

Meridian Township Resident Survey and Priority Assessment

September 2021 - DRAFT

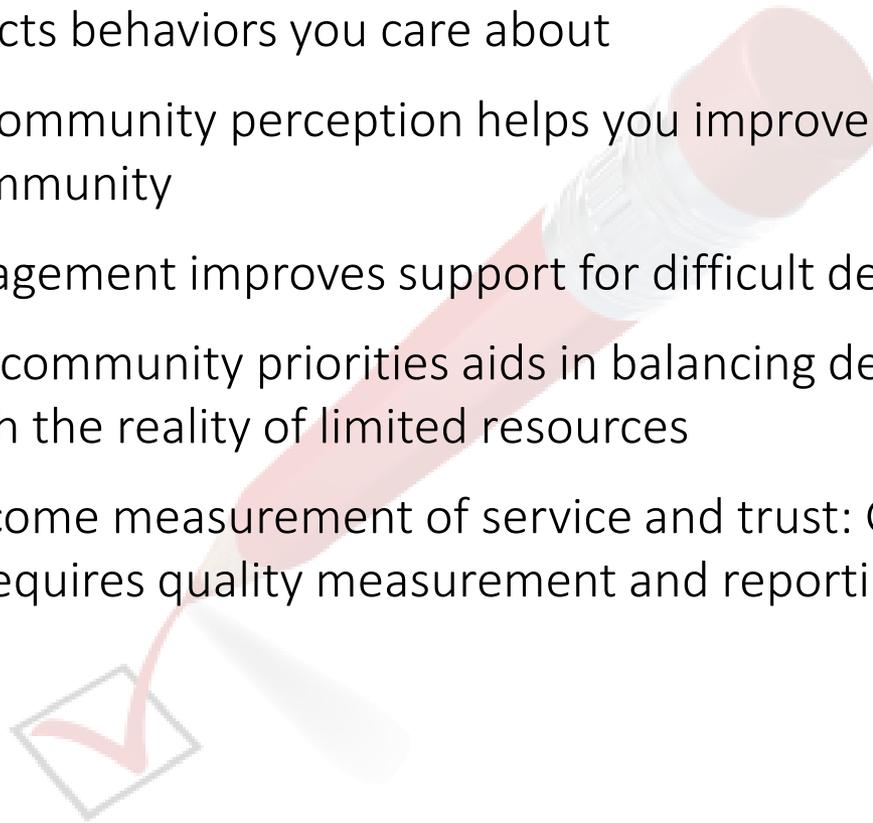


Background on Cobalt Community Research

- 501c3 not for profit research coalition
- Mission to provide research and education
- Developed to meet the research needs of schools, local governments, and nonprofit organizations

Measuring Where You Are: Why Research Matters

- Understanding community values and priorities helps you plan and communicate more effectively about community decisions
- Perception impacts behaviors you care about
- Understanding community perception helps you improve and promote the community
- Community engagement improves support for difficult decisions
- Reliable data on community priorities aids in balancing demands of vocal groups with the reality of limited resources
- Bottom line outcome measurement of service and trust: Good administration requires quality measurement and reporting



Study Goals

- Support budget, strategic planning, and policy decisions
- Establish baseline service measures
- Determine if the presumed service experiences are accurate
- Identify which aspects of community provide the greatest leverage on citizens' overall satisfaction and outcomes such as remaining in the community and recommending the community to others

Bottom Line

- The Township outperforms the Cobalt benchmarks with an overall satisfaction score of 78
- There are several areas where improvement can have significant impact on engagement

2021 Drivers:

Township services

Community image

Public works

Police services

Transportation infrastructure

- Strong themes of improved and expanded walking and cycling infrastructure
- Residents like Township safety, parks, and public schools
- Would like more music, art, and food events
- Would also like more information on community events and Township projects
- About 66% support a millage for broadband. Current median costs are \$90/month.
- Over 80% support continuation of the deer management program
- 64 individuals are interested in participating in potential future planning workshops, focus groups, or similar conversations

Methodology

- Random sample of 1,500 voters provided by the Township
- Conducted using two mailings in July and August 2021. Responses either online or via postage-paid envelope.
- Valid response from 386 residents, providing a solid margin of error of +/- 5.0 percent
 - **Note:** National surveys with a margin of error +/- 5% require a sample of 384 responses to reflect a population of 330,000,000
- Results were weighted based on ethnicity to correspond with Census data
- In addition, the survey was open to residents who were not part of the random sample. There were 66 residents who chose to do so, increasing the total response to 452.
 - **Note:** Non sample responses were not included in the statistics presented in this summary report, but they are reflected on the bottom line of the crosstab reports

Preserving Voice: Looking Into Detail

2021 Meridian Township Resident Engagement and Priority Study Response Count 386 +/- 5.0% Weighted by Entnicity		Law Enforcement							
		Law Enforcement Overall	Respectful interaction with residents	Respectful treatment of residents	Fair and equitable enforcement	Safety education (DARE, Citizens' Academy, etc.)	Response time to emergencies	Engagement with the community	Transparency in sharing information
Overall		5.3	5.5	5.4	5.2	5.4	5.5	5.2	4.8
Age	18 to 24*	4.5	6.0	5.0	3.7	4.3	4.5	4.8	3.5
	25 to 34*	5.6	5.5	5.5	6.0	5.7	6.0	5.0	5.8
	35 to 44	5.1	5.2	5.2	5.1	5.1	5.1	5.0	5.0
	45 to 54	5.2	5.5	5.4	5.1	5.5	5.4	5.0	4.8
	55 to 64	5.4	5.7	5.4	5.4	5.5	5.5	5.3	5.0
	65 or over	5.4	5.6	5.5	5.3	5.5	5.6	5.3	4.8
HH Income	\$25,000 or less*	4.9	5.2	5.3	5.0	5.0	5.1	4.5	4.4
	\$25,001 to \$50,000*	4.8	5.5	5.0	5.0	4.8	5.0	4.8	3.5
	\$50,001 to \$100,000	5.2	5.3	5.4	5.1	5.4	5.5	5.1	4.7
	\$100,001-\$175,000	5.4	5.6	5.4	5.3	5.6	5.5	5.3	5.1
	More than \$175,000	5.4	5.8	5.5	5.3	5.5	5.6	5.2	5.1

Consistent Scores
Regardless of
Demographics

Checkedred Scores
that Vary by
Demographics

Results



Overall Community Satisfaction with Meridian Township

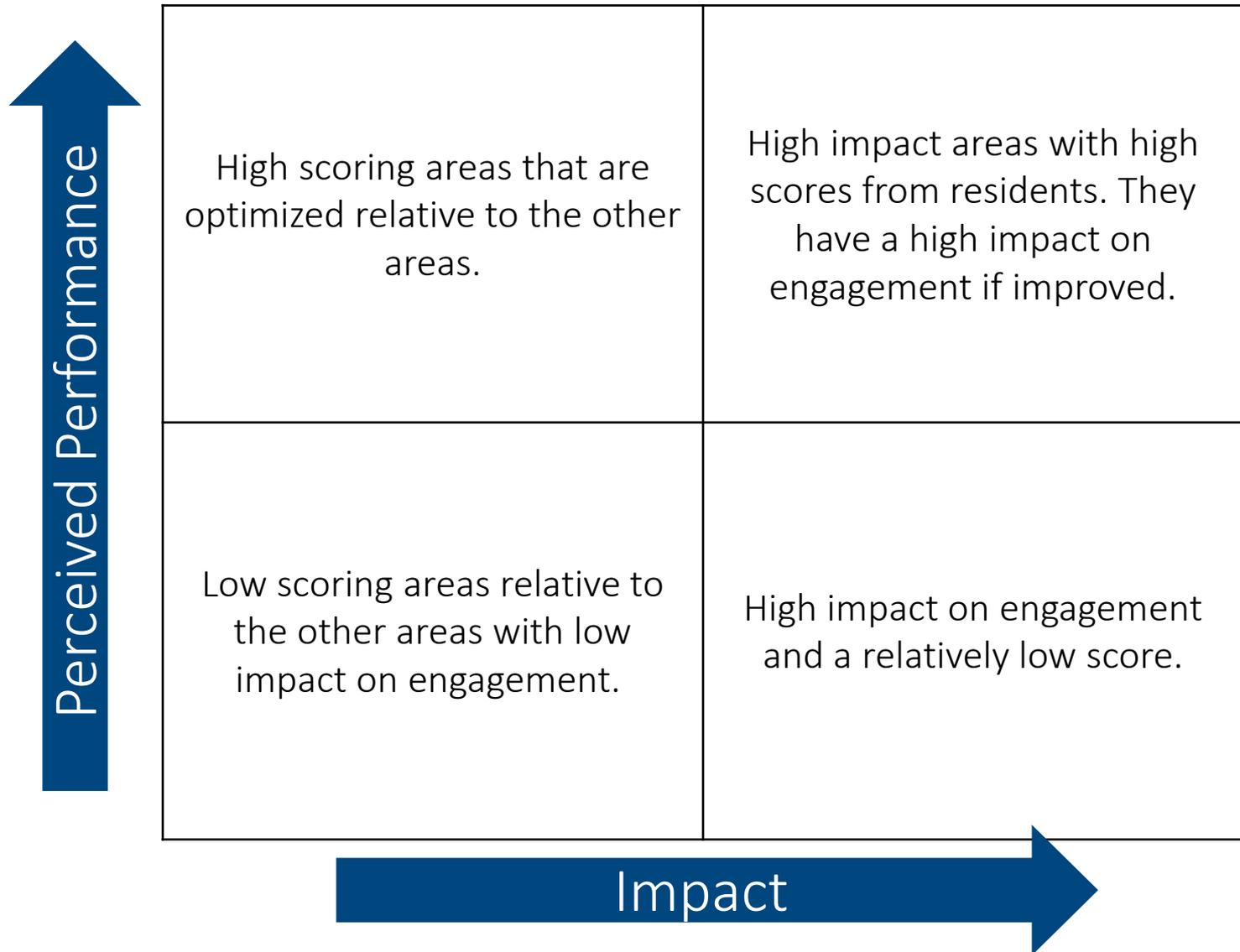
- 6-point scale: 4.9
- **100-point ACSI scale: 78**

