(c)(4)**

A site plan, drawn to a legible scale, containing the following information where applicable:

- a. Boundaries of the subject property.
- b. Total area of the subject property.
- c. Location of all existing and proposed structures.
- d. Approximate location and distance of all structures within 100 feet of the subject property.
- e. Uses of existing and proposed buildings, on the subject site.
- f. Proposed means of vehicular and pedestrian ingress and egress to the subject property.
- g. Public and private roads and streets, rights-of-way, and easements, indicating names and widths, which abut or cross the site.
- h. Existing and proposed parking spaces, and vehicular and pedestrian circulation patterns.
- i. The buildable area of the subject property indicating all required setbacks, yards and open space.
- j. Zoning classification of the subject and adjacent properties.
- k. Existing and proposed fencing, screening, landscaping, and buffers.
- l. Location and sizes of existing utilities including power lines and towers, both above and below the ground.
- m. Amount and location of all impervious surfaces.
- n. The verified boundaries of all natural water features and required setback lines.

Attachment 1

List of Persons Possessing Property Interest and Description of Property Interest

Re: 4360 S Hagadorn Road, Okemos, MI 48864

Parcel Number: 33-02-02-29-151-003

The subject property described above is owned by Marc and Deborah Santucci of 5909 Blythfield Drive, East Lansing, MI 48823. A copy of the Ingham County GIS data search results for the subject property has also been enclosed, and it confirms Mr. and Mrs. Santucci's ownership of that property.

The applicant, Okemos Local Investments LLC, has received permission from the property owners to operate a marijuana retailer at the property. Please find enclosed copies of: (1) an authorization by Marc Santucci and (2) a Commitment for Commercial Lease/Purchase.

AccessMyGov.com is now bsaonline.com. Please change your bookmarks and website links.

4360 HAGADORN RD OKEMOS, MI 48864 (Property Address)

Parcel Number: 33-02-02-29-151-003



Item 1 of 7 5 Images / 2 Sketches

Property Owner: SANTUCCI, MARC & DEBORAH

Summary Information

> Residential Building Summary

- Year Built: 1935
- Bedrooms: 2
- Full Baths: 1
- Half Baths: 0
- Sq. Feet: 1,475
- Acres: 0.621

- > Assessed Value: \$109,400 | Taxable Value: \$77,481
- > Property Tax information found

Access additional record information for a small convenience fee. *

- > Additional areas of information include: *Delinquent Tax Information*

Show Purchase Options

* Additional record information is free for all homeowners, click the 'Show Purchase Options' button for more information.

Important Message

The information presented on this site is as of the close of the 2022 March Board of Review and the 2022 Assessment and Specific Tax Rolls.

If you require current ownership and mailing address information click on the Municipalities drop-down box above. You may enter the local Township or City name in the search box and click on the Search tab. This will redirect you to the local unit. Once the local unit window opens you can search by name, address, or parcel code number. If you require additional services, it is recommended that you contact the local unit Assessor's Office.

Local unit email and telephone numbers are available at: <https://docs.ingham.org/Department/Equalization/Twp-City%20Directory%20List22.pdf>

Owner and Taxpayer Information

Owner SANTUCCI, MARC & DEBORAH **Taxpayer** SEE OWNER INFORMATION
 5909 BLYTHFIELD DR
 EAST LANSING, MI 48823

General Information for Tax Year 2024

Property Class	201 COMMERCIAL-IMPROVED	Unit	02 MERIDIAN CHARTER TWP
School District	OKEMOS PUBLIC SCHOOLS	Assessed Value	\$109,400
MG	No Data to Display	Taxable Value	\$77,481
APPRAISAL	0	State Equalized Value	\$109,400
C. AREA	Not Available	Date of Last Name Change	09/13/2023
INFLUENCE	Not Available	Notes	Not Available
Historical District	Not Available	Census Block Group	Not Available
SOLAR/EV	Not Available	Exemption	No Data to Display

Principal Residence Exemption Information

Homestead Date No Data to Display

Principal Residence Exemption	June 1st	Final
2023	0.0000 %	0.0000 %

Previous Year Information

Year	MBOR Assessed	Final SEV	Final Taxable
2023	\$91,900	\$91,900	\$73,792
2022	\$81,800	\$81,800	\$70,279
2021	\$79,700	\$79,700	\$68,034

Lead Information

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Zoning Code	RP	Total Acres	0.621
Land Value	\$133,947	Land Improvements	\$3,347
Renaissance Zone	No	Renaissance Zone Expiration Date	No Data to Display
ECF Neighborhood	2035 OKEMOS DOWNTOWN/HAGADORN/OUT LYING OFFICE	Mortgage Code	999
Lot Dimensions/Comments	No Data to Display	Neighborhood Enterprise Zone	No

Lot(s)	Frontage	Depth
No lots found.		
Total Frontage: 0.00 ft		Average Depth: 0.00 ft

Legal Description

M 29-13 COM. AT PT. 64 RDS. N OF W 1/4 POST-N 82 FT-E 20 RDS-S 82 FT-W 20 RDS TO BEG., SEC. 29, T4N R1W.

Land Division Act Information

Date of Last Split/Combine	No Data to Display	Number of Splits Left	0
Date Form Filed	No Data to Display	Unallocated Div.s of Parent	0
Date Created	01/01/0001	Unallocated Div.s Transferred	0
Acreege of Parent	0.00	Rights Were Transferred	Not Available
Split Number	0	Courtesy Split	Not Available
Parent Parcel	No Data to Display		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
06/01/1990	\$78,000.00	WD	CHAPMAN	SANTUCCI	03-ARM'S LENGTH	

Building Information - 0 sq ft User-Defined (Commercial)

Floor Area	0 sq ft	Estimated TCV	\$0
Occupancy	User-Defined	Class	C
Stories Above Ground	0	Average Story Height	0 ft
Basement Wall Height	0 ft	Identical Units	Not Available
Year Built	1935	Year Remodeled	1983
Percent Complete	100%	Heat	No Heating or Cooling
Physical Percent Good	74%	Functional Percent Good	100%
Economic Percent Good	100%	Effective Age	20 yrs

Building Information - 1475 sq ft 1 STORY (Residential)

General

Floor Area	1,475 sq ft	Estimated TCV	\$81,489
Garage Area	630 sq ft	Basement Area	1,215 sq ft
Foundation Size	1,475 sq ft	Year Remodeled	1983
Year Built	1935	Class	CD
Occupancy	Single Family	Tri-Level	No
Effective Age	55 yrs	Heat	Forced Air w/ Ducts
Percent Complete	100%	Wood Stove Add-on	No
AC w/Separate Ducts	No	Water	Water Well
Basement Rooms	5	Sewer	Septic
1st Floor Rooms	5	Style	1 STORY
2nd Floor Rooms	0		
Bedrooms	2		

Area Detail - Basic Building Areas

Height	Foundation	Exterior	Area	Heated
1 Story	Crawl Space	Brick	260 sq ft	1 Story
1 Story	Basement	Brick	1,215 sq ft	1 Story

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Recreation	729 sq ft	Recreation % Good	0%
-------------------	-----------	--------------------------	----

Living Area	0 sq ft	Living Area % Good	0%
Walk Out Doors	0	No Concrete Floor Area	0 sq ft

Plumbing Information

3 Fixture Bath	1	Ceramic Tile Floor	1
-----------------------	---	---------------------------	---

Fireplace Information

Interior 1 Story	1
-------------------------	---

Garage Information

Area	630 sq ft	Exterior	Siding
Foundation	42 Inch	Common Wall	1 Wall
Year Built	<i>No Data to Display</i>	Finished	No
Auto Doors	0	Mech Doors	0

Porch Information

WSEP (1 Story)	96 sq ft	Foundation	Standard
WGEP (1 Story)	160 sq ft	Foundation	Standard

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Authorization

I, Marc Santucci, owner of record of the property located at 4366 Hagadorn Rd., Okemos, MI 48864 and 4360 Hagadorn Road, Okemos, MI 48864 hereby acknowledge and authorize the use of 4366 Hagadorn Rd., Okemos, MI 48864 and 4360 Hagadorn Road, Okemos, MI 48864 by Okemos Local Investments, LLC for the legal operation of a marijuana facility that is compliant with state and local laws.

DocuSigned by:
Marc Santucci
431F850E7EB04CA...

Marc Santucci

1/24/2024

Date

Commitment for Commercial Lease/ Purchase
4366 Hagadorn Rd., Okemos, MI 48864 AND 4360 Hagadorn R., Okemos, MI 48864

This Commitment for Commercial Lease/ Purchase (“Agreement”) made this 24th of January 2024, between Okemos Local Investments, a Michigan limited liability company (“Purchaser”), whose address is 4360 S Hagadorn Rd, Okemos MI 48864 and Marc Santucci, an individual (“Seller”) whose address is 4360 S Hagadorn Rd, Okemos MI 48864. Purchaser and Seller are each a “Party” and collectively the “Parties” to this Agreement.

IN CONSIDERATION of the premises and agreements set forth herein, which consideration the parties acknowledge is adequate, the Parties hereby agrees as follows: Marc Santucci, owner of record of the property located at 4366 Hagadorn Rd., Okemos, MI 48864 and 4360 Hagadorn Road, Okemos, MI 48864 hereby acknowledge and authorize the use of 4360 Hagadorn Rd., Okemos, MI 48864 and 4360 Hagadorn Road, Okemos, MI 48864 by Okemos Local Investments for the legal operation of a marijuana facility that is compliant with state and local laws. Okemos Local Investments, LLC (“Purchaser”) shall lease or purchase the property, conditional upon receiving all required state and local licenses, on terms to be negotiated between the parties.

Signed by: DocuSigned by:
Marc Santucci
431E850E7EB04CA...

Marc Santucci

DocuSigned by:
Sam Pernick
7A7EC4110CE4426...

Okemos Local Investments, LLC
Sam Pernick - Authorized Signatory

Attachment 2

Legal Description for 4360 S Hagadorn Road, Okemos, MI 48864

Parcel Number: 33-02-02-29-151-003

The Legal Description for the subject property is as follows:

*M 29-13 COM. AT PT. 64 RDS. N OF W 1/4 POST-N 82 FT-E 20 RDS-S 82 FT-W
20 RDS TO BEG., SEC. 29, T4N R1W.*

Attachment 3

Description of Project and Development Phases

The enclosed document was drafted by the Project Manager, Zack Lask, and explains the Project and Development Phases for the Marihuana Retailer at 4360 S Hagadorn, Okemos, MI 48864.

Overview of Project and Development Phases for Marihuana Retailer at 4360 S Hagadorn Road, Okemos, MI 48864

Stage 1: Preliminary Design and Cost Estimation

- Design Phase
 - During this phase develop conceptual designs of the project
- Define Requirements
- Early Project Schedule
- Compose Budget
- Layout

Stage 2: Site Plan Approval

Stage 3: Construction Phase

- Demolition
- Site Stabilization
- Rough Framing
 - (Install Doors/ Windows, wall frames)
- Exterior Work
 - Siding, Brickwork, or relevant exterior covering and relevant inspections
 - Parking Lot Repairs or new construction and relevant inspections
 - Exterior Concrete Work (repair sidewalks and construct new walkways)
 - Fencing and Dumpster Encloser and relevant inspections
 - Security Bollard installation
- Rough HVAC
- Rough Plumbing
- Rough Electrical
- Rough Inspections
 - (Mechanical, Plumbing, Electric, Frame)
- Insulation
- Insulation Inspection
- Drywall
- Drywall Inspection
- Flooring
- Final HVAC
- Final Plumbing
- Final Electrical
- Interior Painting
- Final MEP inspections
 - (Mechanical, Electric, Plumbing)

- Trim and Finish Carpentry
 - Install Cabinets
 - Install Handrails
 - Door Hardware
 - Door Thresholds
- Exterior Painting
- Final Inspection
- Sign Installation
- Landscaping

Stage 4: Occupancy Phase

- Certificate of Occupancy
- Install of Furniture and Fixtures

Attachment 4

Nonrefundable Application Fee

Enclosed please find a check from the applicant in the amount of One Thousand Dollars (\$1,000.00).

This is the fee listed for an Special Use Permit Review in the 2024 Meridian Township Fee Schedule.

Project:

**Proposed Adult-Use
Marijuana Retailer**

4366 Hagadorn Rd
Okemos, MI 48864

Designed J. GUMMA

Drawn L. NSEIR

Approved S.S. SEGAL

Scale AS NOTED

Notes

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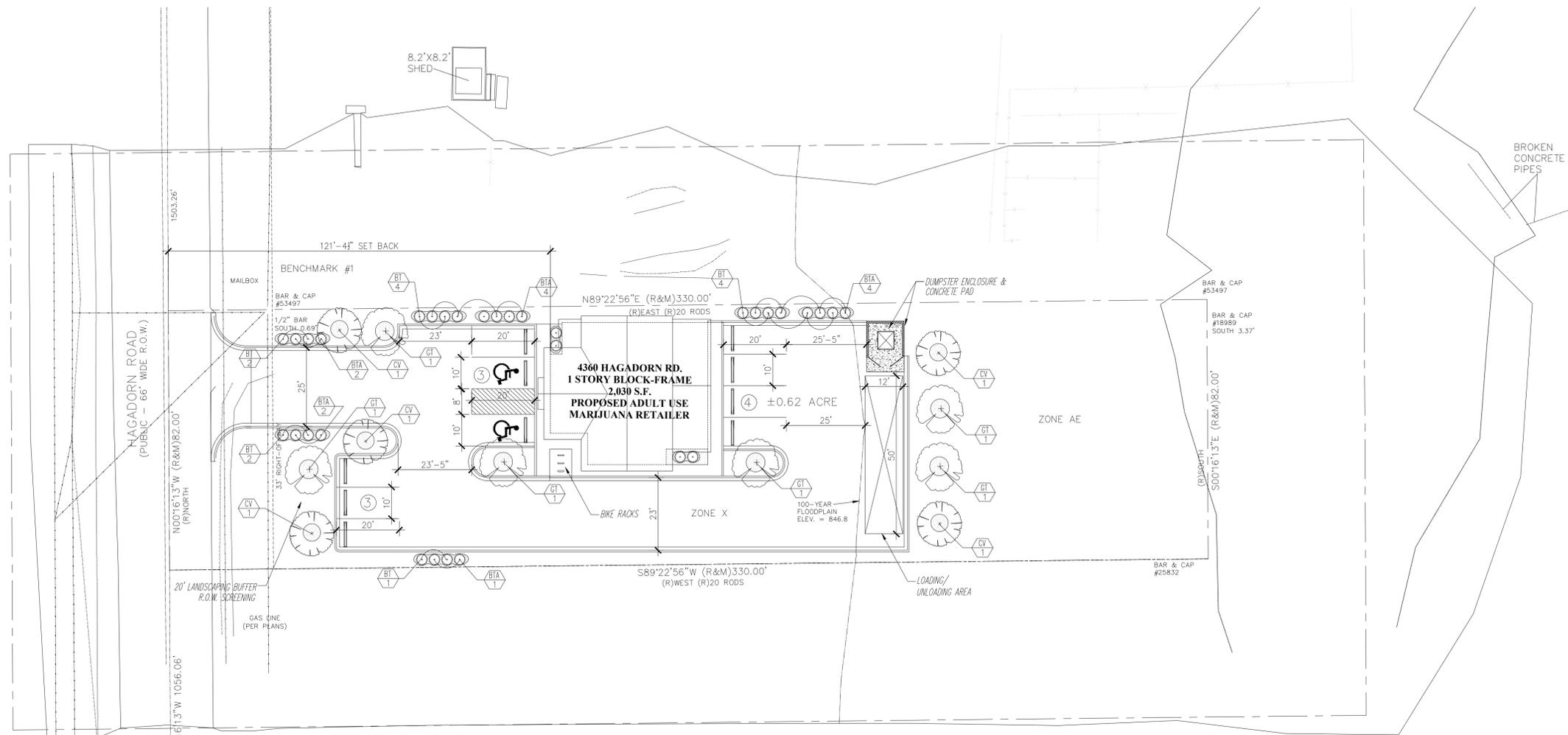
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and Number

SITE PLAN



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



NOTE:
STRIPE LOT AS INDICATED.