- National ACSI: 67
- National ACSI (pop 25k-100k): 69

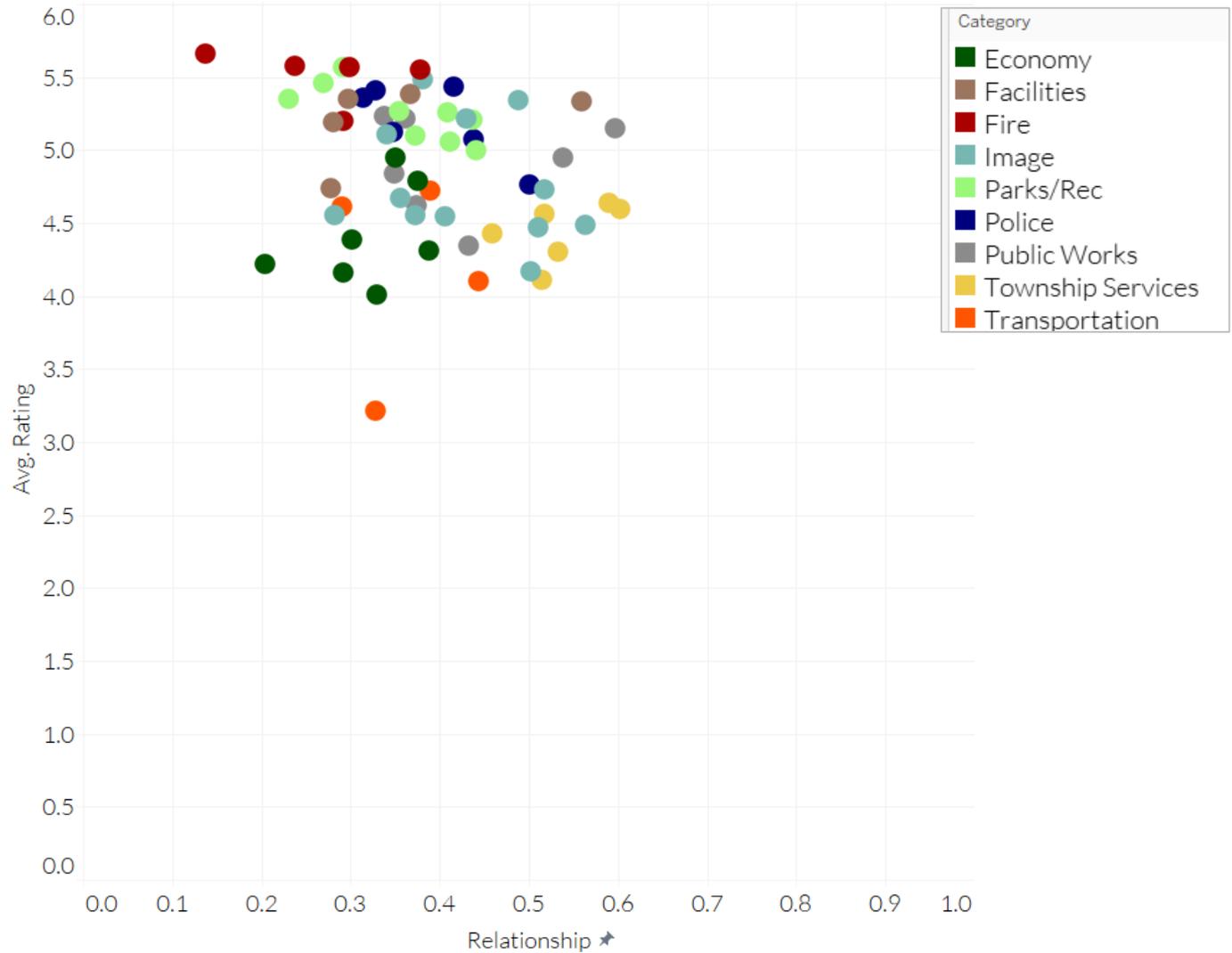
- Midwest ACSI: 66
- Midwest ACSI (pop 25k-100k): 74

- Michigan ACSI: 67
- Michigan ACSI (pop 25k-100k): 64

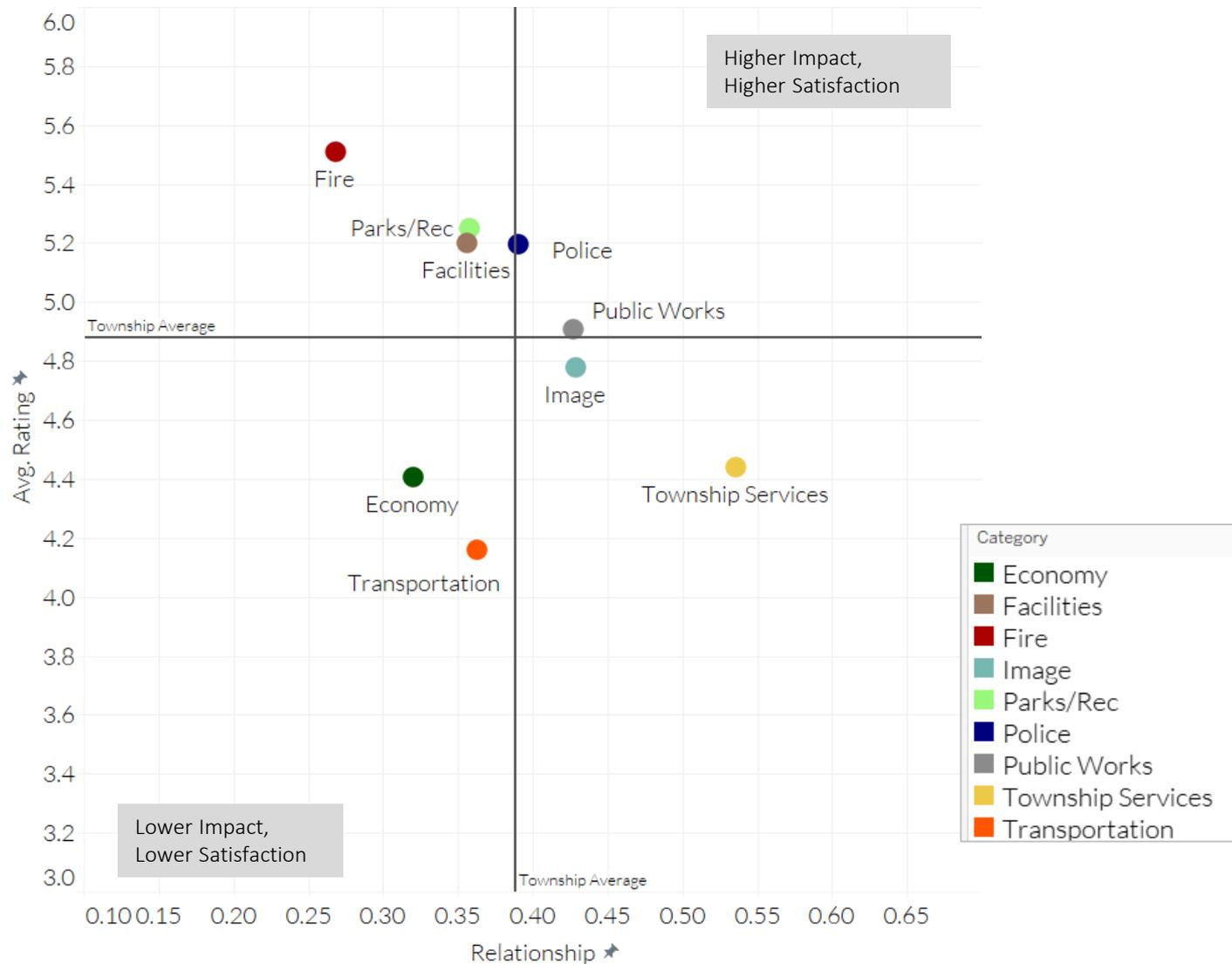
Community Questions – Long-term Drivers



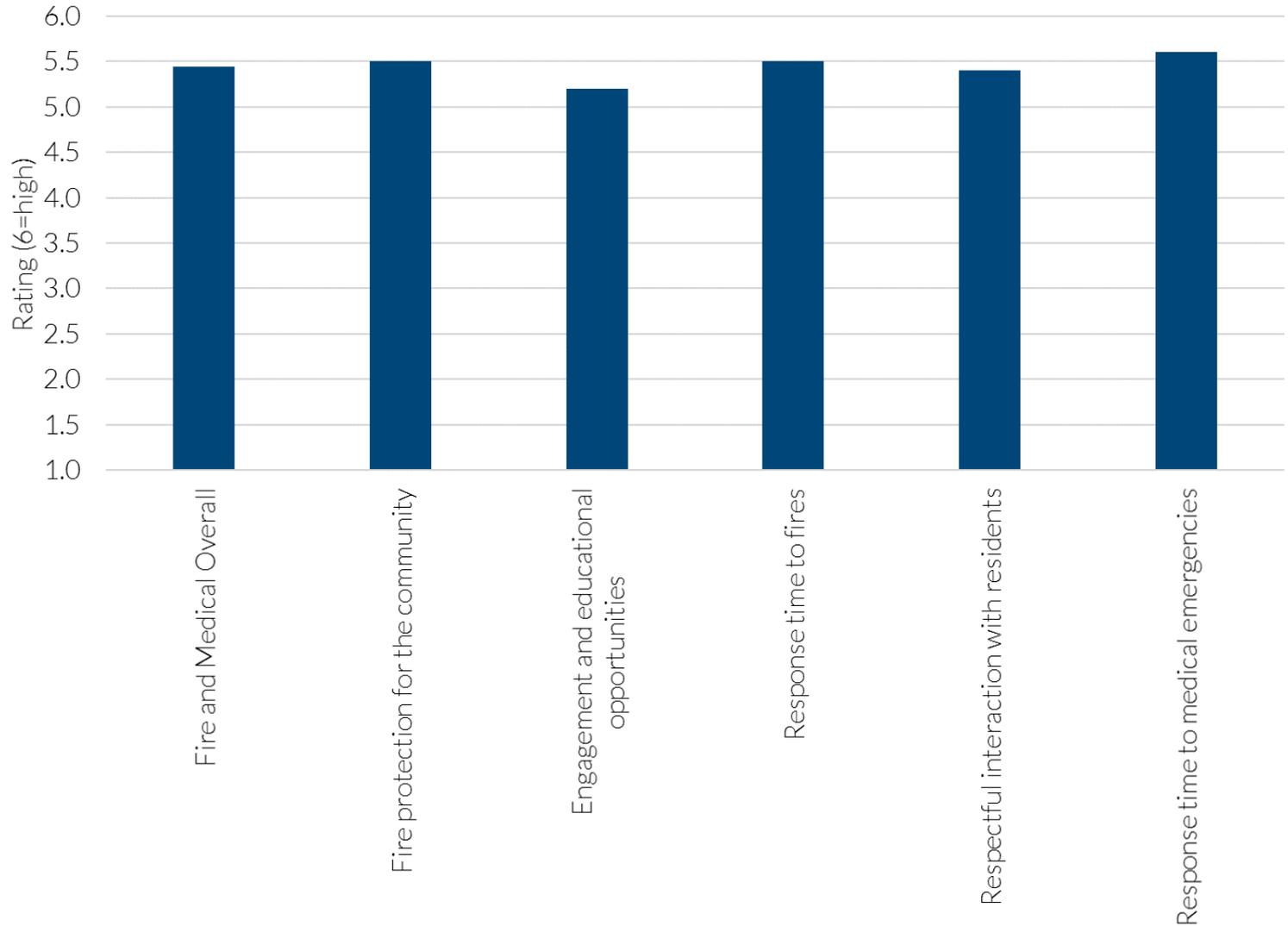
Drivers of Satisfaction and Behavior: Strategic Priorities



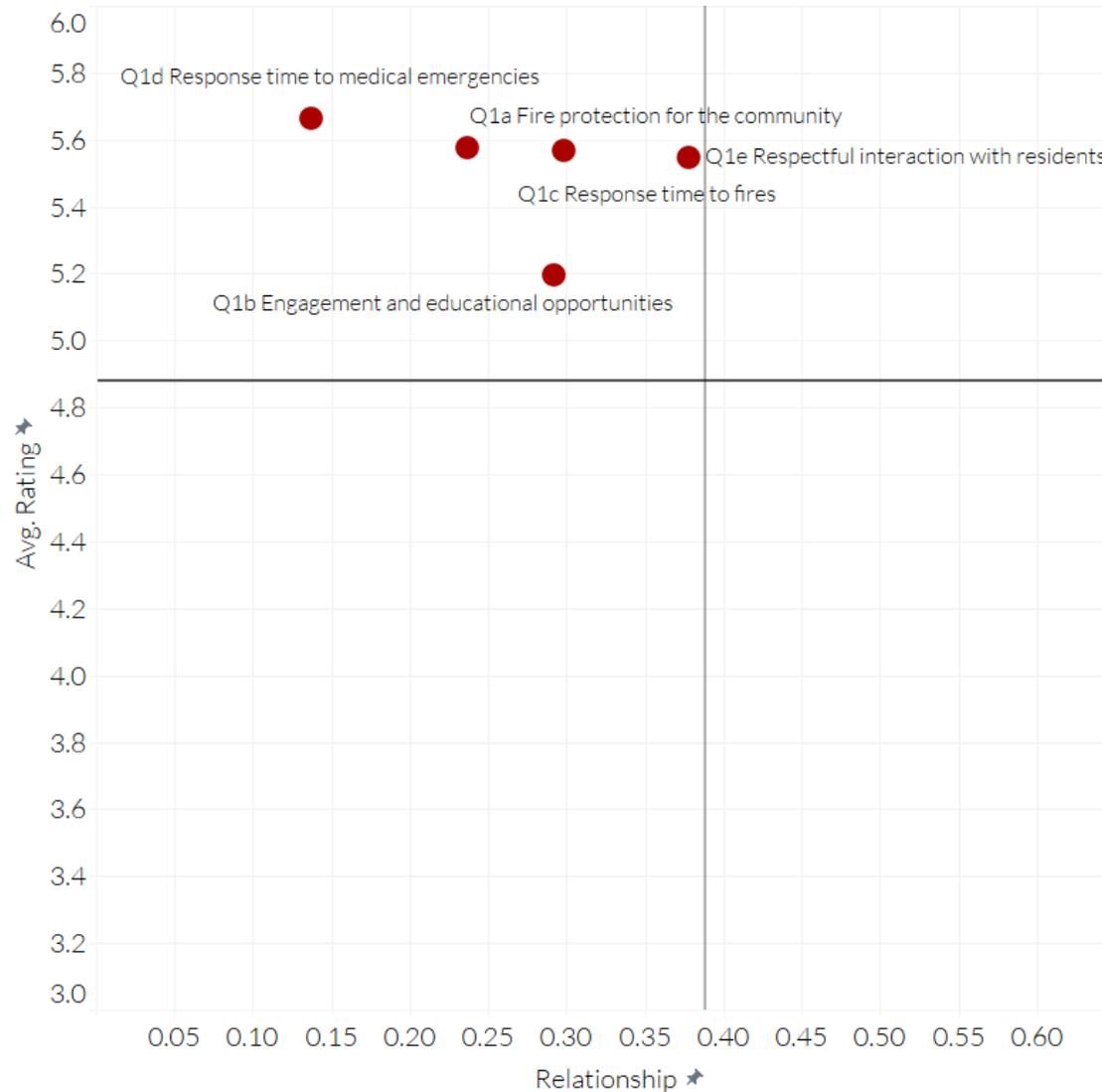
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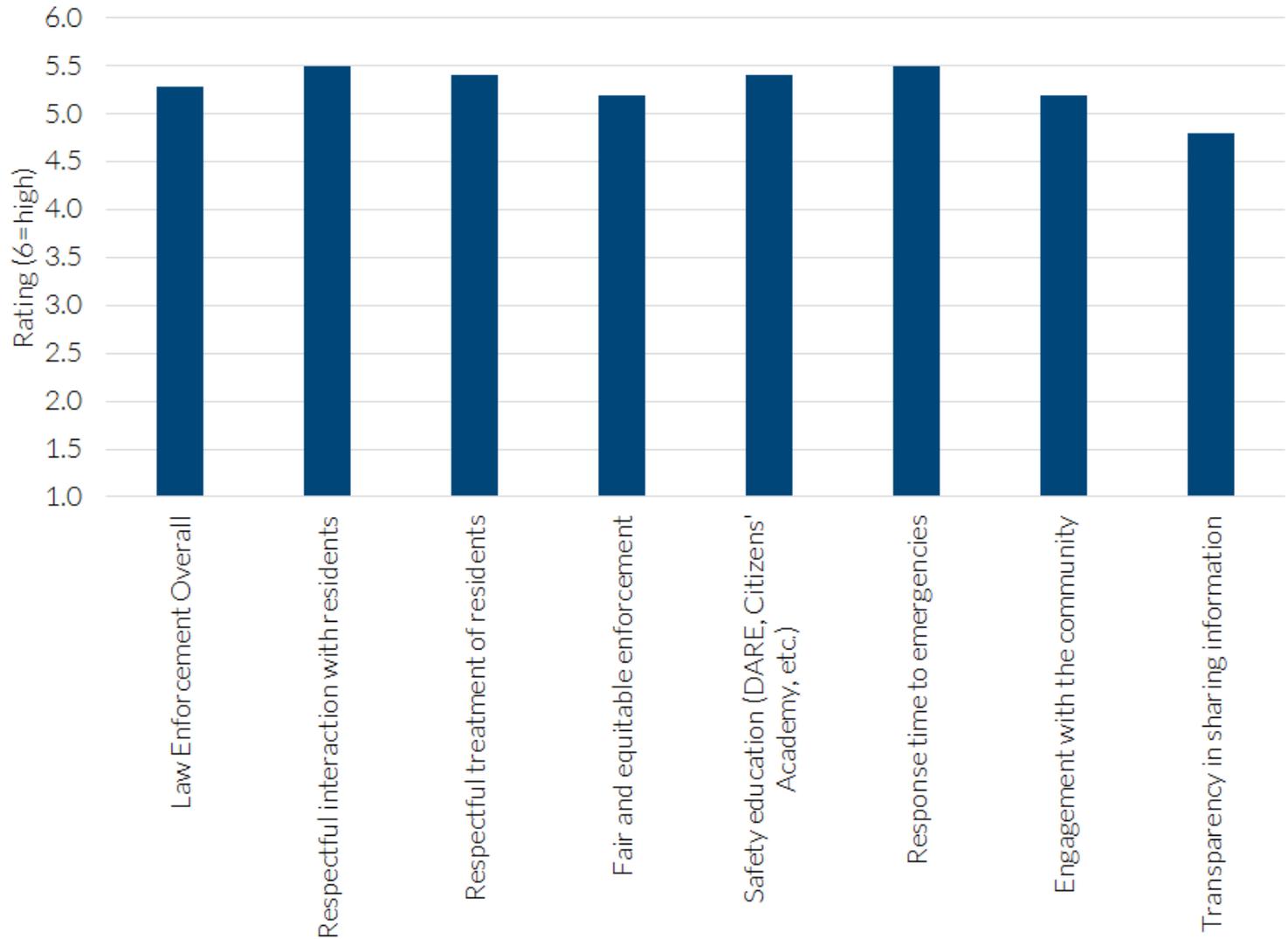
Fire and Emergency Medical Services