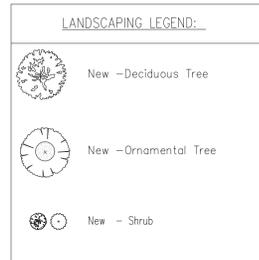
NOTE:
PROVIDE 6" CONC. CURB AROUND ALL NEW LANDSCAPE AREAS. SEE SITE DETAILS SHEET.

NOTE:
ALL LANDSCAPED AREAS WILL BE AUTOMATICALLY IRRIGATED.

NOTE:
ALL MULCH IS TO BE A MINIMUM OF 6".

NOTE:
LANDSCAPE AND TURF AREAS SHALL BE IRRIGATED TO MAINTAIN PLANT MATERIALS IN GOOD AND HEALTHY CONDITION.

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE AS INSTALLED	NOTES
BT	18	Berberis Thunbergii "Atropurpurea"	Japanese Barberry "Crimson Pygmy"	3 gal. pot 5" O.C.	Deciduous - Shrub
GT	7	GLEDITSIA TRIACANTHOS "INERMIS"	THORNLESS HONEYLOCUST	2 1/2" C. B&B	Deciduous - Tree
CV	35	CRATAEGEUS VIRIDIS "WINTER KING"	WINTER KING "GREEN HAWTHORN"	2" B&B 6' FIRST BRANCH	Ornamental - Tree
BTA	17	BERBERIS THUNBERGII "AUREA"	JAPANESE BARBERRY "AUREA"	5 GAL. POT 5" O.C.	Deciduous - Shrub



LEGAL DESCRIPTION:
(As provided)
TAX ID: 33-02-02-29-151-003
COM. AT PT. 64 RDS. N OF W 1/4 POST-N 82 FT-E 20 RDS-S 82 FT-W 20 RDS TO BEG., SEC. 29, T4N R1W

AS SURVEYED:
(The following legal description describes the same parcel of land as the provided description)
A parcel of land in the Northwest 1/4 of Section 29, T4N, R1W, Meridian Township, Ingham County, Michigan, the surveyed boundary of said parcel described as: Commencing at the West 1/4 corner of said Section 29; thence N00°16'13"W along the West line of said Section 29 a distance of 1056.06 feet to the point of beginning of this description; thence N00°16'13"W continuing along said West line 82.00 feet; thence N89°22'56"E 330.00 feet; thence S00°16'13"E parallel with said West line 82.00 feet; thence S89°22'56"W 330.00 feet to the point of beginning; said parcel containing 0.62 acre, more or less, including 0.06 acre, more or less, presently in use as public right-of-way for Hagadorn Road; said parcel subject to all easements and restrictions, if any.

WITNESSES TO SECTION CORNERS:
West 1/4 corner Section 29, T4N, R1W, Liber 8, Page 449
Found Remon bar & cap in monument box in C/L of Hagadorn Road
Found nail & tag in East side utility pole, S20°W, 89.39'
Found nail & tag in East side fence post, N55°W, 57.23'
Found nail & tag in East side utility pole, N20°W, 125.61'
Found nail & tag in Southwest side 4" maple tree, West, 40.06'
Northwest corner Section 29, T4N, R1W, Liber 8, Page 447
Found Remon bar & cap in monument box in C/L of Hagadorn & Mt Hope Roads
Found nail & tag #18994 Northwest side power pole, N42°E, 70.08'
Found nail & tag #25832 Northwest side power pole, N65°E, 69.26'
Centerline of fire hydrant, S57°E, 75.86'
Centerline of gas valve, S55°W, 56.45'

USES	PARKING SPACE REQUIREMENTS	PARKING REQUIRED
4366 Hagadorn Rd PROPOSED MARIJUANA RETAILER (RETAIL USE) 2,030 GSF	FIVE (5) PARKING SPACES PER EACH ONE THOUSAND (1,000) SQUARE FEET OF USEABLE FLOOR AREA.	2,030 ÷ 250 = 9 SPACES REQUIRED.
HANDICAP SPACES	ONE (1) PARKING SPACE PER EACH 25' SPACES ON SITE	6 SPACES ÷ 25 = 1 SPACE REQUIRED
LOADING AREAS	ALL LOADING AREAS SHALL BE LAID OUT IN THE DIMENSIONS OF 10' X 80' WITH A CLEARANCE OF AT LEAST 14' IN HEIGHT.	1 LOADING AREA REQUIRED.
TOTAL PARKING REQUIRED:		9
PARKING PROVIDED:		10
HANDICAP SPACES PROVIDED:		1
LOADING AREAS PROVIDED:		2

Project:

**Proposed Adult-Use
Marijuana Retailer**

4366 Hagadorn Rd
Okemos, MI 48864

Designed J. GUMMA

Drawn L. NSEIR

Approved S.S. SEGAL

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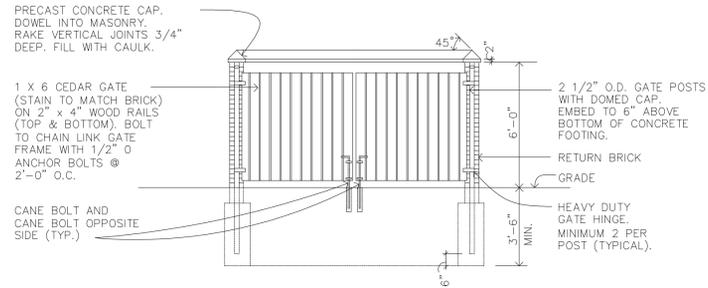
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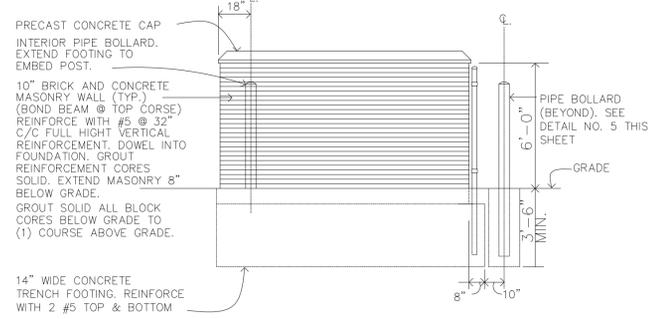
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and Number

SITE DETAILS

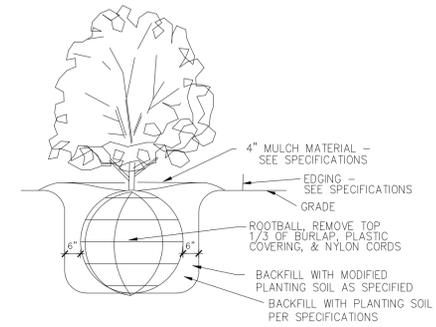
S-2



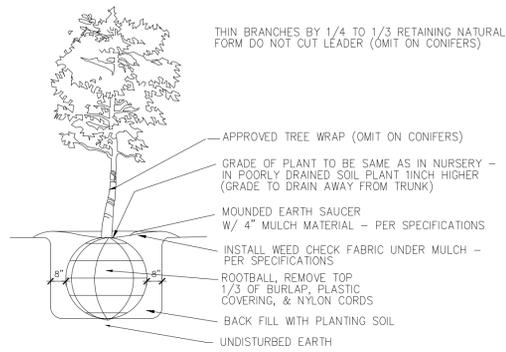
1
S-3
DUMPSTER ENCLOSURE
FRONT ELEVATION
SCALE: 1/4"=1'-0"



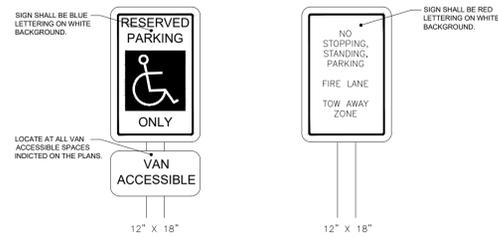
2
S-3
DUMPSTER ENCLOSURE
SIDE ELEVATION
SCALE: 1/4"=1'-0"



3
S-3
SHRUB PLANTING DETAIL
SCALE: NONE

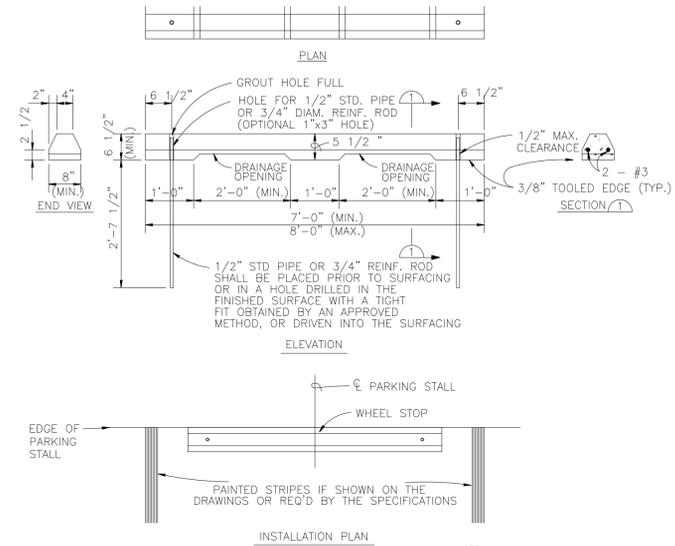


4
S-3
DECIDUOUS TREE PLANTING DETAIL
SCALE: NONE



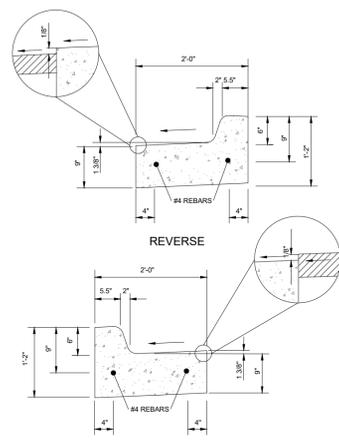
NOTE:
1. REFER TO THE MUTCD FOR OTHER SIGN DIMENSIONS.
2. BARRIER FREE PARKING SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.
3. ALL REGULATORY AND TRAFFIC CONTROL SIGN SHALL COMPLY WITH MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), AND ANY OTHER APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS.
4. COORDINATE SIGN LOCATIONS WITH LANDSCAPING AS REQUIRED.
5. ALL REGULATORY SIGNS SHALL BE REFLECTORIZED OR ILLUSTRATED TO SHOW SAME SHAPE AND COLOR BOTH BY DAY AND BY NIGHT.
6. SIGN BACKING MATERIAL SHALL BE .007" ALUMINUM UNLESS NOTED OR OTHERWISE REGULATED.
7. ILLUMINATED SIGNS SHALL BE UL LISTED OR APPROVED EQUIVALENT.
8. REGULATORY SIGN POSTS AND SIGN BACKS TO BE PAINTED WITH A SEMI-GLOSS ALIPHATIC ACRYLIC POLYURETHANE TO MATCH PMS BLACK 622K.
9. ALL SIGNS INSTALLATION SHALL FOLLOW THE MANUFACTURER'S INSTRUCTIONS AND AS INDICATED BY THESE PLANS.
10. DRIVE ANCHOR POST AND ANCHOR SLEEVE INTO THE GROUND TOGETHER LEAVING A MAX. OF ONE HOLE EXPOSED FOR BOLT CONNECTION. FOR HAND INSTALLATION, DRIVE CAP OF PROPER SIZE SHALL BE USED TO PREVENT DAMAGE TO TUBING. SREWALK SHALL BE POURED AROUND ANCHOR SLEEVE OR EXISTING SIDEWALK SHALL BE CORE DRILLED AND REPAIRED AROUND THE SLEEVE.
11. INSERT SIGN POST INTO ANCHOR ASSEMBLY APPROXIMATELY 1/2" TO 3/4" AND BOLT IN PLACE.
12. INSTALLED SIGN AND POST SHALL BE PLUMB AND FREE OF VERTICAL AND LATERAL MOVEMENT.
13. ALL TUBING SHALL BE #12 U.S. STD. GAGE WALL THICKNESS.

5
S-3
PARKING SIGNAGE
SCALE: NONE



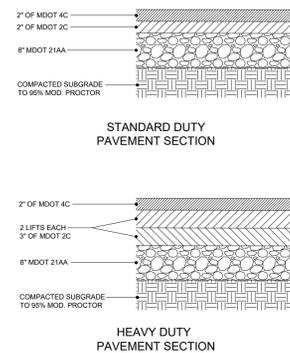
6
S-3
PARKING BLOCK
SCALE: NONE

NOTE:
DETAIL IS INCLUDED TO DEMONSTRATE INTENT ONLY AND MAY OR MAY NOT BE SUBJECT TO AVAILABILITY OF PRECAST PARKING BLOCK STYLES.



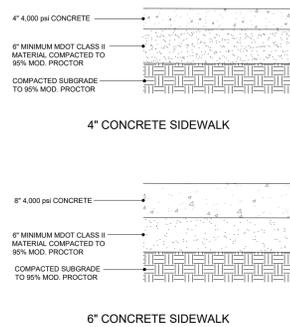
NOTE:
1. USE MDOT 3P CONCRETE UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL SMOOTHLY TRANSITION BETWEEN STANDARD AND REVERSE CURB.
3. ALL CURB & GUTTERS WILL BE SAME HEIGHT & WIDTH WITH NO VARIANCES ON STRAIGHT LINE RUNS OR RADII UNLESS A TAPERING HEIGHT CURB IS CALLED FOR ON THE PLANS. ALL WIDTHS SHALL REMAIN THE SAME.

7
S-3
CONCRETE CURB & GUTTER
SCALE: NONE



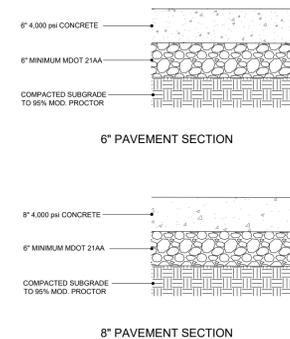
NOTE:
1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. THE PLACEMENT OF THE FINAL LIFT OF ASPHALT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION HAS BEEN COMPLETED, OR AS DIRECTED BY THE ENGINEER.
3. A BOND COAT OF SS-1H EMISSION SHALL BE APPLIED AT A RATE OF 0.15 (MIN) BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENT.

8
S-3
HMA PAVEMENT
SCALE: NONE



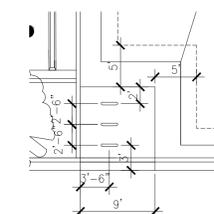
NOTE:
1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT CLASS II MATERIAL.
2. BROOM FINISH SURFACE.
3. IF NOT INDICATED ON THE PLANS THE CONTRACTOR SHALL SUBMIT A JOINTING PLAN PRIOR TO PLACEMENT OF CONCRETE PAVEMENT.
4. JOINTS SHALL BE SAWCUT AS SOON AS PAVEMENT CAN SUPPORT MACHINE.
5. AN EXPANSION JOINT SHALL BE PLACED BETWEEN NEW WALKS AND EXISTING PAVEMENT AND/OR BUILDINGS.