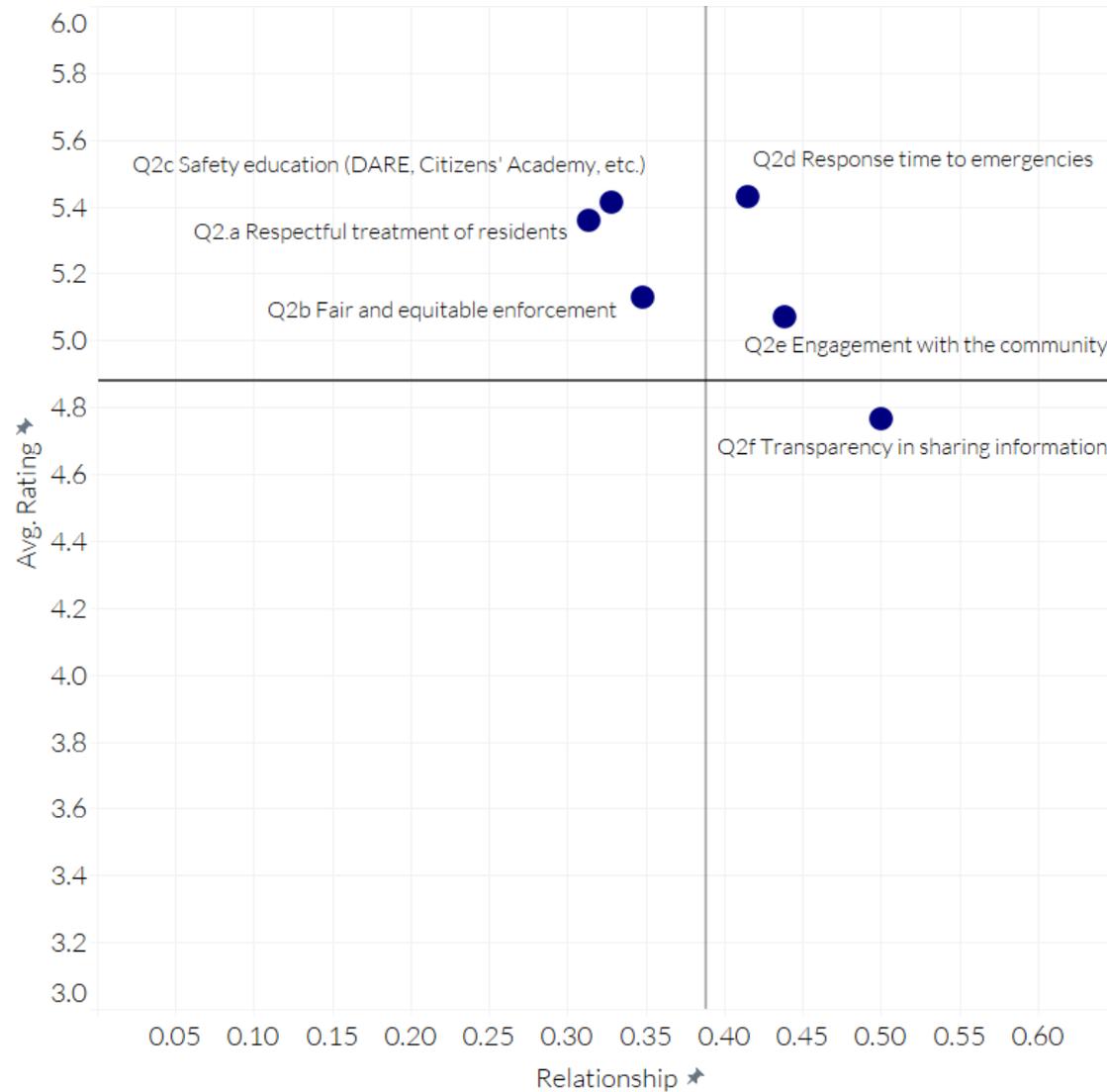
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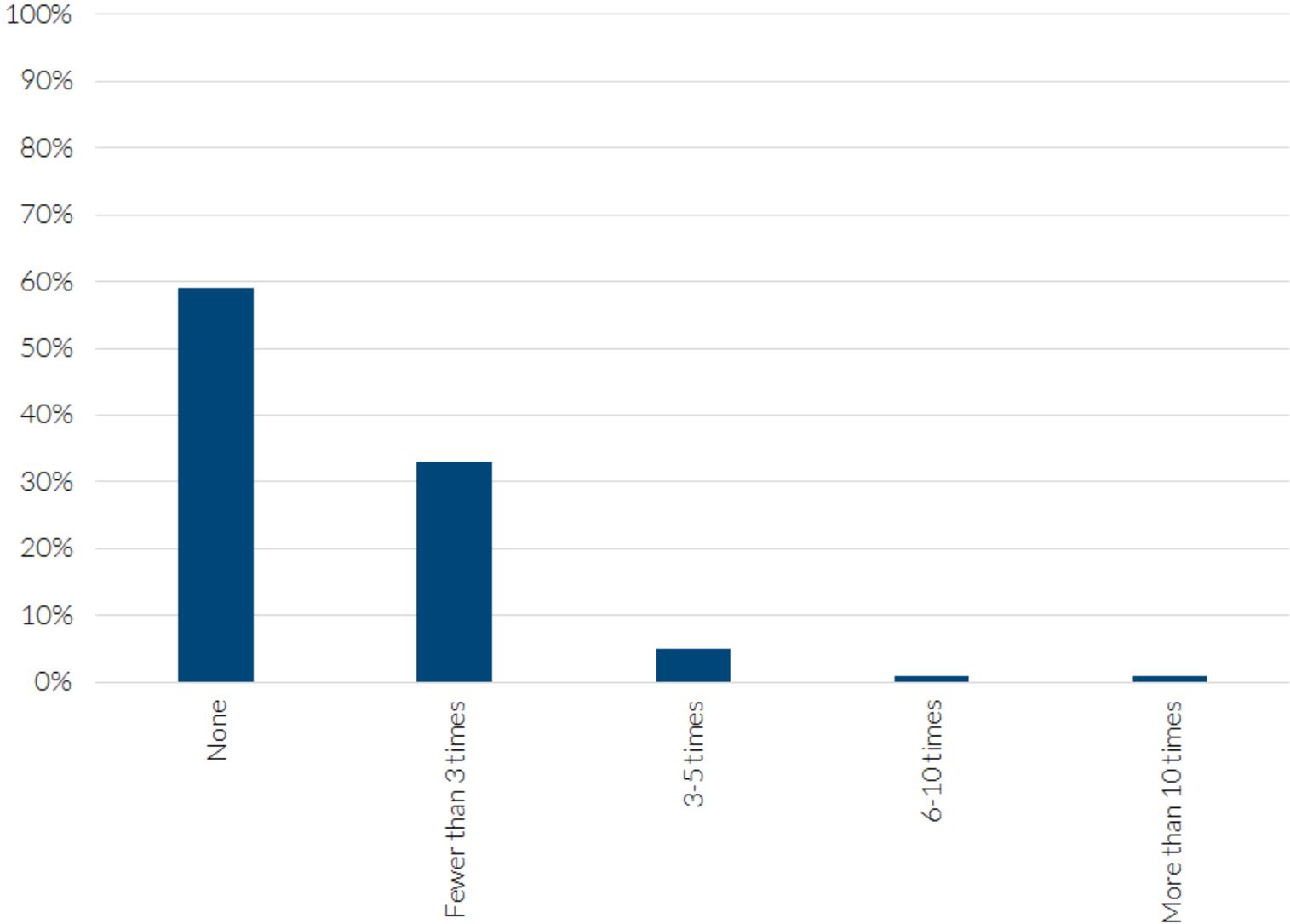
Law Enforcement