9
S-3
CONCRETE SIDEWALK
SCALE: NONE



NOTE:
1. IF ANY OF THE EXISTING BASE CANNOT BE UTILIZED, IT SHALL BE REMOVED AND REPLACED WITH MDOT 21AA MATERIAL.
2. BROOM FINISH SURFACE.
3. IF NOT INDICATED ON THE PLANS THE CONTRACTOR SHALL SUBMIT A JOINTING PLAN PRIOR TO PLACEMENT OF CONCRETE PAVEMENT.

10
S-3
CONCRETE PAVEMENT
SCALE: NONE



11
S-3
BIKE RACKS AREA DETAIL
SCALE: NONE

Project:

**Proposed Adult-Use
Marijuana Retailer**

4366 Hagadorn Rd
Okemos, MI 48864

Designed J. GUMMA

Drawn L. NSEIR

Approved S. SEGAL

Scale AS NOTED

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Sheet Title
and Number

PROPOSED FLOOR
PLAN

A-1

NOTE
ALL MARIJUANA PRODUCTS SHALL BE IN SECURED ROOM. ALL ACTIVITIES RELATED TO MARIJUANA FACILITY WILL BE DONE INDOOR.

NOTE
NO SALE OF ALCOHOL IN PREMISES A DRUG AND ALCOHOL AWARENESS PROGRAM WILL BE MADE AVAILABLE TO THE PUBLIC.

NOTE
HOURS OF OPERATIONS BETWEEN 7:00 AM AND 9:00 PM.

NOTE
ALL PUBLIC AREAS ARE SEPARATED FROM RESTRICTED AREAS AND EMPLOYEE AREAS WITH LOCKED DOORS.

NOTE
FACILITY WILL BE AT ALL TIMES LOCKED, INCLUDING INTERIOR ROOMS, ALL WINDOWS, ANY POINTS OF ENTRY AND EXITS WITH COMMERCIAL GRADE LOCKS, AND AN ALARM MONITORING SYSTEM. MARIJUANA WILL BE STORED INSIDE OF BUILDING ONLY.

NOTE
LOCKING SAFES ARE LOCATED IN THE VAULT ROOM AND AFFIXED TO THE PREMISES TO STORE ALL PROCESSED MARIJUANA AND CASH REMAINING IN THE FACILITY OVERNIGHT. PRODUCTS IN REFRIGERATORS WILL ALSO BE LOCKED TO COMPLY WITH CITY REQUIREMENTS.

WALL LEGEND

NEW INTERIOR WALL CONSTRUCTION:

NEW EXTERIOR WALL CONSTRUCTION:

NOTE
ALL ELECTRICAL N.E.C. COMPLIANT

NOTE
ALL AIR HANDLING UNIT WILL BE SET TO MAINTAIN NEGATIVE PRESSURE INSIDE OF BUILDING.

NOTE
AIR SCRUBBERS AND FILTERS (AS) WILL BE INSTALLED IN ALL ROOMS CONTAINING MARIJUANA PRODUCTS.

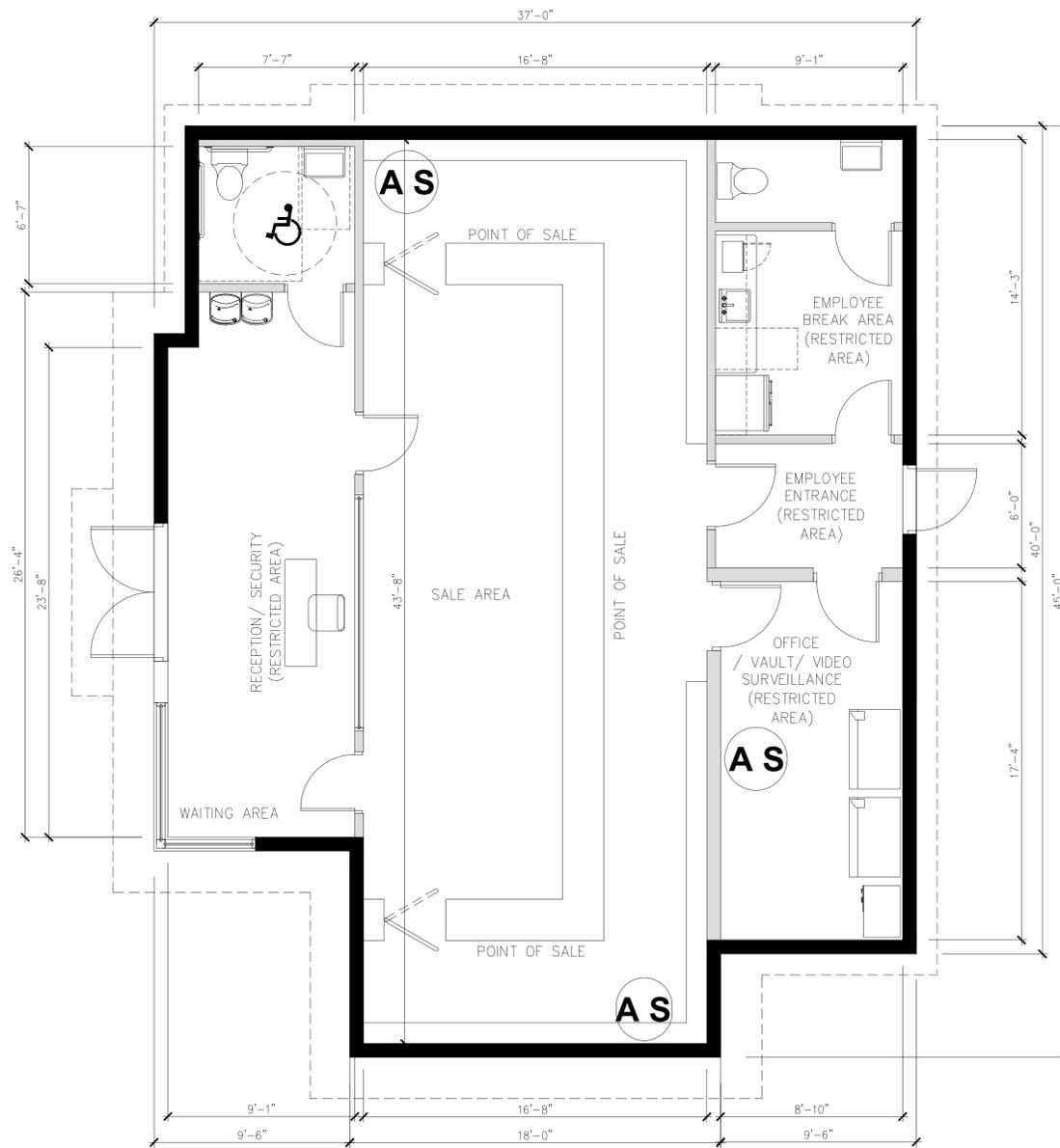
NOTE
DELIVERY THROUGH BACK DOOR PRODUCT INTAKE ROOM, TRANSFER TO VAULT ROOM.

NOTE
WALLS TO BE 1 HOUR FIRE RATED.

NOTE:
ALL DOORS SHALL HAVE COMMERCIAL GRADE LOCKS

NOTE:
LEVER HANDLES ARE REQUIRED FOR ALL DOORS.

NOTE:
ALL DOORS SHALL HAVE A 32" MINIMUM CLEAR OPENING.



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"
NORTH

Project:

**Proposed Adult-Use
Marijuana Retailer**

4366 Hagadorn Rd
Okemos, MI 48864

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Drawn L. NSEIR
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Sheet Title and Number

SECURITY FLOOR PLAN

NOTE

ALL FACILITIES, MARIJUANA ADULT USE RETAILER OPERATIONS SHALL INSTALL AND MAINTAIN AN ALARM SYSTEM AND SHALL HAVE A VIDEO SURVEILLANCE SYSTEM, THAT AT A MINIMUM, CONSISTS OF DIGITAL OR NETWORK VIDEO RECORDERS, CAMERAS CAPABLE OF MEETING THE RECORDING REQUIREMENTS OF THE ACT, VIDEO MONITORS, DIGITAL ARCHIVING DEVICES AND A COLOR PRINTER CAPABLE OF DELIVERING STILL PHOTOS. RECORDINGS SHALL AT A MINIMUM BE IN THE FOLLOWING AREAS: ANY AREAS WHERE MARIJUANA PRODUCTS ARE WEIGHED, PACKED, STORED, LOADED AND UNLOADED FOR TRANSPORTATION, PREPARED, OR MOVED WITHIN THE FACILITY, LIMITED-ACCESS AREAS AND SECURITY ROOMS AND TRANSFER AREAS BETWEEN ROOMS, ENTRANCE AND EXITS AREAS FROM BOTH INTERIOR AND EXTERIOR VANTAGE POINTS, POINTS OF SALE OR AREAS WHERE PRODUCTS ARE DISPLAYED.

SECURITY CAMERAS SHALL BE INSTALLED AS SHOWN AND OPERATED IN THE ESTABLISHMENT 24-HOURS PER DAY, 365 DAYS PER YEAR, AND SHALL BE DIRECTED TO RECORD ONLY THE SUBJECT PROPERTY.

NOTE

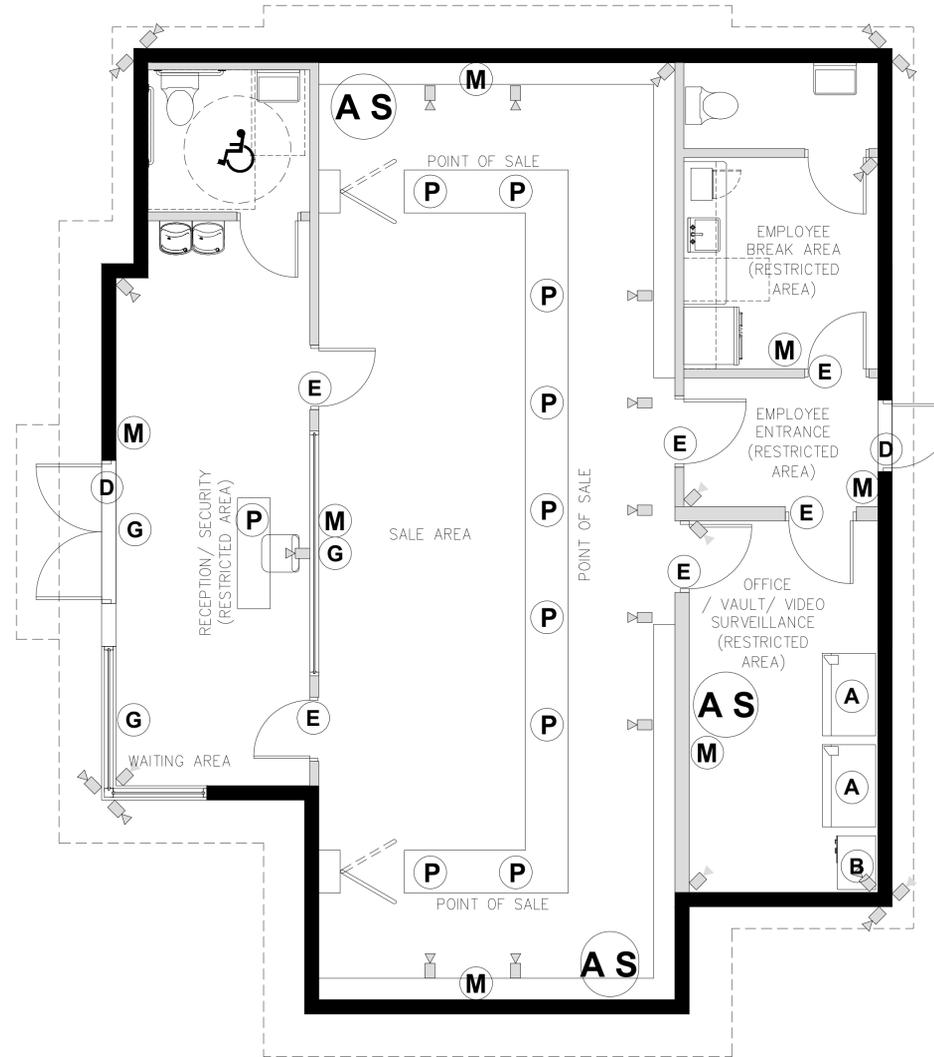
A SECURITY GUARD WILL BE PRESENT DURING BUSINESS HOURS.

SECURITY LEGEND

- SECURITY CAMERA
- DOOR W/ ELECTRIC LOCK - RFID CARD
- MOTION SENSOR
- DOOR CONTACT
- SILENT BUTTON
- GLASS BREAK SENSOR
- MESA MTLF 7236C HIGH SECURITY BURGLARY SAFE - PERMANENTLY SECURED TO CONCRETE FLOOR
- MESA MFL 2731EE DEPOSITORY SAFE - PERMANENTLY SECURED TO CONCRETE FLOOR

NOTE

THE FACILITY SHALL CONTINUOUSLY MONITOR THE ENTIRE PREMISES, INTERIOR AND EXTERIOR WITH SURVEILLANCE SYSTEM THAT INCLUDE A HIGH DEFINITION SECURITY CAMERAS WITH 1080 QUALITY OPERATING 24 HOURS A DAY, SEVEN DAYS A WEEK.



SECURITY FLOOR PLAN

SCALE: 1/4" = 1'-0"



Project:

**Proposed Adult-Use
Marijuana Retailer**

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Okemos, MI 48864

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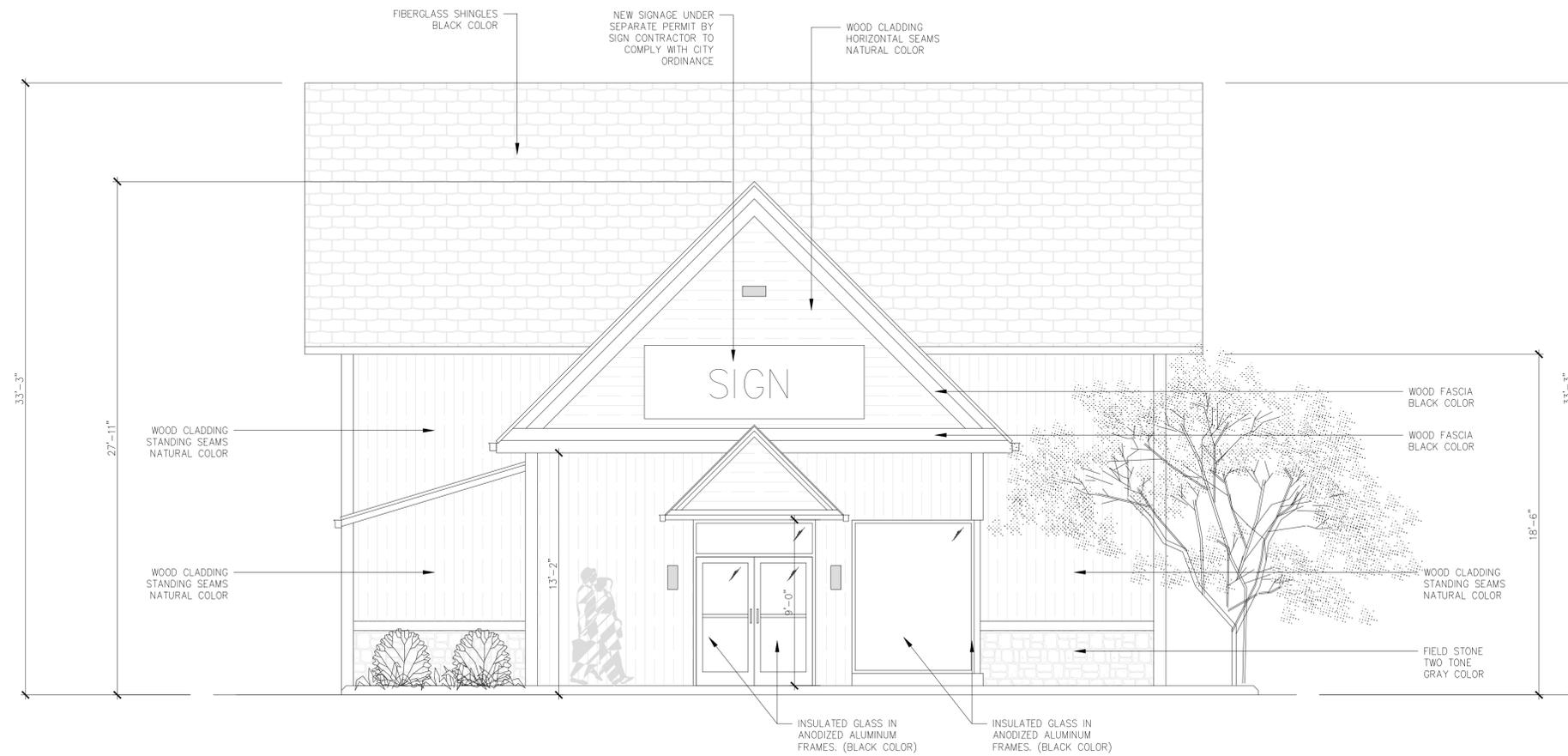
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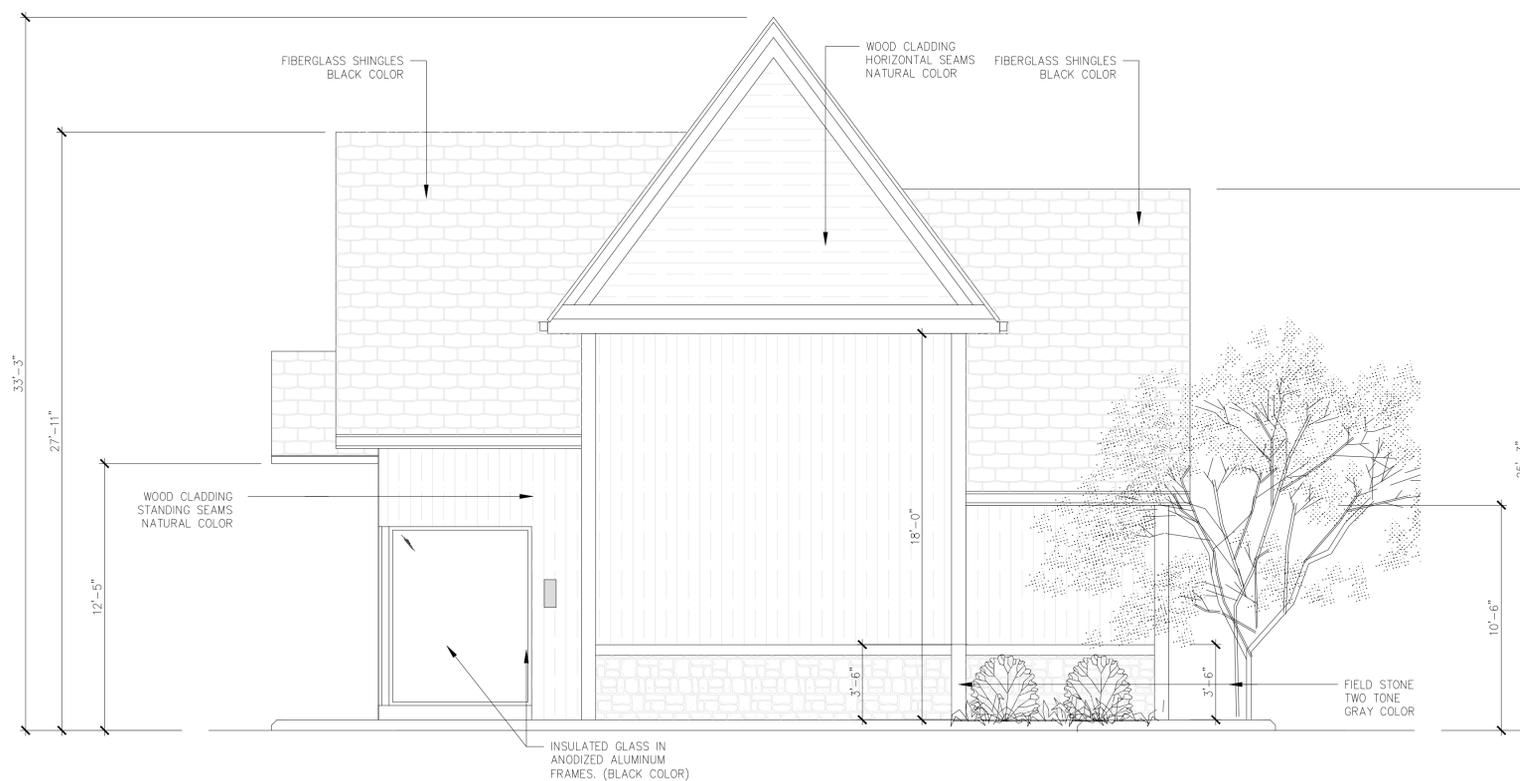
Sheet Title
and Number

ELEVATIONS



WEST ELEVATION

SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

Project:

**Proposed Adult-Use
Marijuana Retailer**

4366 Hagadorn Rd
Okemos, MI 48864

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Do not scale drawings. Use given dimensions only. If not shown, verify correct dimensions with Gumma Group.

Contractor shall check and verify all dimensions conditions at job site.

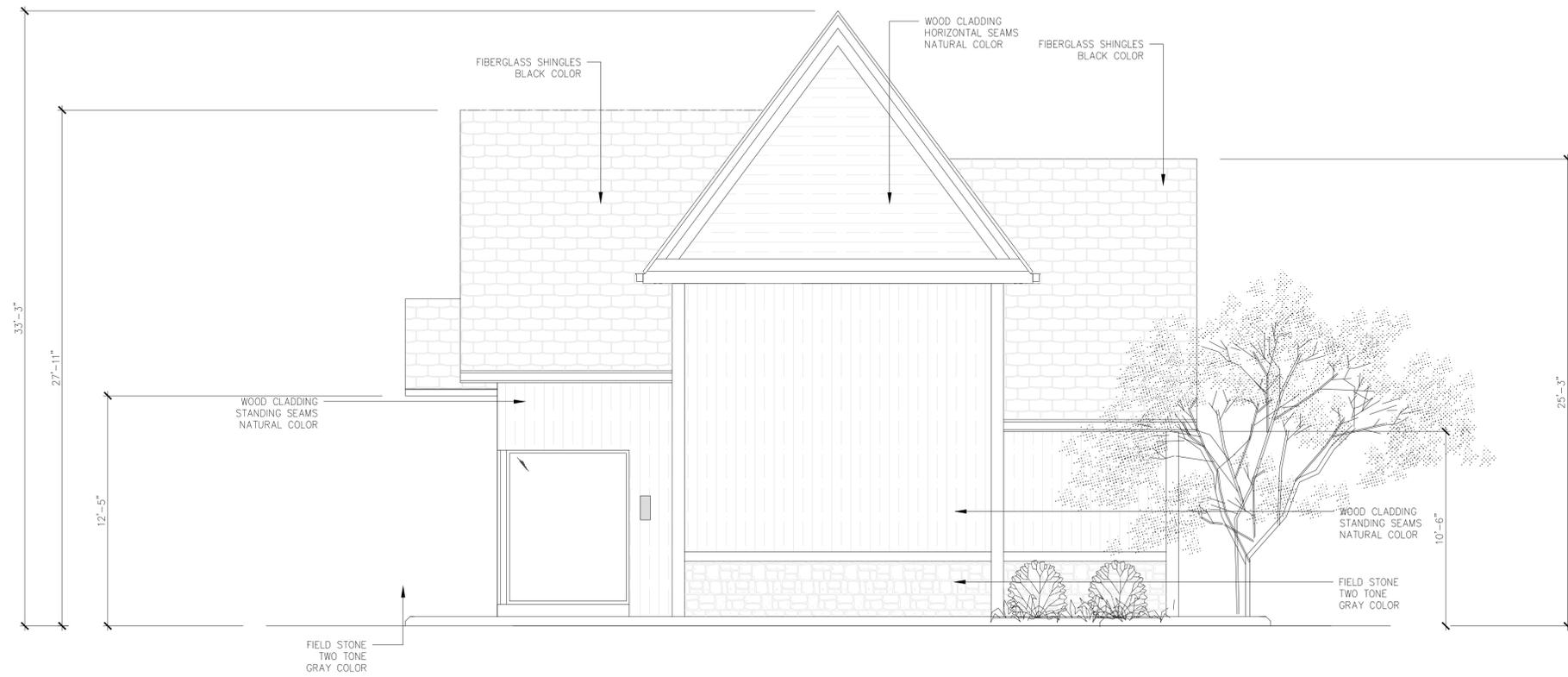
Project No. _____

Issued

ISSUE DATE 01/30/25

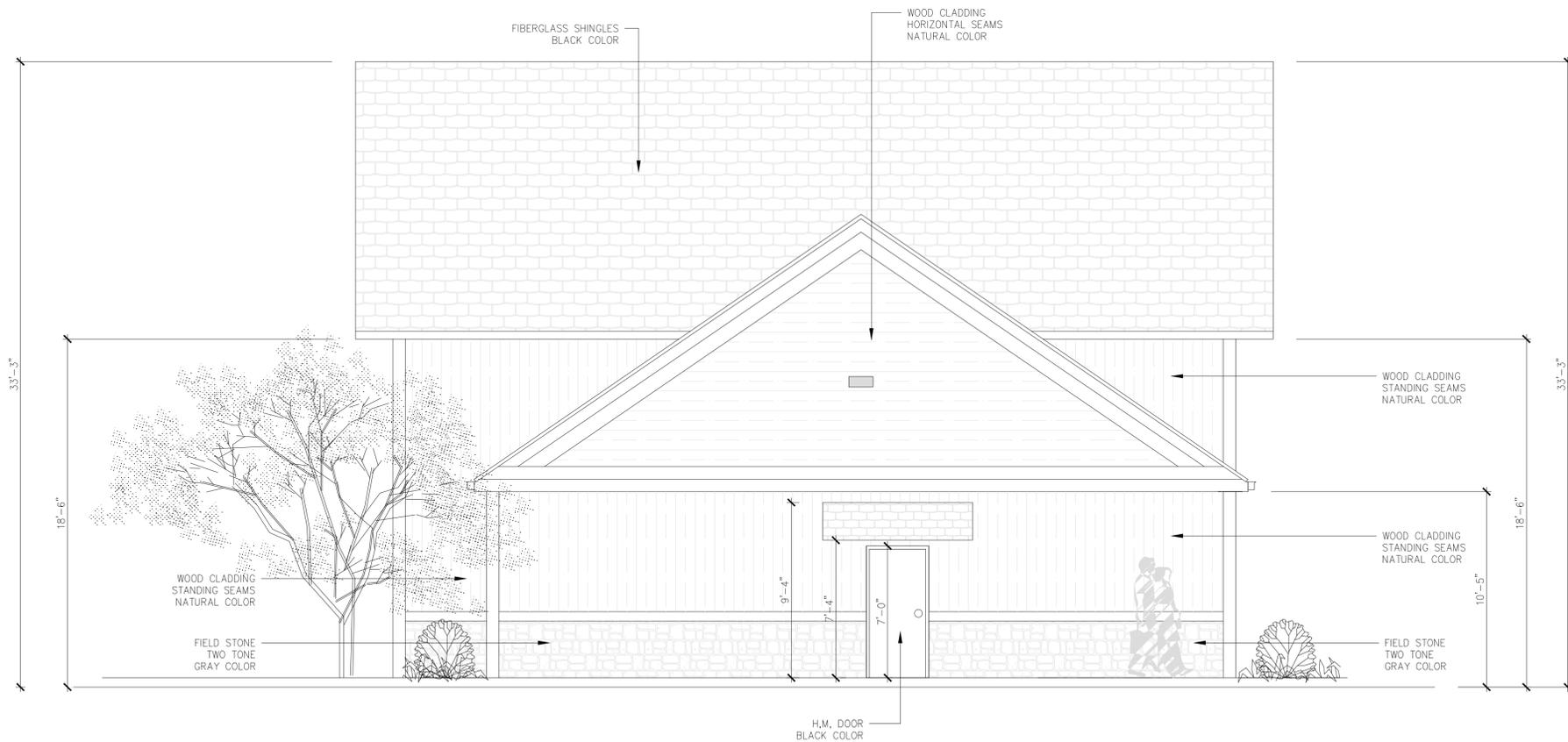
Sheet Title
and Number

ELEVATIONS



NORTH ELEVATION

SCALE: 1/4" = 1'-0"



EAST ELEVATION

SCALE: 1/4" = 1'-0"

Attachment 7

Business Operations Plan

Enclosed please find a copy of applicant's Business Operations Plan. This Business Operations Plan was previously attached to the supplemental application submitted by applicant on or around March 27, 2024. Among other things, this Business Operations Plan addresses the following criteria set forth in the Special Use Permit Application Form:

- The hours of operation for applicant's proposed business;
- The security plan for applicant's proposed business;
- Applicant's proposed cannabis waste disposal procedures; and
- Applicant's proposed odor mitigation procedures.

Business and Operations Plan

Okemos Local Investments LLC

FACILITY DESCRIPTION/BUSINESS PLAN OVERVIEW

Okemos Local Investments LLC (the "Company") is seeking to operate a marihuana retailer which is capable of selling licensed marihuana to adults 21 years of age or older. The Company's mission is to provide high-quality, usable marihuana products and accessories to adults 21 years of age or older. The Company anticipates employing between 10 to 15 employees depending on workforce eligibility and availability.

SECURITY PLAN

The need for security with the operation of any Marihuana Facility is obvious. The Company will enact security measures to ensure the safety and protection of company assets, workers, and those located near the business. It is the belief of the Company that a multi-tier security system will optimize the security of the facility. A multi-tier security system for purposes of this Plan means multiple layers of security, implemented in a manner so that each layer complements or supplements the next. To effectively and efficiently explain each layer this Plan will be organized in the following manner:

- I. Building and Perimeter Security Plan**
 - Physical Barriers
 - On-site Security
 - Alarm Systems
 - Signage
 - Building and Fire Safety
- II. Interior Security Plan**
 - Physical Barriers
 - Signage
- III. Secured Storage Security Plan**
 - Physical Barriers
 - Access Points
 - Activity Monitor
 - Other Security Measures
- IV. EMPLOYEE SECURITY TRAINING**

- I. Building and Perimeter Security Plan**

Physical Barriers

Steel bollards or concrete barriers, concealed by landscaping and/or a wood facade, will be used to ensure that the property is not vulnerable to "smash and grabs," where robbers "ram" their vehicle into the side of the property. Our external physical barriers will be strong enough to withstand this type of attack and to make it a non-viable method of entry.

All external entry points will have steel doors and frames with controlled access.

All doors are commercial steel and will have high grade locks. Security doors installed throughout the interior of the facility allow for the restricted access to all areas requiring an elevated level of security.

On-site Security

Security cameras will monitor all vantage points on the property. Security cameras on the exterior of the building shall run continuously 24/7/365 and capture at least 4MP resolution. Cameras used by the facility can be programmed to include state of the art face and license plate recognition software. Perimeter cameras will be installed so that they are permanently mounted in a fixed location and in a manner and position that protects them from potential tampering.

Vehicular traffic entering and exiting the premises will be encouraged to reduce their speed by way of signs placed alerting drivers to reduce speed in the parking area, near the sidewalks, and near exits and entrances.

The preliminary location of these security cameras is included in the attached CCTV Floor Plan along with a quote from Digital Protection Systems.

Alarm Systems

Alarm systems will monitor all possible entrances from the exterior of the building. Alarms will also be strategically placed in any window front areas, and will have fail safe alert technology built in. Alarm systems protecting portions of the property from forced entry will be sensitive to motion and any forced entry. All alarm systems used will meet all applicable State requirements. The Company plans to use a central station monitoring service to provide 24/7/365 coverage in responding to any alarm signals received from the facility.

The Company will use Digital Protection Systems for alarm services at the facility. Digital Protection Systems will have a 24 hour monitoring service contracted to monitor for robbery and unauthorized entry of any type. All doors and windows of the facility will be fitted with sensors to detect entry. Motion sensors will be mounted inside each room of the facility to protect against any bypass of entry sensors. The alarm system will also monitor the access of all secured storage areas keeping a record of the times and date of access. The alarm system installed shall use both a mobile and landline connection to the monitoring component to ensure reliability and redundancy.

The facility will also have fire and carbon monoxide alarms in the facility. (e) Upon request, the facility shall make available to any regulatory or law enforcement agency all information related to the alarm system, monitoring, and alarm activity.

The alarm system will be registered with the Charter Township of Meridian, Michigan as required by local city codes or ordinances. The alarm system will be supported by a battery backup in order to maintain function during a power interruption to the facility. Notifications to police and management will be sent in the event of an alarm.

Signage

Along the perimeter and where appropriate signage will be posted to educate the public about the security measures taken by the Company. Such signage includes but is not limited to:

- Premises under 24 hr Video Surveillance
- No Trespassing
- Trespassers Will Be Prosecuted to The Full Extent of The Law
- Active Security Personnel On-Site
- Unauthorized Access Prohibited

The signage will be posted as a deterrent to any possible commission of a crime or security breach.

Building and Fire Safety

The facility construction will comply with the Stille-DeRossett-Hale single state construction code act, 1972 PA 230, MCL 125.1501 to 125.1531. All necessary Bureau of Fire Services inspections will be completed prior to open and on an annual basis thereafter. The facility will meet or exceed all requirements of the national fire protection association (NFPA) standard 1, 2018 edition. The facility will be open to inspectors upon request. More information is available in facility plan and included facility plan documents and site plans.

II. Interior Security Plan

Physical Barriers

The lobby area will be isolated and require a check in at the Reception Center. All entryways leading out of the lobby will be locked with buzz in, key, or key card accessible only. This will ensure traffic flow within the facility is controlled, coordinated, and traceable.

Upon review of appropriate documentation and confirmation of records, inspectors, visitors, and others will be granted access to whatever part of the facility they are entitled to be present in. Access will be allowed through buzz in or call in from an employee. Guests, visitors, and inspectors will always be accompanied by staff while within the facility.

All IDs will be checked for all public visitors in the first entry room before allowing into the waiting area and the purchasing area. Each employee selling marijuana products will check customers' drivers' license.

Security measures within the interior of the facility will be very intensive. Strategically placed around the rooms will be silent alarm triggers. The triggers will also act as law enforcement alerts and any trigger will immediately put a request in for emergency assistance.

There will be strategically placed cameras throughout the premises. Like the exterior cameras, the indoor cameras will be permanently affixed in position and in a manner that prevents tampering. Cameras will be placed to ensure they record all areas in which marijuana is weighed, packed, stored, loaded and unloaded, prepared, or moved within the facility. Interior exit and entrance cameras will act as a secondary support for exterior cameras placed above exits and entrances. Cameras will be high resolutions cameras (at least 4MP resolution). Indoor

cameras will be placed throughout the facility in all rooms including those not open to clients. These cameras will also be able to clearly record any activity occurring within twenty (20) feet.

Footage recorded by the Company cameras will be displayed on screens monitored by security personnel. Monitors used to view the live feed will be at minimum (32") to ensure a clear view of footage and time and date stamp. The Company will utilize onsite and cloud storage systems to store video footage. The secured hard drive will store recorded footage that is accessible for at least fourteen (14) days. This footage will be available on demand and upon request. Further, the Company will have at least one high quality laser color printer in the observation area. The printer will be able to provide photo quality stills from recorded images. The viewing room will also be under video surveillance and have a room specific sign in sheet. This will allow the Company to know who is responsible for viewing the live feed at what time. The video surveillance system will meet all applicable State requirements.

All recordings destroyed will only be destroyed in accordance with state requirements. Any footage that is part of an ongoing Township or State investigation will not be destroyed until given the appropriate clearance from Township or State employees. The employee destroying the recorded information will be forced by Computer software to enter their previously approved credentials before deleting. This will create a log and control access to the files.

All visitors to the facility will be accompanied at all times by Company personnel, when in any limited access areas. All facility entry, exit, and potential forced entry points will be securely locked, with commercial grade locks. Interior rooms and secured storage rooms will be equipped with the same commercial grade locks. All locks used in the facility will be compliant with NFPA 1, local fire codes, and Michigan building code, as required by state law. All access control systems will meet all applicable State requirements.

Signage

While inside the facility exits and entrances will be properly and clearly marked. Reception and other facility factors will be clearly marked so that traffic flow through the facility is able to be curbed and people are not where they do not belong. Additional security signs will be placed on the inside of the premises. Such signs include but are not limited to:

- Authorized Personnel Only
- Have ID Ready
- Video Recording in Progress
- No Entry
- Emergency Exit Only

The signs will be posted in areas where they are easily and clearly visible.

III. Secured Storage Security Plan

Physical Barriers

The Company is considering the use of a vault if it is determined that a secured storage room would not adequately protect Company products. The secured storage room will be used to

store new shipments and any excess marihuana not ready for wholesale. Beginning with the room, the initial security barrier will be a reinforced steel door that will have restricted access by way of key, keycard, or unique PIN.

If a secured storage area is determined to be the most adequate approach, the Company will place a GSA Certified Safe within the secured storage area. Only the Company's most valuable items will be stored within this safe. The primary use of this safe will be to ensure that if cash or liquid assets need to be stored for a short time they can be secured properly. To ensure compliance with Township code, the safe will be able to be permanently affixed to the property utilizing secure bolts.

Access Points

The area can only be accessed through the initial steel door, which will require anyone entering to have the appropriate security clearance. Entrance will require use of key, keycard, or pin. This will limit access and protect the marihuana and valuables inside. Access will be limited to a specified number of employees.

Activity Monitor

A log sheet will be kept in the room to confirm who enters, when they enter, what they remove from the area, time spent in the room, and time of exit. This will act as an activity monitor for all those with access to the area. All interactions in the area will be reviewed at the close of business. Along with the other logs collected throughout the facility, this activity log will be digitally recorded and archived at the close of business.

IV. EMPLOYEE SECURITY TRAINING

Pre-screening

All employees of the facility will undergo pre-employment screening for criminal activity and experience.

Cannabis will be labeled and inventoried into a regulatory complaint tracking system. Daily checks will be taken to ensure the integrity of the inventory system, and to ensure no employee theft or error has occurred that would affect accounting accuracy.

Any person at the facility, except for employees of the licensee, will be escorted at all times by the licensee or at least 1 employee of the licensee when in the limited-access areas at the marihuana facility.

Any employee who enters the facility will be subject to the random search of their personal belongings when they depart the facility or at any time security feels it necessary.

Employee instructions will cover the following:

1. Armed Robbery
 - 1) Employees must be told to remain calm, and to encourage anyone in the provision center to do the same.
 - 2) If possible, have someone dial 911 if they are out of sight of the perpetrators. If not, no one should risk their lives making the call.
 - 3) Try to observe carefully all details of the robbers dress, and noticeable scars or tattoos, voice patterns, height, and what direction they headed to when they exited the store.
2. Fire or other emergency
 - 1) The manager should evacuate the store
 - 2) If possible, stop the fire with one of the fire extinguishers, the staff should attempt to do so, but first dial 911 and notify them of the nature of the emergency.
 - 3) In the event the fire is too large to contain, ensure all rooms are vacated by calling into them, and also going into the manager's office and observing each room quickly through the closed circuit camera system.
 - 4) When everyone is outside, have them move a sufficient distance away from the building in order to facilitate the fire department or other emergency responders access to the building.
 5. Report any unwanted fire to the CRA and BFS within 1 business day as required by state administrative rules.
3. Inventory Misappropriation
 - 1) Inventory theft or misappropriation is usually discovered during a random audit, a shift change, or during a time when provision center employees are retrieving an order for a patient from the safe. In a cultivation facility, it is also found during a shift change, random audit, or when assembling inventory for transfer to the provision center.
 - 2) When theft or misappropriation of inventory is noticed, management should immediately be notified.
 - 3) When the theft is noticed , the beginning inventory sheet and current inventory sheet must be copied and sent to the internal controller.

- 4) The manager must file an incident report immediately upon finding inventory discrepancy.
4. Interruption of Electrical Service
 - 1) The manager should be alerted that there is a power outage, and the cultivation facility (if there is one) should also be notified.
 - 2) The computer system and the point of sale should be on battery backup.
 - 3) The provision center should announce it is closing due to the electrical outage, the management should apologize for the inconvenience, and that they will re-open immediately after power is restored, but that they cannot stay in the store when there is no power.
 - 4) Any refrigerated units should have a note posted not to open the door due to the power outage. The time of the outage should be recorded both in the manager's shift reconciliation sheet, and on any notes on the refrigerator so employees can tell if anything has spoiled.
 - 5) Employees should be safely escorted to their vehicles; however they may stay at the facility for up to an hour if it is daylight and if it is not the weather that is causing the disruption.
 - 6) The emergency lighting should come on during a power outage.

*****In compliance with the MMFLA the facility will notify the state police, and local law enforcement authorities within 24 hours of theft or loss of any marihuana product or criminal activity.**

STAFFING PLAN

The Company will seek to hire qualified staff prior to opening the facility. Employment opportunities will be posted on relevant job boards. The Company will extend offers of employment to any candidates it feels are qualified. However, employment will not be guaranteed until each prospective employee can pass a criminal background check according to the criminal background check standards set by the Company. Background checks will be administered prior to a formal employment offer. Employee records will be stored at the Company's offices.

The Company may bring on a facility general manager to oversee the operation of the facility.

All staff shall receive sufficient training before they are able to begin working within the facility.

The Company further anticipates contracting with a security or staffing company to provide security and maintenance services to the facility. The Company will conduct background checks on all employees. In total the Company anticipates employing between 10 to 15 employees depending on workforce eligibility and availability.

PRODUCTS TO BE SOLD

The Company plans to sell products in each of the following categories:

- Cannabis flower
- Vape cartridges
- Edibles
- CBD Oil Products
- THC Oil Products
- Tinctures
- Topicals
- Cannabis clones
- Devices and accessories for the use of cannabis products

CHEMICALS

The Company does not anticipate the use of any nutrients, pesticides, or other chemicals at its marijuana retailer.

DISPOSAL / ODOR / SANITATION PLAN

The purpose of this Facility Disposal / Odor / Sanitation Plan is:

(1) Ensure that no marijuana waste product may be ingested by any person or animal. (2) Establish how marijuana waste product will be stored and disposed of. (3) Establishing how any marijuana will be rendered unusable upon disposal. (4) Provide general cleanliness standards to ensure employee and customer health and safety. (5) Reduce noticeable smell.

1. Cleanliness Standards

- a. At all times, the facility will be maintained in a clean and sanitary manner appropriate to ensure the health and safety of customers and employees alike.

- b. All displays will be cleaned and sanitized with an appropriate industrial sanitization agent at minimum twice per business day. All surfaces will be cleaned and/or sanitized when needed or appropriate.
- c. All floors and walls of the facility will be cleaned and sanitized with the appropriate industrial sanitization agent at minimum once per day. The ceilings of the facility are to be cleaned and sanitized as needed, but at minimum once per week.
- d. All kitchen or break areas for employee use will be maintained in a clean and sanitary condition at all times, and said area will be cleaned and sanitized at minimum of one time per business day.
- e. All bathrooms will be maintained in a clean and sanitary fashion. Employees and/or agents of the Business will maintain status checks on all bathrooms made available for use once every three (8) hours per business day; compliance will be ensured with a log detailing when the status check on said bathroom was made and what action was taken.

2. Implementation

- a. A designated employee of the Business will perform a daily sanitation and cleanliness inspection of all facilities upon the Business premises at the beginning and end of each business day.
- b. All sanitation and cleanliness inspections will be monitored and cataloged by the use of a daily log book.
- c. Each inspection will be logged and initialed by the inspecting employee. Any and all corrective actions required will also be noted on the log.

2. Corrective Actions

- a. When the manager determines that the facilities are not properly cleaned and/or sanitized the manager will instruct an employee and/or agent of the Business to take the required actions to bring the facility to an appropriate condition.
- b. An employee failing to take instructed corrective action may be sanctioned in an appropriate fashion including, but necessarily requiring, termination of employment.

3. Sanitation Facilities

- a. Okemos Local Investments will provide our employees with a sanitary and neat work environment:
 - i. Okemos Local Investments will provide employees with adequate and readily-accessible toilet facilities.
 - ii. Toilet facilities will be maintained in a sanitary condition;
 - iii. Toilet facilities will be adequately stocked with toilet paper, soap, and single use paper towels or other hand-drying devices;
 - iv. Toilet facilities will be kept in good repair at all time

- b. Okemos Local Investments must provide adequate and convenient hand-washing stations.
 - i. Hand washing stations must be provided with running water of suitable temperature;
 - ii. Hand washing stations must be provided with effective hand cleaning or sanitizing preparations and single use paper towels or other hand drying devices;
 - iii. Hand washing stations must be located at points in the facility where good sanitary practices require employees to wash or sanitize their hands; and
 - iv. Okemos Local Investments will also provide shower stalls in the future to allow employees to decontaminate while also ensuring no cross contamination between crops.
- c. Okemos Local Investments, in an effort to maintain a sanitary facility, will:
 - i. Design of operational areas to protect the work process and minimize the risk of contamination or adulteration;
 - ii. Protect cannabis from contact with birds, rodents, insects, and other animals and from exposure to the elements;
 - iii. Maintain common areas and delegate one authorized employee to maintain common space in the following manor;
 - iv. Vacuum, Mop and keep common, non-secured areas free of personal clutter of staff
 - v. Collect trash and other recyclable products from collection receptacles and place them in appropriate dumpsters for removal
 - vi. Maintain cleanliness of any common employee kitchen equipment. (Refrigerator, microwave, coffee maker).

5. Disposal and waste practices

- a. Cannabis Waste: must be composted or disposed of in a manner which prevents unauthorized use and such disposal must be documented with state monitoring system.
- b. All disposed of marihuana waste product will be rendered unusable upon disposal by an approved industry standard or procedure.
 - i. No marihuana waste product shall be rendered unusable by either: (1) on-site burning; (2) introduction into the sewerage system.
 - ii. Marijuana waste will be rendered unusable (mixing with kitty litter and ground into a fine powder) and placed into a secure dumpster.
- c. Waste will be weighed and entered into store inventory monitoring system as well as METRC when applicable by authorized employee.

- d. Cannabis powder will be added to non-cannabis mix product (soil) so that the ratio of cannabis to mix does not exceed 40% cannabis powder. Unusable mix will be placed in smell proof, opaque packaging to await disposal.
- e. Unrecognizable unusable waste will be placed in opaque packaging, by authorized employee, will be stored in locked receptacle until such time it can be disposed of by secure third party trash disposal and deposited at a manned waste facility.
- f. Cannabis waste will be stored locked storage for more than 10 days.

6. Locked Dumpster/Waste Facility

- a. Any and all waste generated by Okemos Local Investments will be disposed of in a locked dumpster located upon the premises.
- b. The dumpster facility will remain locked at all times while not in use by an employee and/or agent of Okemos Local Investments.
- c. Only employees associated with Okemos Local Investments and the waste management company owning the dumpster will have access to the locked dumpster facility.
- d. A designated agent of Okemos Local Investments will handle or supervise waste collection by employees to ensure that all waste is appropriately disposed of into the locked dumpster.