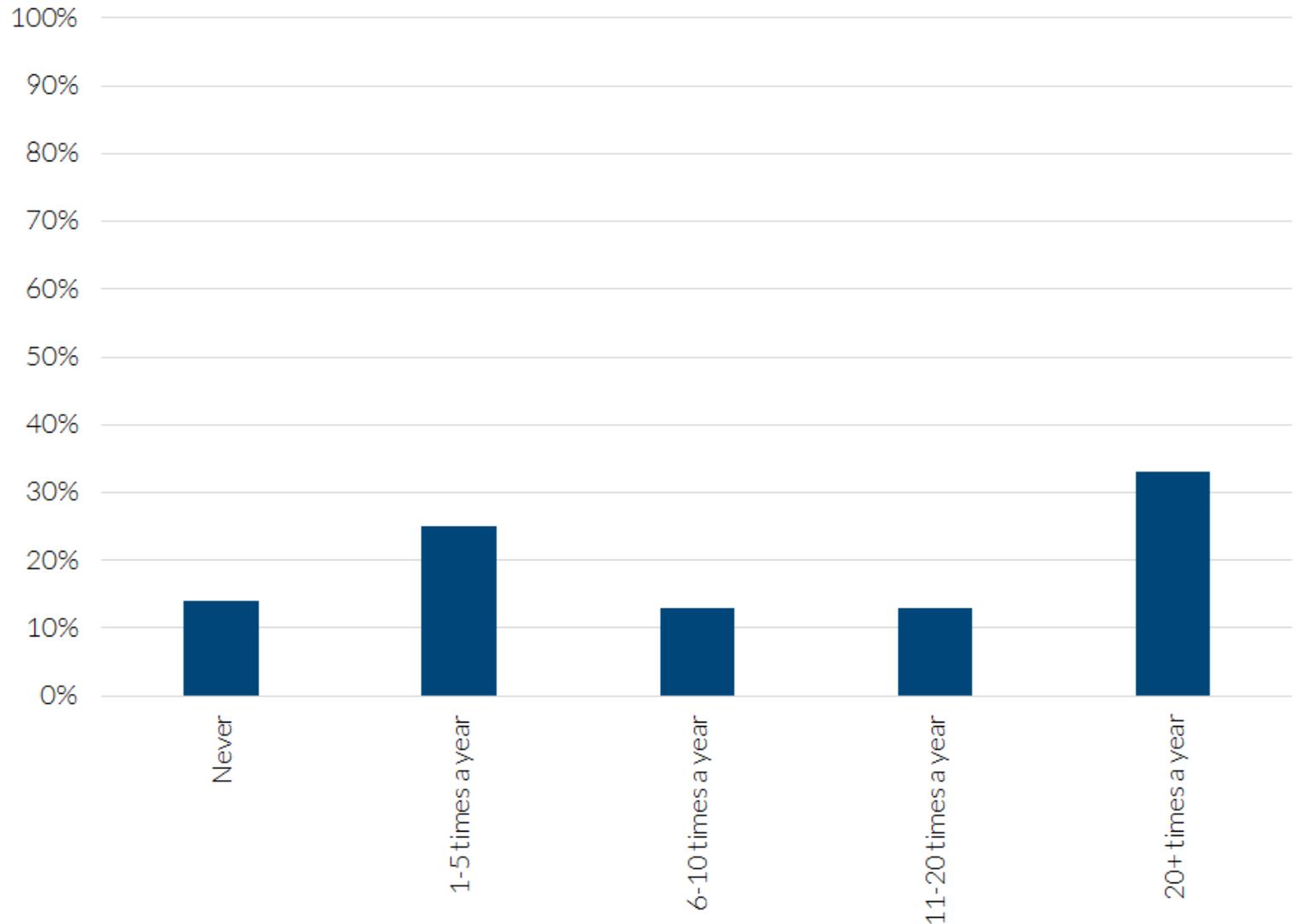
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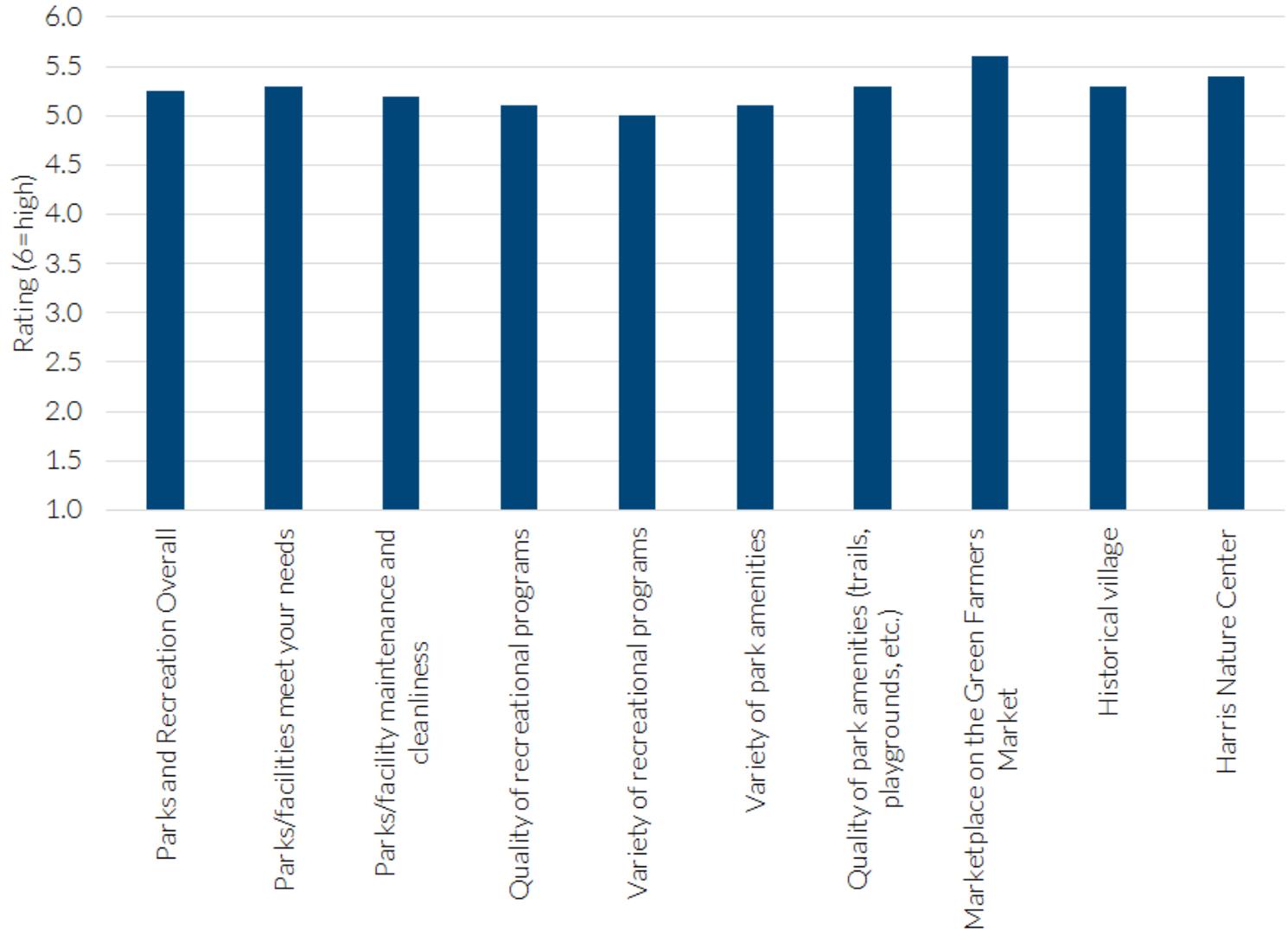
In the past year, how much contact have you had with the Meridian Township Police Department



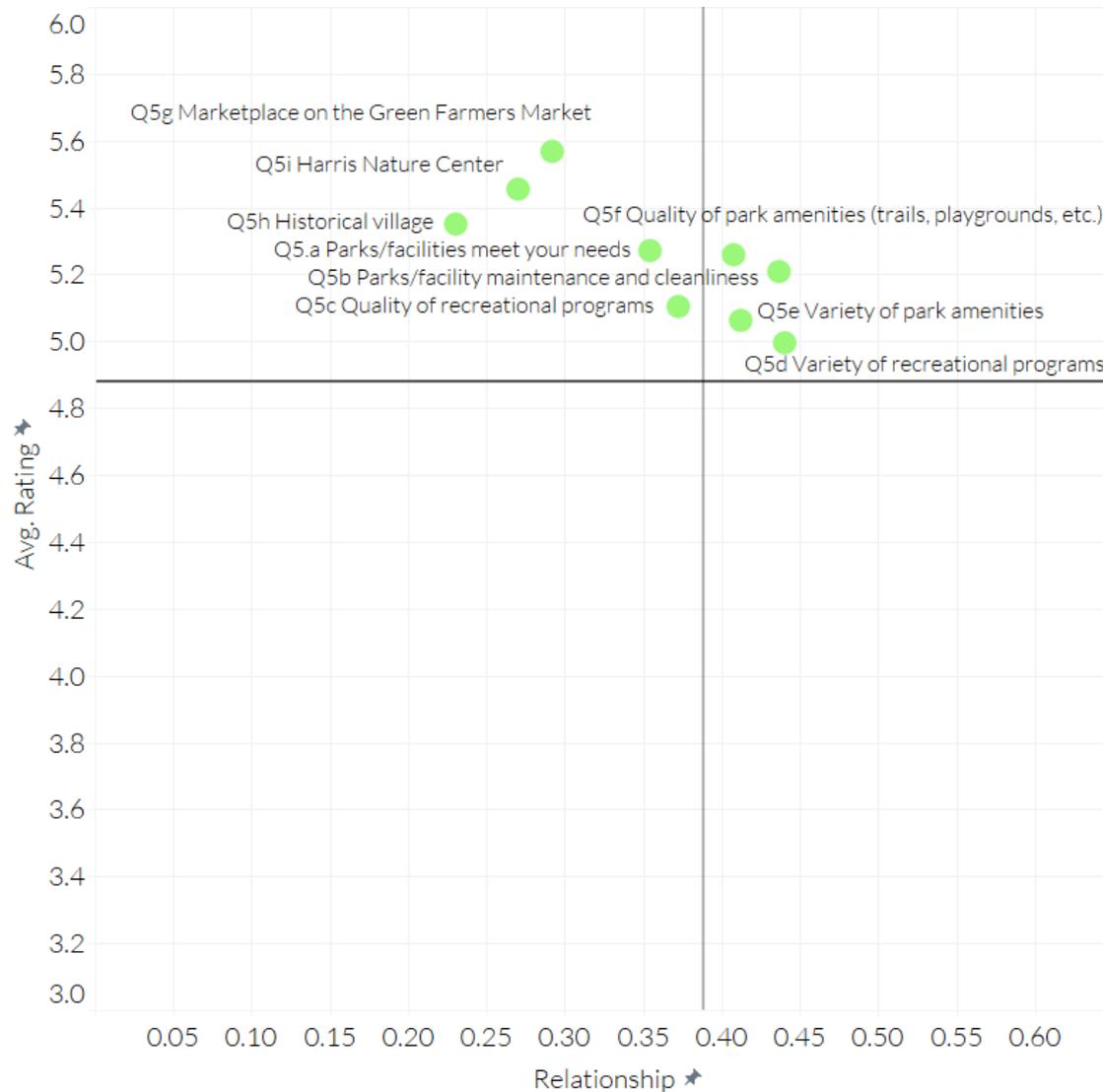
How many times have you use the parks and pathways?