7. Security

- a. The locked dumpster facility will be continuously monitored by security cameras providing full view of the locked dumpster facility and the surrounding area.
- b. The installed security cameras will be in accordance with the Security Plan attached to this application.

8. Recycling Policy

- a. Okemos Local Investments will recycle as much materials and office waste as possible. We plan to contract an authorized and licensed waste management company. If none exist for recycling with appropriate credentials we will carry out these policies as a company and bring our own recyclable waste to recycling depots with our employees and infrastructure.
- b. We will have a strict policy of ensuring no sensitive data or information is released inadvertently more about this policy can be found in our recordkeeping and security plans. All paper waste will be shredded, if necessary before recycling. Non-sensitive paper waste will be collected at receptacles around the facility in order to be emptied by authorized

staff of Okemos Local Investments.

- c. Any and all recyclable waste generated by the Applicant will be disposed of in a locked dumpster facility located upon the premises of the Business.
- d. The dumpster facility will remain locked at all times while not in use by an employee and/or agent of the Business.
- e. Only employees associated with the Business and the waste management company owning the dumpster will have access to the locked dumpster facility.
- f. A designated agent of the Business will handle or supervise waste collection by employees to ensure that all waste is appropriately disposed of into the locked dumpster.

9. Trash Collection in Facility

- a. The Okemos Local Investments facility will have a precise schedule for collection of waste from trash and recycle bins from the entire facility.
- b. Authorized employees with empty receptacles daily at the end of their shift.
- c. Authorized employees and supervisors will be the only employees with key access to locks used on receptacle bins for non-cannabis waste and recyclables.
- d. Per waste removal contractor schedule authorized manager will unlock rendered unusable product storage bin so that waste can be transferred to dumpster so that it can be deposited in a manned facility.
- e. Authorized Okemos Local Investments employees will place waste in the appropriate locked receptacle outside in the locked parking area. (see site plan)
- f. Waste bins in potentially hazardous work environments will be collected at the end of shifts by employees authorized and trained to be in such areas.

10. Odor

- a. Carbon scrubbers clean the air.
 - i. These cycle air through the filter and charcoal in the filter cleans the air.
 - ii. Brand: Can Filters.
- b. IMPACT ON ADJACENT USES. The Company plans to employ a central air system on the property, a chimney and exhaust vents on the roof and a filtration system. The building is a standalone building and thus does not share a ventilation system with any non-marihuana establishment, non-marihuana facility, or other non-marihuana business. The company plans to utilize carbon filters for its filtration system, which will be adequate to eliminate odor outside of the permitted premises.

11. Material Safety Data Sheets for all nutrients pesticides and other chemicals proposed for use in the Commercial Medical Marijuana Facility:

- a. This retail facility will not have any nutrients, pesticides and other chemicals. This is a proposed retail facility that will use basic cleaning products such as isopropyl alcohol, lysol or clorox (data sheets included).

SOCIAL EQUITY

Social equity is important to Okemos Local Investments LLC. We are focused on the following goals as we invest and create jobs in Meridian Charter Township:

1. Prioritize the hiring of Meridian Charter Township residents
2. Prioritize the hiring of individuals who have been disproportionately impacted by marihuana prohibition, per the State of Michigan definition
3. Set a goal of hiring to having at least 15 percent of our workforce be individuals who have been disproportionately impacted by marihuana prohibition, per the State of Michigan definition
4. Prioritize the hiring of local contractors and laborers to make improvements to our marihuana establishment
5. Prioritize events and functions to assist those who have been arrested for marihuana with expungement of the arrest from their records
6. Work with Meridian Charter Township and community stakeholders to ensure we are working together to create opportunity in the community
7. Pay a living wage to our employees.

Okemos Local Investments LLC is committed to be an equal opportunity employer in every community it invests in. The goal of equal opportunity employment isto provide for a diverse, non-discriminatory environment of equal opportunities. In accordance with MDHHS and MIOSHA policy, it is also our mission tofacilitate a culture of equal opportunity regardless of age, color, disability, height, weight, genetic information, marital status, national origin, partisan consideration, race, religion, sex, and sexual orientation as defined by federal laws, state laws, and regulations in our relations with employees.

In order to ensure that this standard is upheld, we anticipate that we will:

- Regularly conduct performance evaluation of supervisors, if any, on their specific efforts to support MIOSHA's EEO policy.
- Establish a reporting system from which to analyze the status of employees.
- Cooperate with inquiries and investigations of equal employment opportunity complaints and participate, if required, in the hearing process.
- Work with persons in social equity communities, including appearances at job fairs, expos, and networking events.

--- Okemos Local Investments LLC

Technical Memo

SUBJECT: Hagadorn Dispensary Traffic Impact Assessment

TO: Sam Pernick – Okemos Local Investments

FROM: Michael Labadie, PE and Alyssa Wambold, PE, PTOE

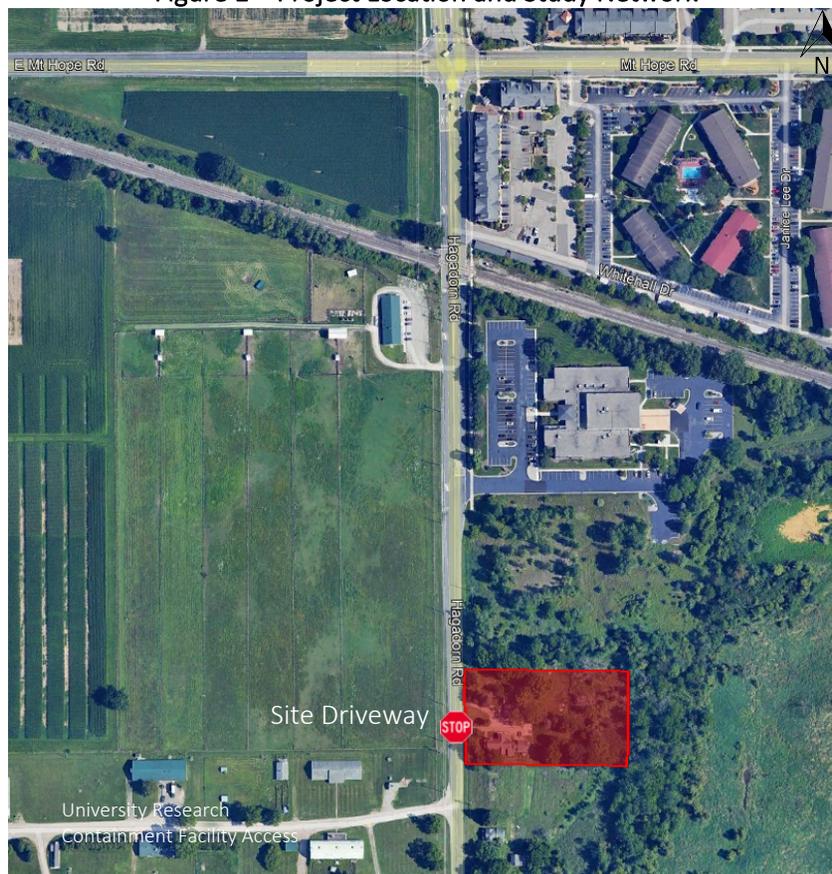
DATE: November 14, 2024

PROJECT NO.: 241751

Introduction

On behalf of Okemos Local Investments, Fishbeck has completed a traffic impact assessment (TIA) for a proposed dispensary located on the east side of Hagadorn Road between Bennett Road and Mt. Hope Road in Meridian Township, Ingham County, Michigan. The dispensary will be located in an existing 2,587 square foot (sq ft) building located at 4360 Hagadorn Road. The existing building will be renovated. Access to the site will be provided via one existing driveway. The development will be completed in one phase, assumed to be open and fully operational in 2025. The project and site driveway locations are displayed in Figure 1.

Figure 1 – Project Location and Study Network



Existing Traffic Volumes

Vehicular turning movement counts (TMCs) were collected at the following study intersection during the weekday morning (7 a.m. to 9 a.m.) and afternoon (4 p.m. to 6 p.m.) peak periods of the road network on Thursday November 7, 2024:

- Hagadorn Road and University Research Containment Facility Access

Traffic volume information is provided in Attachment 1.

Trip Generation

Using the information and methodologies specified in the *Trip Generation Manual*, Fishbeck forecast the weekday a.m. and p.m. peak hour trips associated with the proposed development. Table 1 presents the resulting trip generation for the development. Additional trip generation information is provided in Attachment 2.

Table 1 – Trip Generation for Proposed Development

ITE Land Use	LUC	Units	a.m. Peak Hour			p.m. Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Marijuana Dispensary	882	2,587 sq ft	14	13	27	25	24	49	547

Trip Distribution

The directions that site traffic will travel to and from were based upon existing traffic patterns during the a.m. and p.m. peak hours. Table 2 provides the probable distribution based on existing traffic patterns. The trip distribution data is presented in Attachment 3.

Table 2 – Trip Distribution

Direction	Via	a.m. Peak Hour		p.m. Peak Hour	
		To	From	To	From
North	Hagadorn Road	66%	34%	44%	56%
South	Hagadorn Road	34%	66%	56%	44%

Turn Lane Analysis

An evaluation was performed in accordance with MDOT guidance to determine if left turn passing lanes or right turn deceleration lanes should be considered at the site driveway. The results of the analysis indicated that no turn lane treatment is recommended at the site driveway. All turn lane charts are provided in Attachment 4. The results of the analysis are presented in Table 3.

Table 3 – Turn Lane Warrants

Intersection	Movement	Existing Treatment	Result
Hagadorn Road and Site Driveway	NB Right	None	No Treatment Recommended
	SB Left	None	No Treatment Recommended

Attachment 1

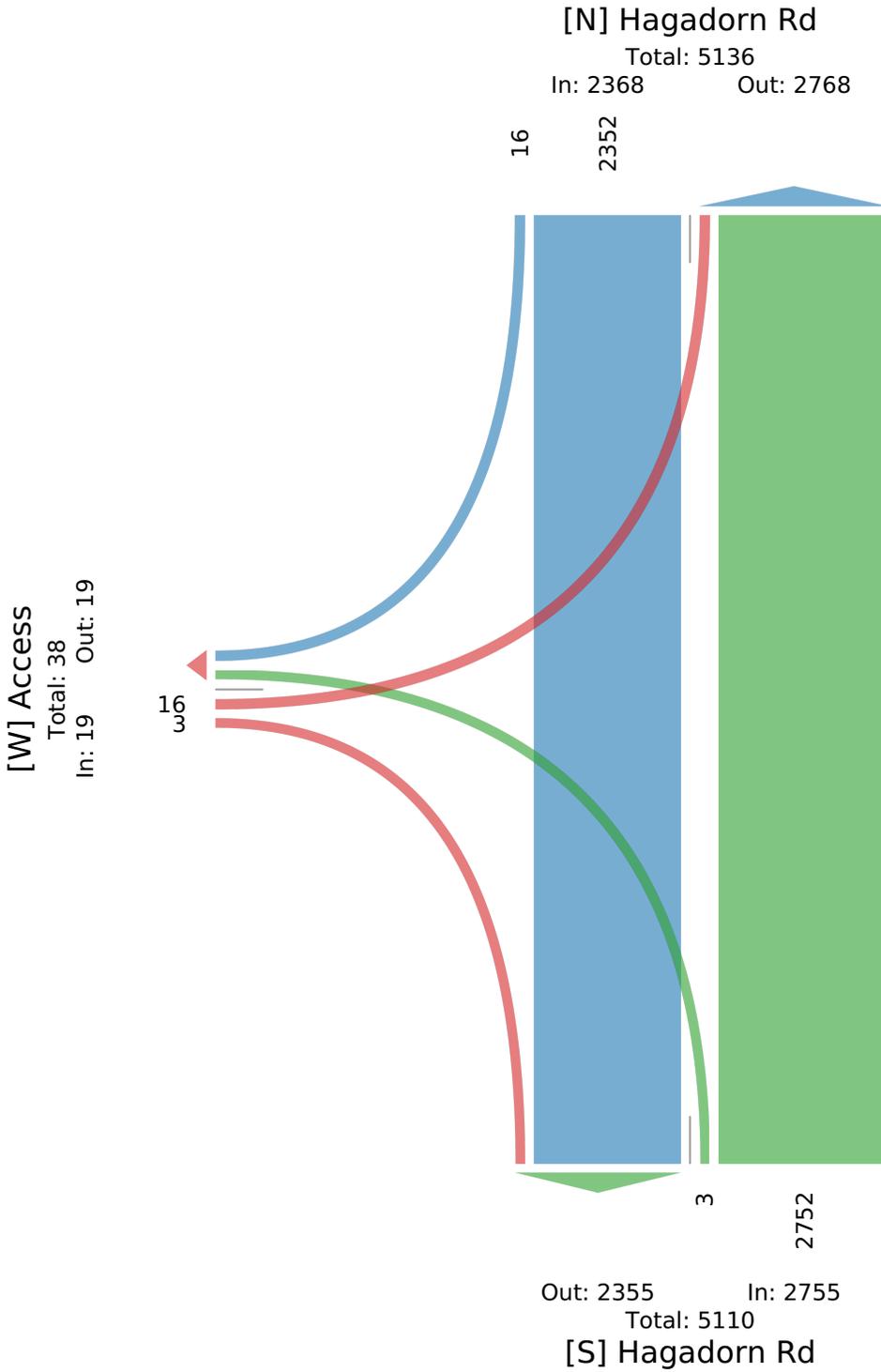
Traffic Data

University Research Containment Facility Acc... - TMC
 Thu Nov 7, 2024
 Full Length (7 AM-9 AM, 4 PM-6 PM)
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks)
 All Movements
 ID: 1244268, Location: 42.707176, -84.462045

Leg Direction	Access Eastbound				Hagadorn Rd Northbound				Hagadorn Rd Southbound				Int
	L	R	U	App	L	T	U	App	T	R	U	App	
2024-11-07 7:00AM	0	0	0	0	1	73	0	74	77	0	0	77	151
7:15AM	0	1	0	1	1	166	0	167	93	2	0	95	263
7:30AM	0	0	0	0	0	212	0	212	111	1	0	112	324
7:45AM	1	0	0	1	1	254	0	255	113	2	0	115	371
Hourly Total	1	1	0	2	3	705	0	708	394	5	0	399	1109
8:00AM	0	0	0	0	0	177	0	177	97	2	0	99	276
8:15AM	1	0	0	1	0	156	0	156	89	0	0	89	246
8:30AM	0	0	0	0	0	216	0	216	110	1	0	111	327
8:45AM	2	0	0	2	0	221	0	221	85	2	0	87	310
Hourly Total	3	0	0	3	0	770	0	770	381	5	0	386	1159
4:00PM	5	1	0	6	0	159	0	159	189	1	0	190	355
4:15PM	0	0	0	0	0	154	0	154	189	2	0	191	345
4:30PM	0	0	0	0	0	123	0	123	211	1	0	212	335
4:45PM	2	1	0	3	0	172	0	172	186	0	0	186	361
Hourly Total	7	2	0	9	0	608	0	608	775	4	0	779	1396
5:00PM	2	0	0	2	0	159	0	159	214	1	0	215	376
5:15PM	0	0	0	0	0	167	0	167	233	0	0	233	400
5:30PM	1	0	0	1	0	155	0	155	190	1	0	191	347
5:45PM	2	0	0	2	0	188	0	188	165	0	0	165	355
Hourly Total	5	0	0	5	0	669	0	669	802	2	0	804	1478
Total	16	3	0	19	3	2752	0	2755	2352	16	0	2368	5142
% Approach	84.2%	15.8%	0%	-	0.1%	99.9%	0%	-	99.3%	0.7%	0%	-	-
% Total	0.3%	0.1%	0%	0.4%	0.1%	53.5%	0%	53.6%	45.7%	0.3%	0%	46.1%	-
Lights	14	3	0	17	3	2722	0	2725	2330	15	0	2345	5087
% Lights	87.5%	100%	0%	89.5%	100%	98.9%	0%	98.9%	99.1%	93.8%	0%	99.0%	98.9%
Articulated Trucks	0	0	0	0	0	4	0	4	5	0	0	5	9
% Articulated Trucks	0%	0%	0%	0%	0%	0.1%	0%	0.1%	0.2%	0%	0%	0.2%	0.2%
Buses and Single-Unit Trucks	2	0	0	2	0	26	0	26	17	1	0	18	46
% Buses and Single-Unit Trucks	12.5%	0%	0%	10.5%	0%	0.9%	0%	0.9%	0.7%	6.3%	0%	0.8%	0.9%