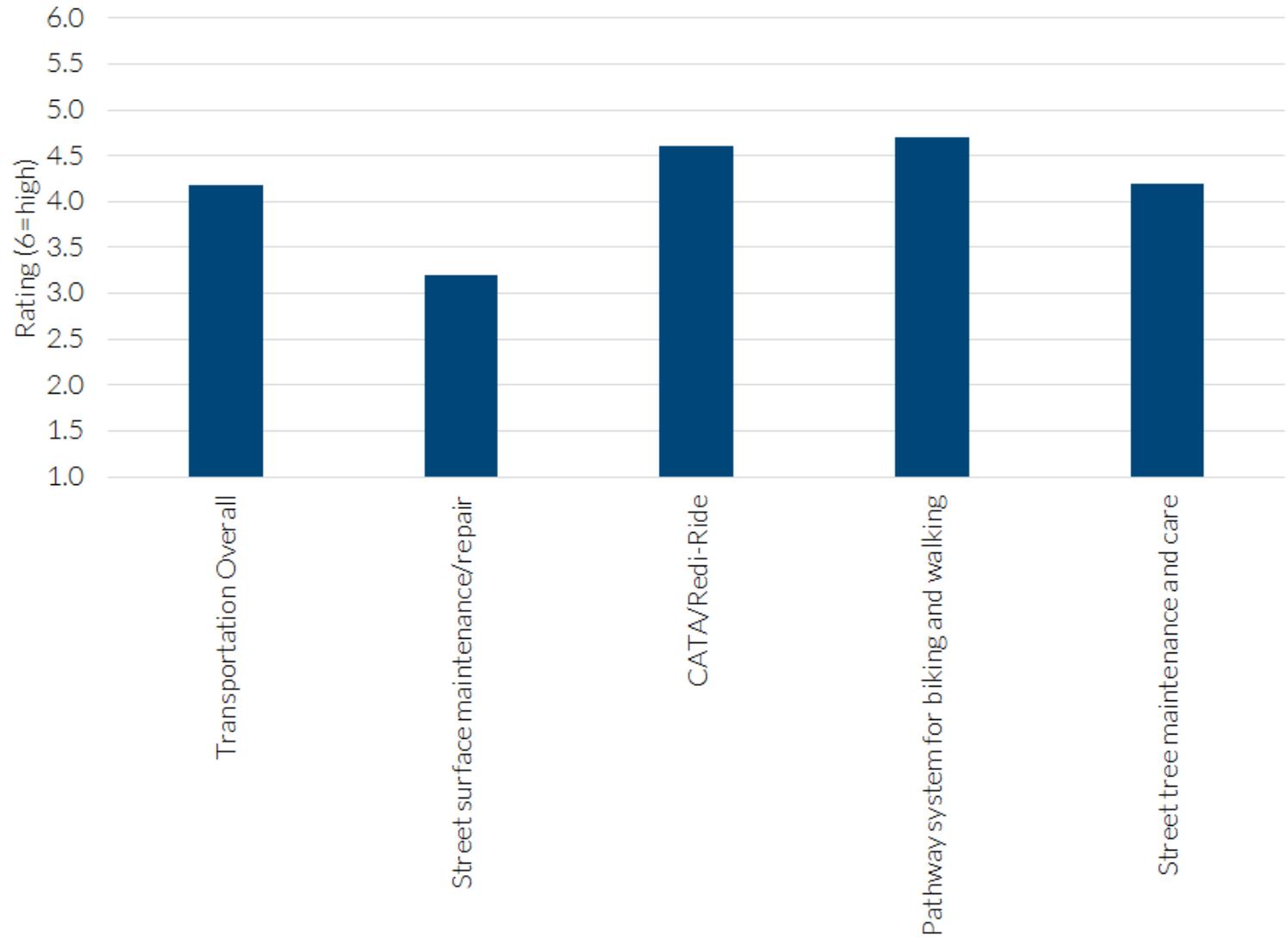
Parks and Recreation Facilities and Programs



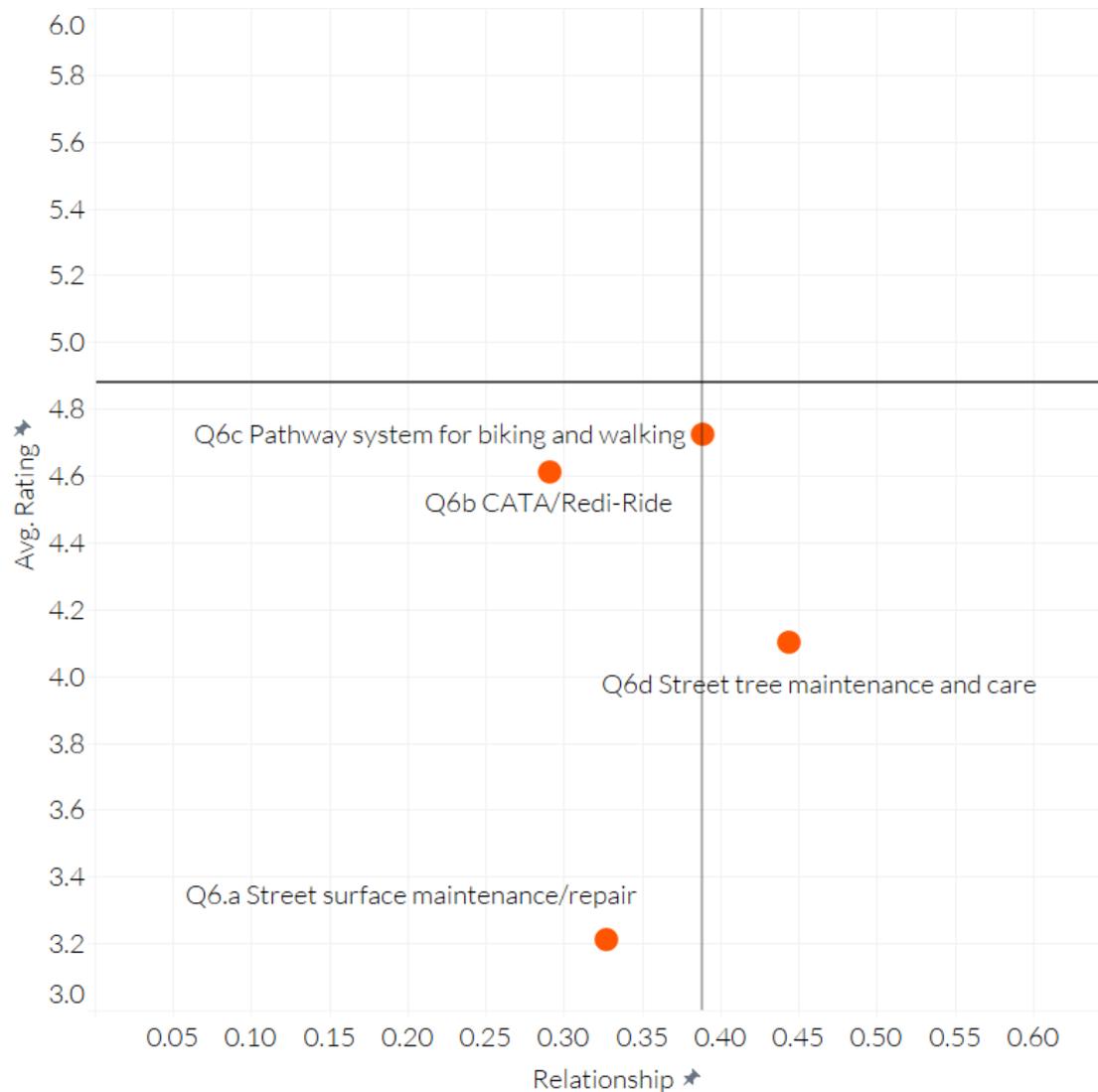
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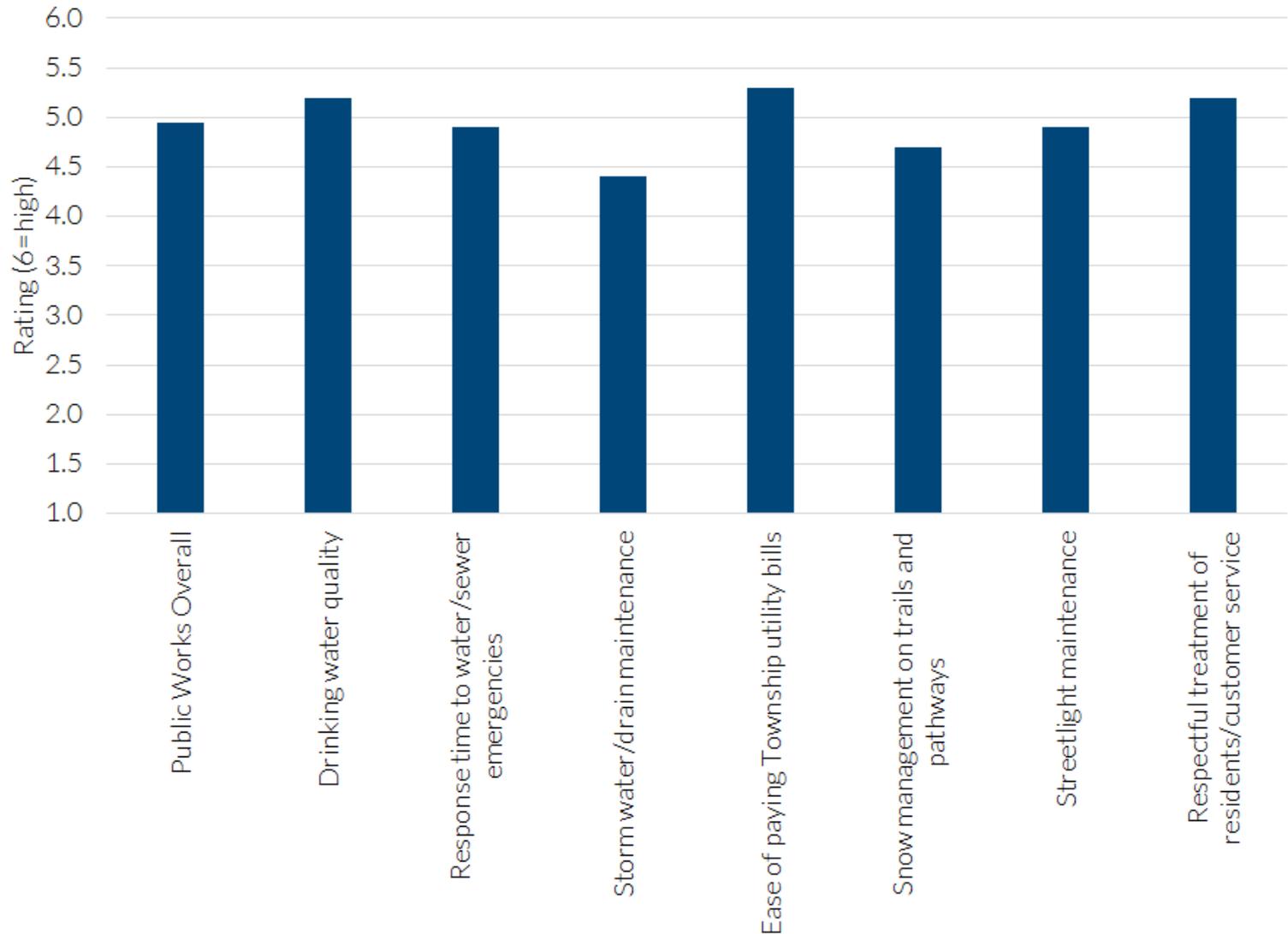
Transportation Infrastructure



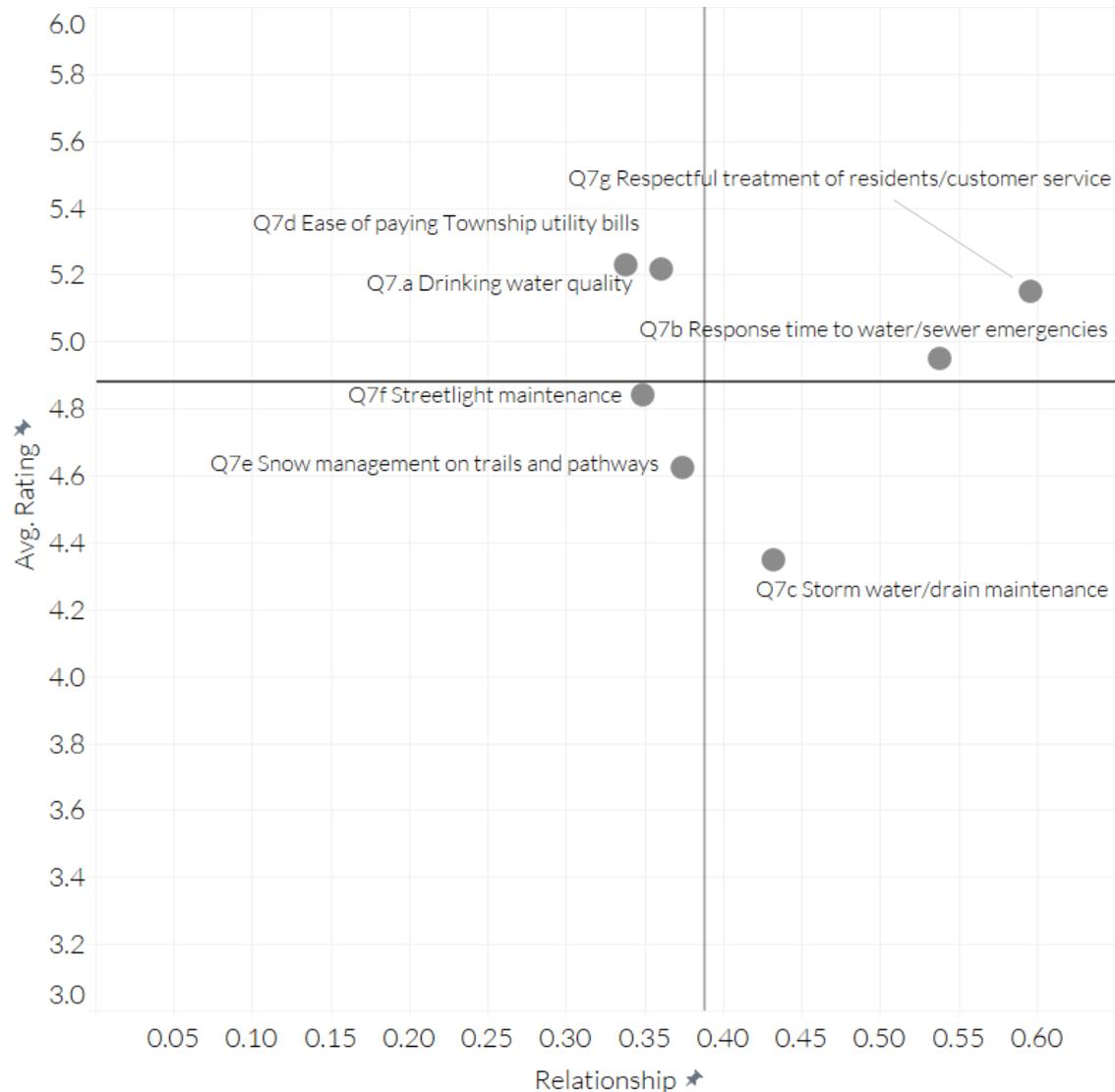
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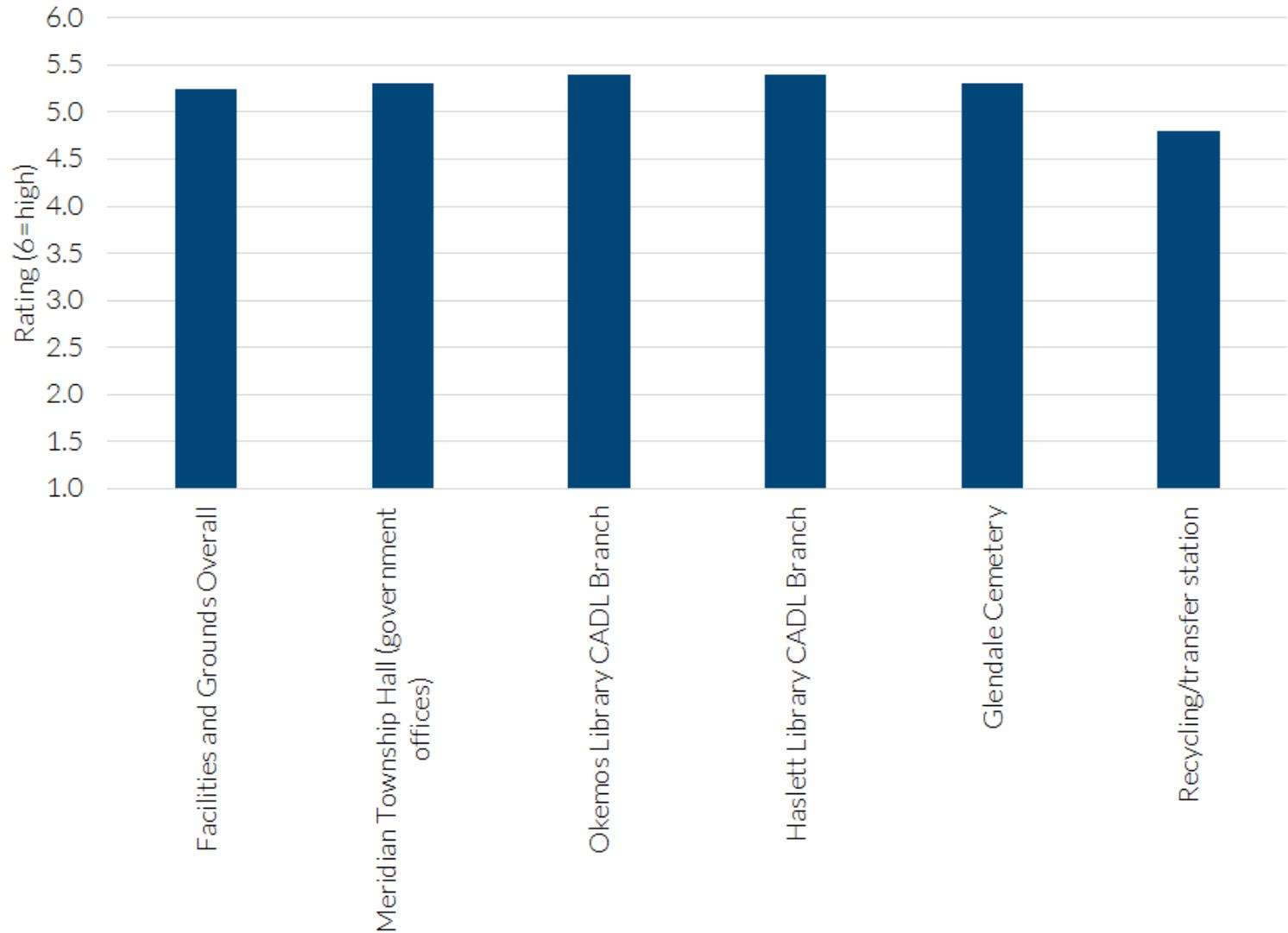
Meridian Township Public Works Services