*L: Left, R: Right, T: Thru, U: U-Turn

University Research Containment Facility Acc... - TMC
 Thu Nov 7, 2024
 Full Length (7 AM-9 AM, 4 PM-6 PM)
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks)
 All Movements
 ID: 1244268, Location: 42.707176, -84.462045



University Research Containment Facility Acc... - TMC

Thu Nov 7, 2024

AM Peak (7:15 AM - 8:15 AM)

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks)

All Movements

ID: 1244268, Location: 42.707176, -84.462045



Provided by: Gewalt Hamilton Associates Inc.
625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Access Eastbound				Hagadorn Rd Northbound				Hagadorn Rd Southbound				Int
	L	R	U	App	L	T	U	App	T	R	U	App	
2024-11-07 7:15AM	0	1	0	1	1	166	0	167	93	2	0	95	263
7:30AM	0	0	0	0	0	212	0	212	111	1	0	112	324
7:45AM	1	0	0	1	1	254	0	255	113	2	0	115	371
8:00AM	0	0	0	0	0	177	0	177	97	2	0	99	276
Total	1	1	0	2	2	809	0	811	414	7	0	421	1234
% Approach	50.0%	50.0%	0%	-	0.2%	99.8%	0%	-	98.3%	1.7%	0%	-	-
% Total	0.1%	0.1%	0%	0.2%	0.2%	65.6%	0%	65.7%	33.5%	0.6%	0%	34.1%	-
PHF	0.250	0.250	-	0.500	0.500	0.796	-	0.795	0.916	0.875	-	0.915	0.832
Lights	1	1	0	2	2	795	0	797	408	7	0	415	1214
% Lights	100%	100%	0%	100%	100%	98.3%	0%	98.3%	98.6%	100%	0%	98.6%	98.4%
Articulated Trucks	0	0	0	0	0	1	0	1	1	0	0	1	2
% Articulated Trucks	0%	0%	0%	0%	0%	0.1%	0%	0.1%	0.2%	0%	0%	0.2%	0.2%
Buses and Single-Unit Trucks	0	0	0	0	0	13	0	13	5	0	0	5	18
% Buses and Single-Unit Trucks	0%	0%	0%	0%	0%	1.6%	0%	1.6%	1.2%	0%	0%	1.2%	1.5%

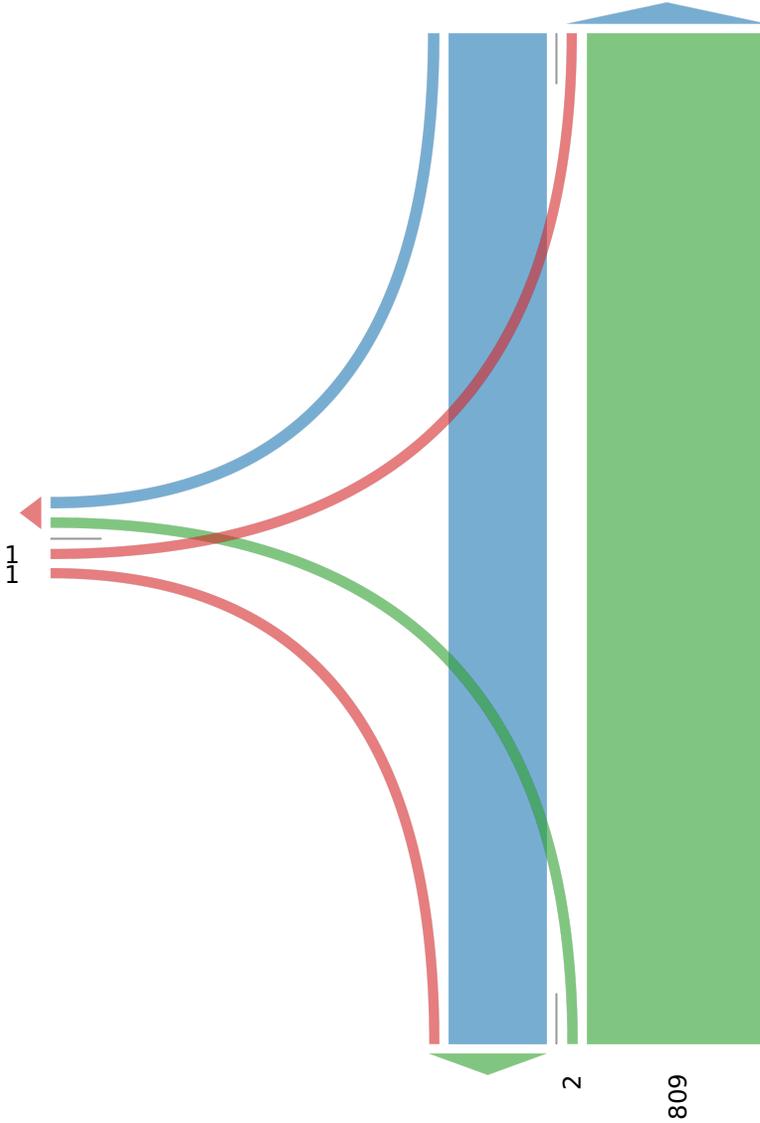
* L: Left, R: Right, T: Thru, U: U-Turn

University Research Containment Facility Acc... - TMC
 Thu Nov 7, 2024
 AM Peak (7:15 AM - 8:15 AM)
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks)
 All Movements
 ID: 1244268, Location: 42.707176, -84.462045

[N] Hagadorn Rd
 Total: 1231
 In: 421 Out: 810

7
414

[W] Access
 Total: 11
 In: 2 Out: 9



Out: 415 In: 811
 Total: 1226
 [S] Hagadorn Rd

University Research Containment Facility Acc... - TMC

Thu Nov 7, 2024

PM Peak (4:45 PM - 5:45 PM) - Overall Peak Hour

All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks)

All Movements

ID: 1244268, Location: 42.707176, -84.462045



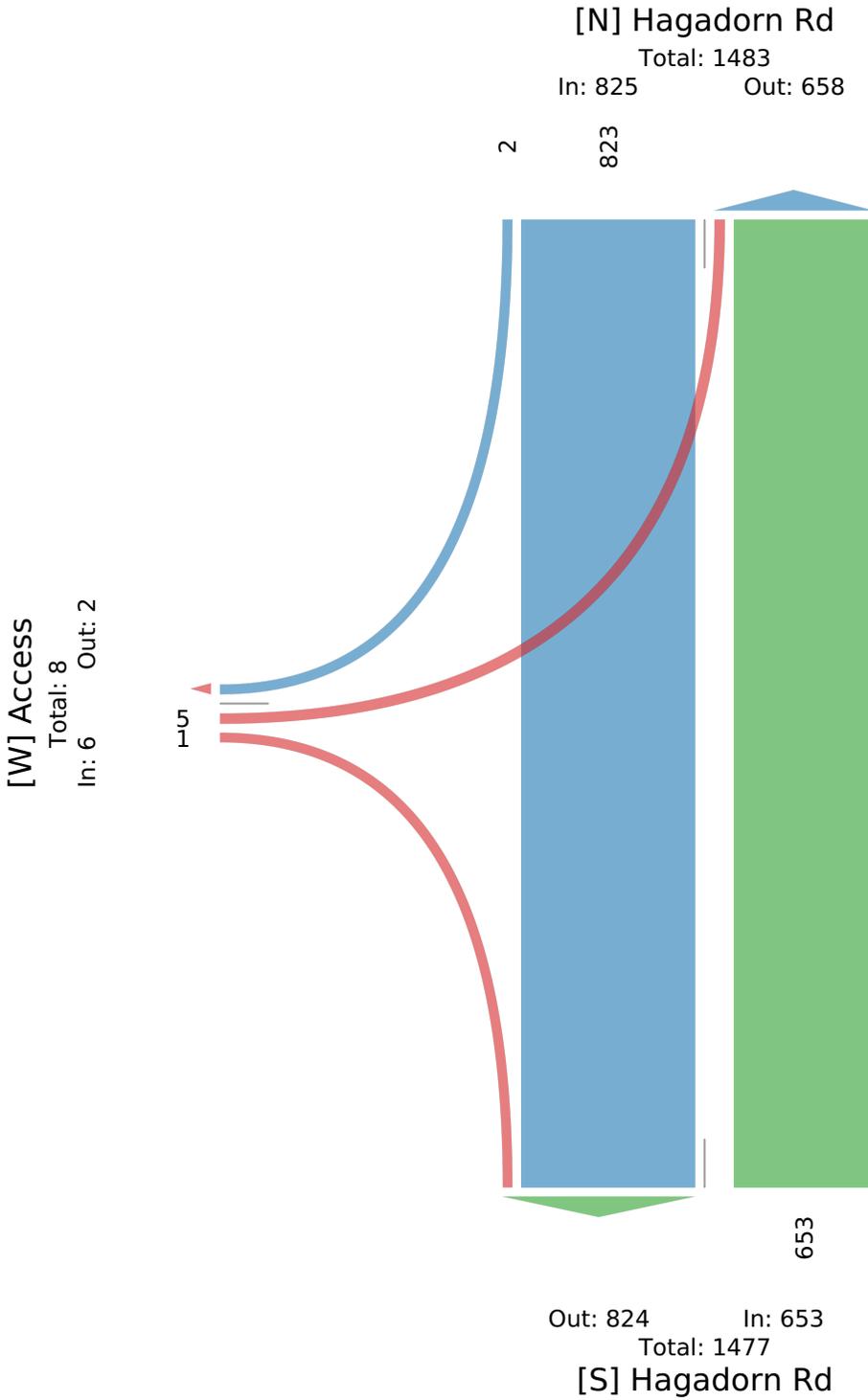
Provided by: Gewalt Hamilton Associates Inc.

625 Forest Edge Drive, Vernon Hills, IL, 60061, US

Leg Direction	Access Eastbound				Hagadorn Rd Northbound				Hagadorn Rd Southbound				Int
	L	R	U	App	L	T	U	App	T	R	U	App	
Time													
2024-11-07 4:45PM	2	1	0	3	0	172	0	172	186	0	0	186	361
5:00PM	2	0	0	2	0	159	0	159	214	1	0	215	376
5:15PM	0	0	0	0	0	167	0	167	233	0	0	233	400
5:30PM	1	0	0	1	0	155	0	155	190	1	0	191	347
Total	5	1	0	6	0	653	0	653	823	2	0	825	1484
% Approach	83.3%	16.7%	0%	-	0%	100%	0%	-	99.8%	0.2%	0%	-	-
% Total	0.3%	0.1%	0%	0.4%	0%	44.0%	0%	44.0%	55.5%	0.1%	0%	55.6%	-
PHF	0.625	0.250	-	0.500	-	0.949	-	0.949	0.883	0.500	-	0.885	0.928
Lights	5	1	0	6	0	652	0	652	821	2	0	823	1481
% Lights	100%	100%	0%	100%	0%	99.8%	0%	99.8%	99.8%	100%	0%	99.8%	99.8%
Articulated Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0
% Articulated Trucks	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Buses and Single-Unit Trucks	0	0	0	0	0	1	0	1	2	0	0	2	3
% Buses and Single-Unit Trucks	0%	0%	0%	0%	0%	0.2%	0%	0.2%	0.2%	0%	0%	0.2%	0.2%

* L: Left, R: Right, T: Thru, U: U-Turn

University Research Containment Facility Acc... - TMC
 Thu Nov 7, 2024
 PM Peak (4:45 PM - 5:45 PM) - Overall Peak Hour
 All Classes (Lights, Articulated Trucks, Buses and Single-Unit Trucks)
 All Movements
 ID: 1244268, Location: 42.707176, -84.462045



[Home](#)
[Locate](#)
[Locate All](#)
[Email This](#)
 Auto-Locate:

Disclaimer: The Michigan Department of Transportation (MDOT) works with individual agencies (cities/villages, counties, metropolitan planning organizations (MPOs), regional planning organizations (RPOs), and other areas of MDOT) to identify existing traffic count programs and/or traffic data. [... more](#)

[List View](#)
[All DIRs](#)
[Report Center](#)

Record 1 of 1 [Goto Record](#) [go](#)

Location ID	33-5089	MPO ID	
Type	SPOT	HPMS ID	
On NHS	No	On HPMS	No
LRS ID	0354105	LRS Loc Pt.	19.738
SF Group	Urban Non State (2024)	Route Type	
AF Group	NoFactor (2024)	Route	
GF Group	Urban Non State (2024)	Active	Yes
Class Dist Grp	NTL_4 (2024)	Category	Primary
Seas Class Grp			
WIM Group			
QC Group	Default		
Funct'l Class	(4) Minor Arterial	Milepost	
Located On	HAGADORN RD		
Loc On Alias	SOUTH OF E Mount Hope Rd		
More Detail			

STATION DATA

Directions: **2-WAY** [NB](#) [SB](#) [?](#)

AADT ?							
Year	AADT	DHV-30	K %	D %	PA	BC	Src
2023	12,981	1,239	10		12,630 (97%)	351 (3%)	
2022	10,674 ³				10,363 (97%)	311 (3%)	Grown from 2021
2021	10,663 ³				10,161 (95%)	502 (5%)	Grown from 2020
2020	9,358 ³				8,910 (95%)	448 (5%)	Grown from 2019
2019	10,958 ³				10,530 (96%)	428 (4%)	Grown from 2018

[<<](#)
[<](#)
[>](#)
[>>](#)
 1-5 of 8

VOLUME COUNT			
Date	Int	Total	
Wed 9/20/2023	15	13,314	
Tue 9/19/2023	15	13,044	

VOLUME TREND ?	
Year	Annual Growth
2023	22%
2022	0%
2021	14%
2020	-15%
2019	0%

Location
Location ID: 33-5089
Located On: HAGADORN RD SOUTH OF E Mount Hope Rd
Direction: 2-WAY
Count: 12981 (2023)
[View Detail in a New Search](#)
[Go to Record in Current Search](#)

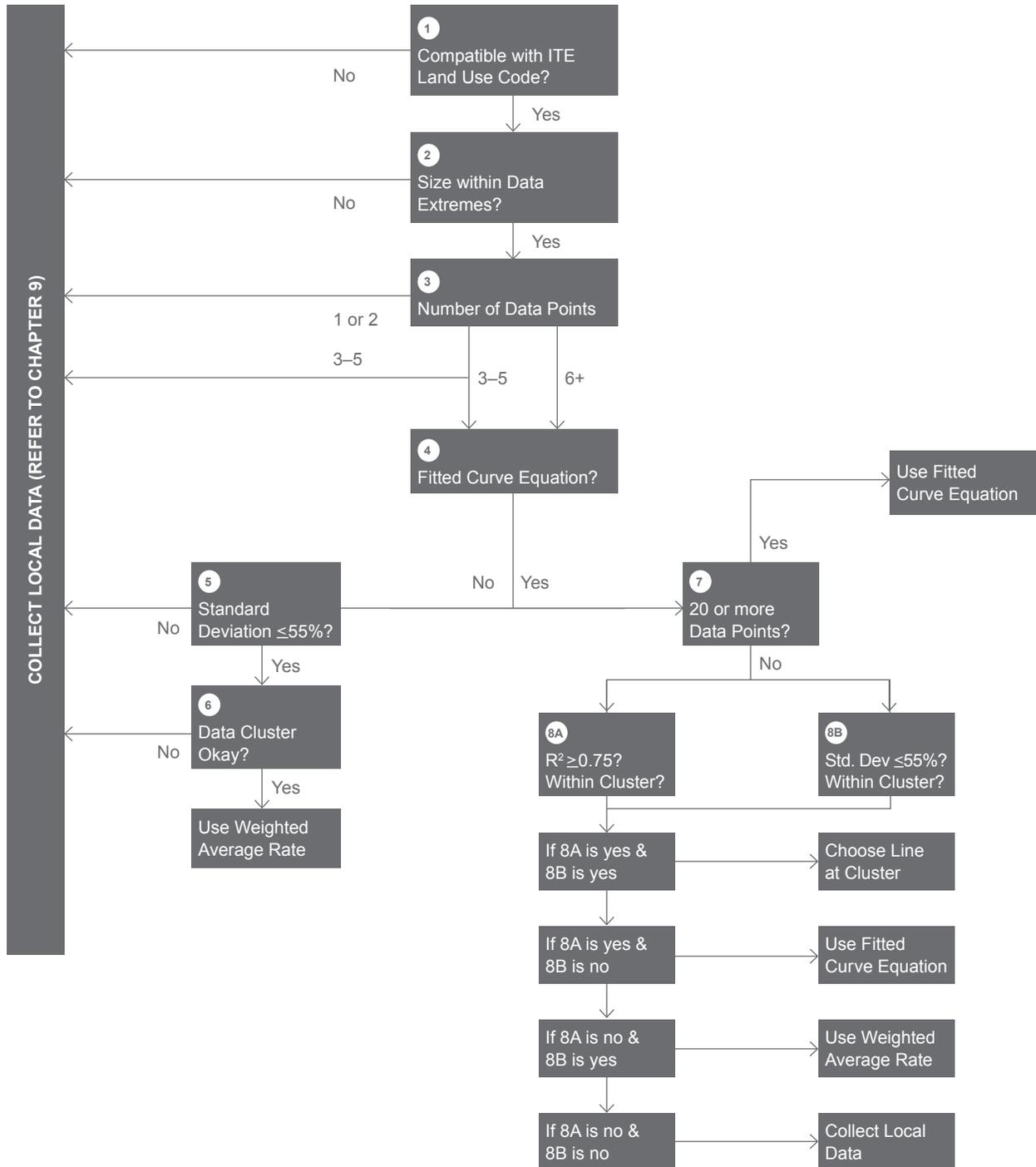
Attachment 2

Trip Generation Calculations

ITE Land Use	Land Use Code	Units	a.m. Peak Hour			p.m. Peak Hour			Weekday
			In	Out	Total	In	Out	Total	
Marijuana Dispensary	882	2,587 sq ft	14	13	27	25	24	49	547

ITE Land Use	Land Use Code	Units	Time Period	Equation	R2	Rate	Pass-By	Studies	Notes
Marijuana Dispensary	882	2,587 sq ft	a.m.	-	-	10.54	-	6	Use Average Rate.
			p.m.	-	-	18.92	-	16	Use Average Rate.
			Weekday	-	-	211.12	-	7	Use Average Rate.

Figure 4.2 Process for Selecting Average Rate or Equation in *Trip Generation Manual* Data

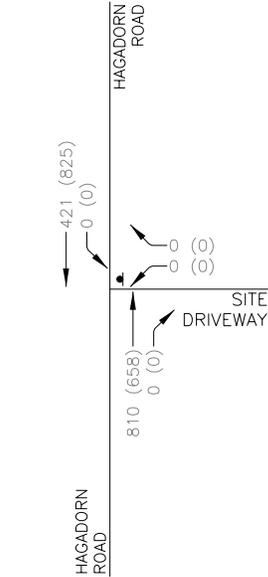


Attachment 3

Trip Distribution Figure

LEGEND

- LANE ASSIGNMENT
- ▬ STOP CONTROL
- XX a.m. PEAK HOUR
- (XX) p.m. PEAK HOUR

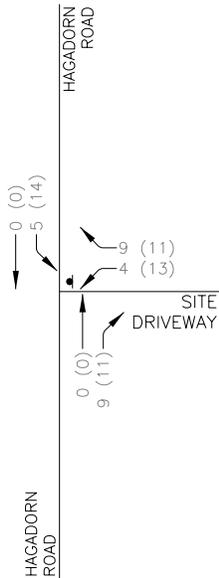


EXISTING TRAFFIC VOLUMES

NO SCALE

LEGEND

- LANE ASSIGNMENT
- ▬ STOP CONTROL
- XX a.m. PEAK HOUR
- (XX) p.m. PEAK HOUR

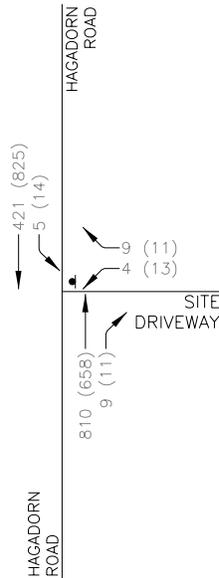


TRIP GENERATION VOLUMES

NO SCALE

LEGEND

- LANE ASSIGNMENT
- ▬ STOP CONTROL
- XX a.m. PEAK HOUR
- (XX) p.m. PEAK HOUR



FUTURE TRAFFIC VOLUMES

NO SCALE



Hard copy Is Intended to be 8.5"x11" when plotted. Scale(s) Indicated and graphic quality may not be accurate for any other size.

HAGADORN DISPENSARY
Okemos (Meridian Township), Michigan 48864

Traffic Impact Assessment

PROJECT NO.

241751

FIGURE NO.

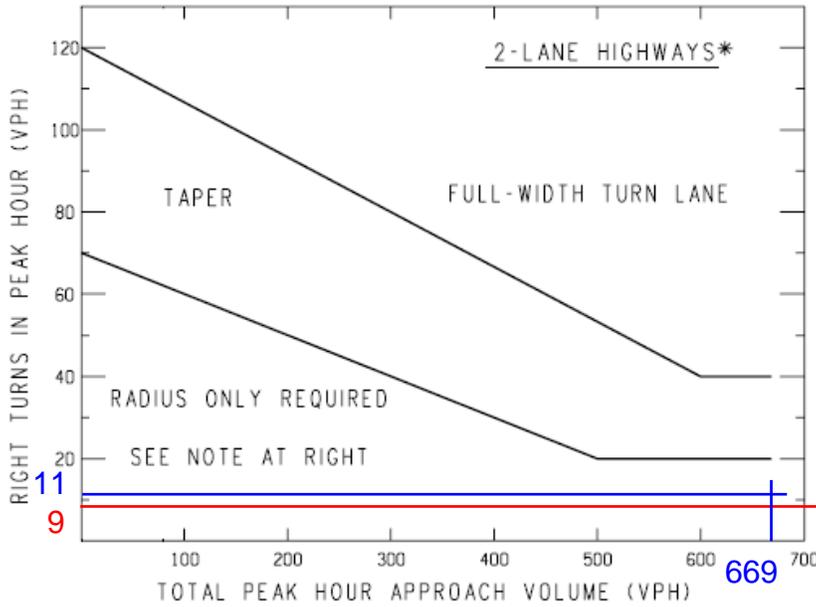
3

Attachment 4

Turn Lane Charts

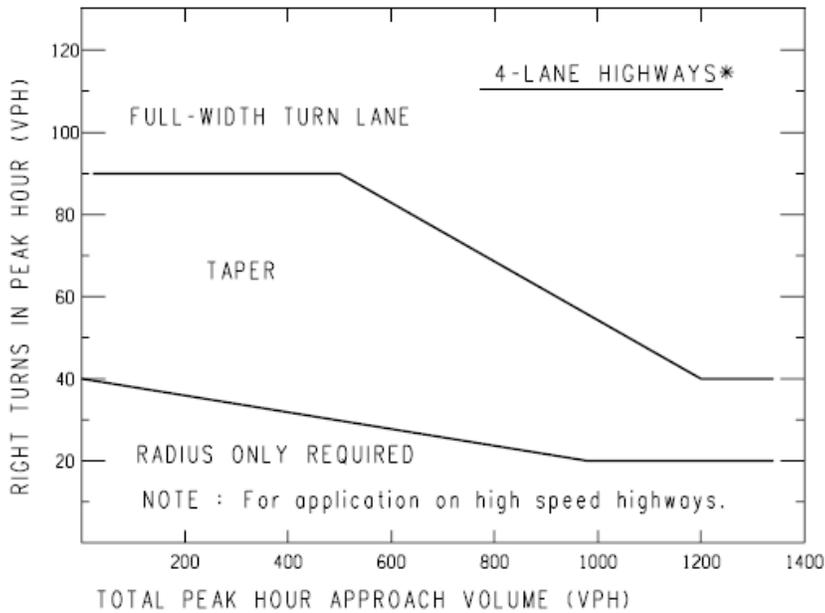
Hagadorn Road and Site Driveway
NB Right Turn Movement

a.m. Peak Hour
p.m. Peak Hour



NOTE: For posted speeds at or under 45 mph, peak hour right turns greater than 40 vph, and total peak hour approach less than 300 vph, adjust right turn volumes.

Adjust peak hour
Right turns = Peak hour
Right turns - 20



*If a center left-turn lane exists (ie 3 or 5 lane roadway), subtract the number of left turns in approach volume from the total approach volume to get an adjusted total approach volume.

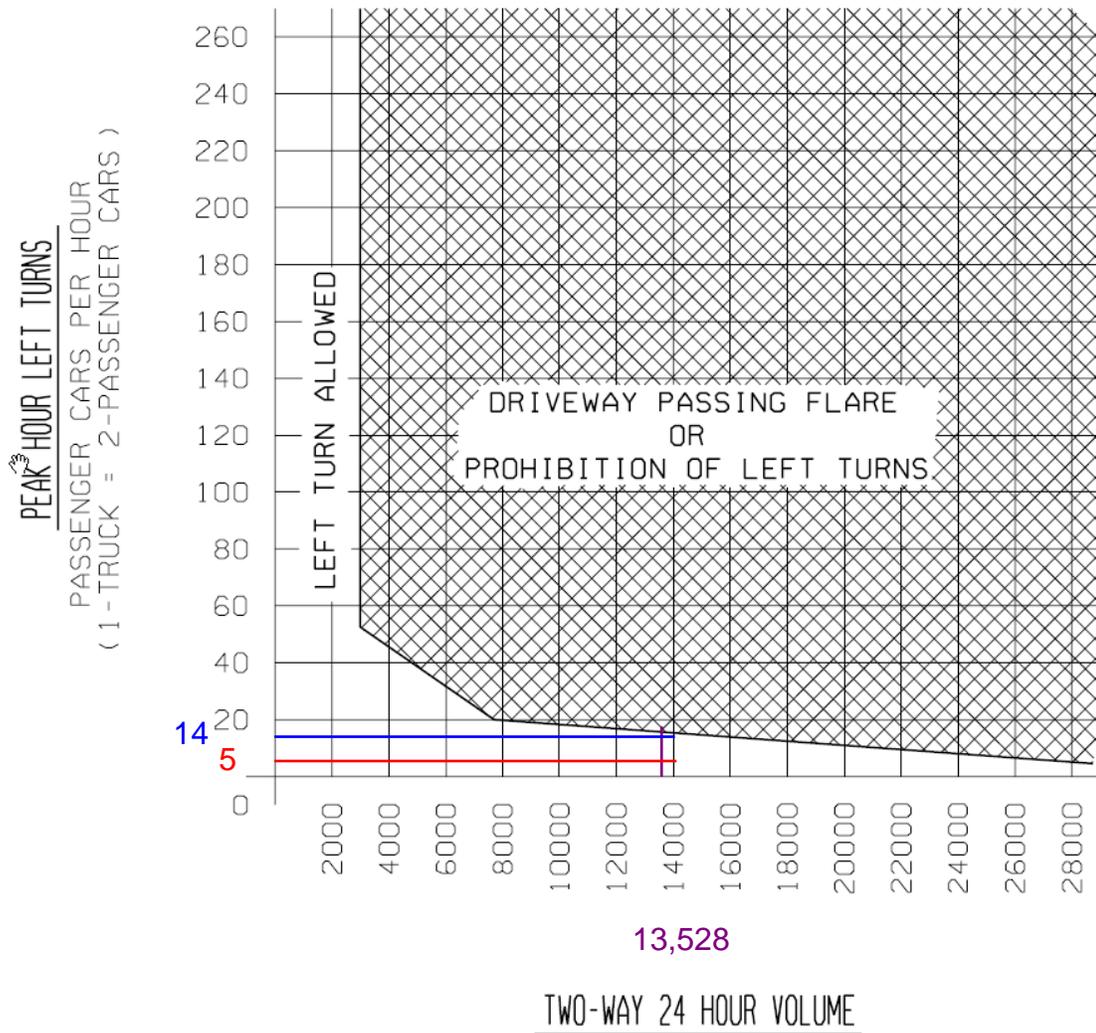
Sample Problem: The Design Speed is 55 mph. The Peak Hour Approach Volume is 300 vph. The Number of Right Turns in the Peak Hous is 100 vph. Determine if a right turn lane is recommended.

Solution: Figure indicates that the intersection of 300 vph and 100 vph is located above the upper trend line; thus, a right-turn lane may be recommended.

1.2.3 Traffic Volume Guidelines for Driveway Passing Flares

Driveways serving large developments along state trunkline highways frequently generate large numbers of left-turns. On two-lane, two-way roadways, this situation can aggravate the efficiency of traffic operations and often make shoulder maintenance difficult. In such situations, prohibition of left-turns at driveways to large developments or construction of driveway passing flares should be considered.

In an attempt to alleviate the types of problems outlined above, the following chart is provided showing the relationship between peak hour left-turns and 24-hour volumes. When peak hour left-turns and 24-hour volumes fall within the area above and to the right of the trend line, left-turns should be prohibited or a driveway passing flare be installed. If a driveway passing flare is constructed, the entire cost should be borne by the developer. For additional information and geometric design guidance regarding driveway passing flares, please refer to [Geometric Design Guide GEO-650](#).



NOTE: This chart is based on Total Development and is for Two-Way Roadways.

24 Hour Volume: 2023 AADT (12,981) + Weekday Development Traffic (547) = 13,528



To: Members of Planning Commission

From: Brian Shorkey, AICP, Principal Planner

Date: March 10, 2025

Re: Brownfield Redevelopment Authority Appointment

The Planning Commission has a seat on the Brownfield Redevelopment Authority (BRA). The Planning Commission's seat became vacant at the end of 2024 and now needs to be filled.

The BRA reviews proposals for the redevelopment of eligible property and determines what financial incentives are necessary to assist the redevelopment. The authority prepares or reviews plans for an eligible brownfield project cleanups. The authority then recommends to the Township Board that a public hearing regarding the plan held and action taken on the request. The Township Board is the final approval authority for any Brownfield Plan. The BRA would recommend revisions to the plan as new projects are submitted or revisions are requested on existing plan projects.

The BRA meets on-demand as projects are brought to the Township for review. Typically, meetings are held in the Township Hall room during weekdays at 9:00 AM.