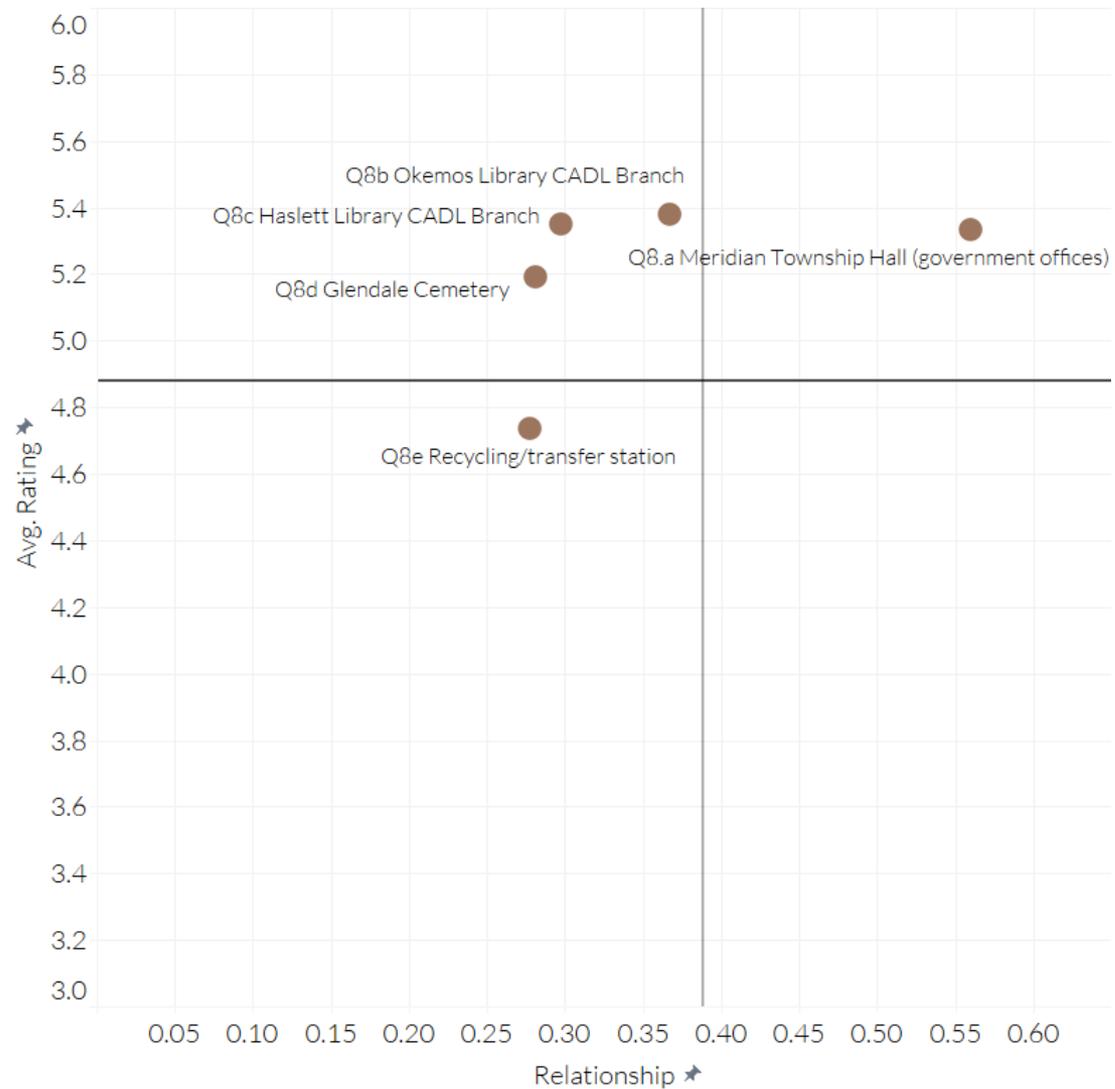
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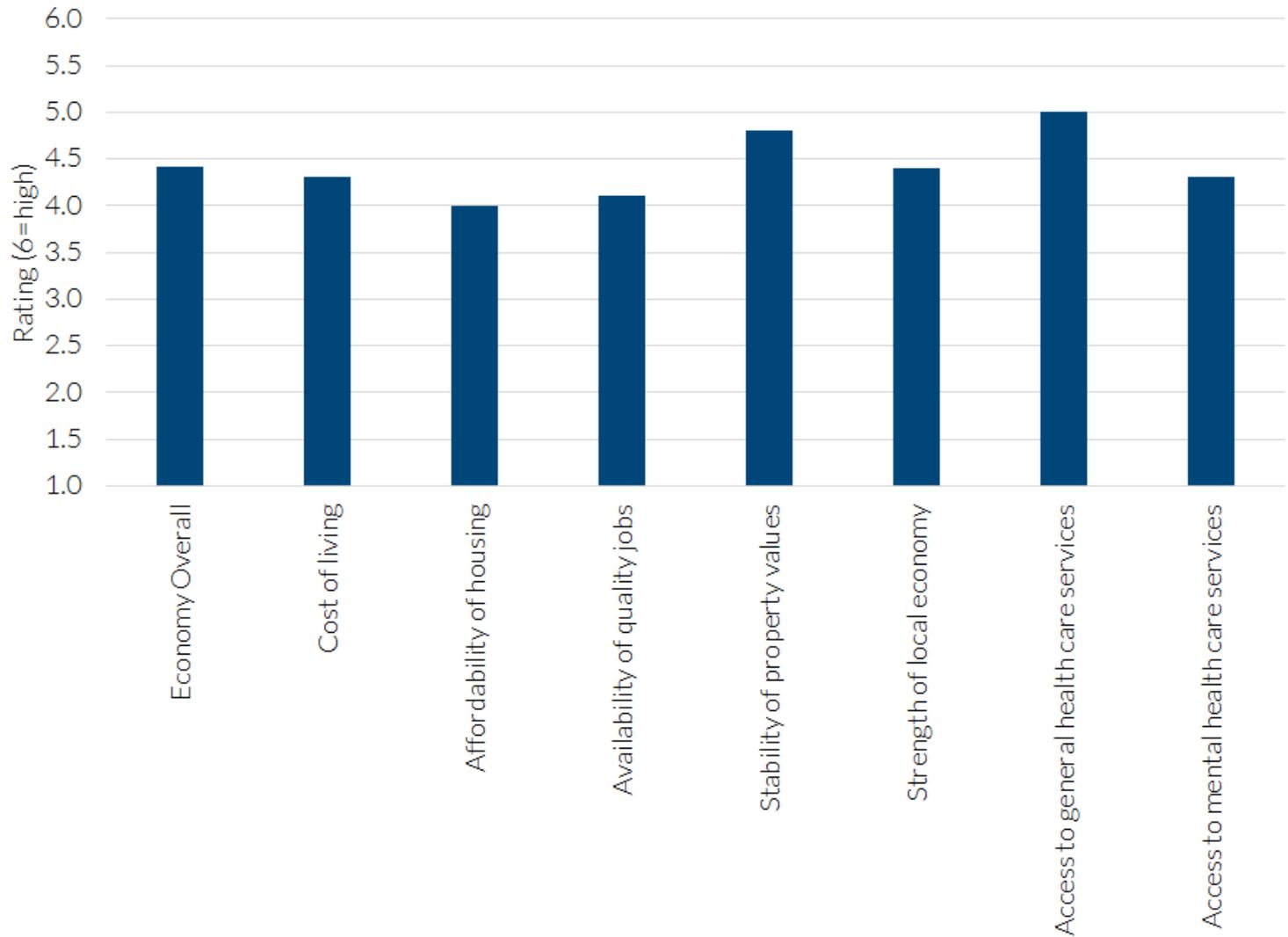
Meridian Township Facilities and Grounds



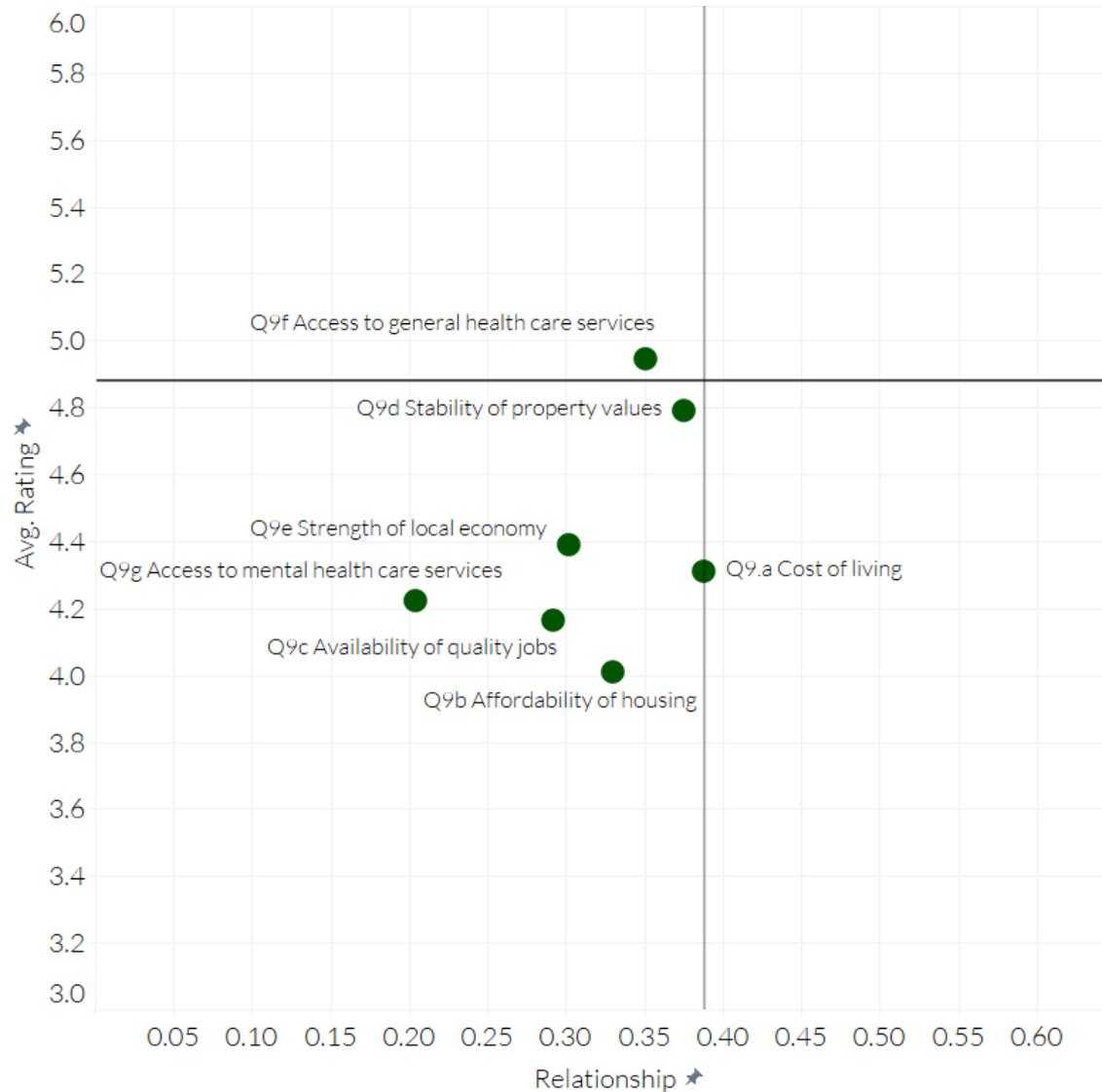
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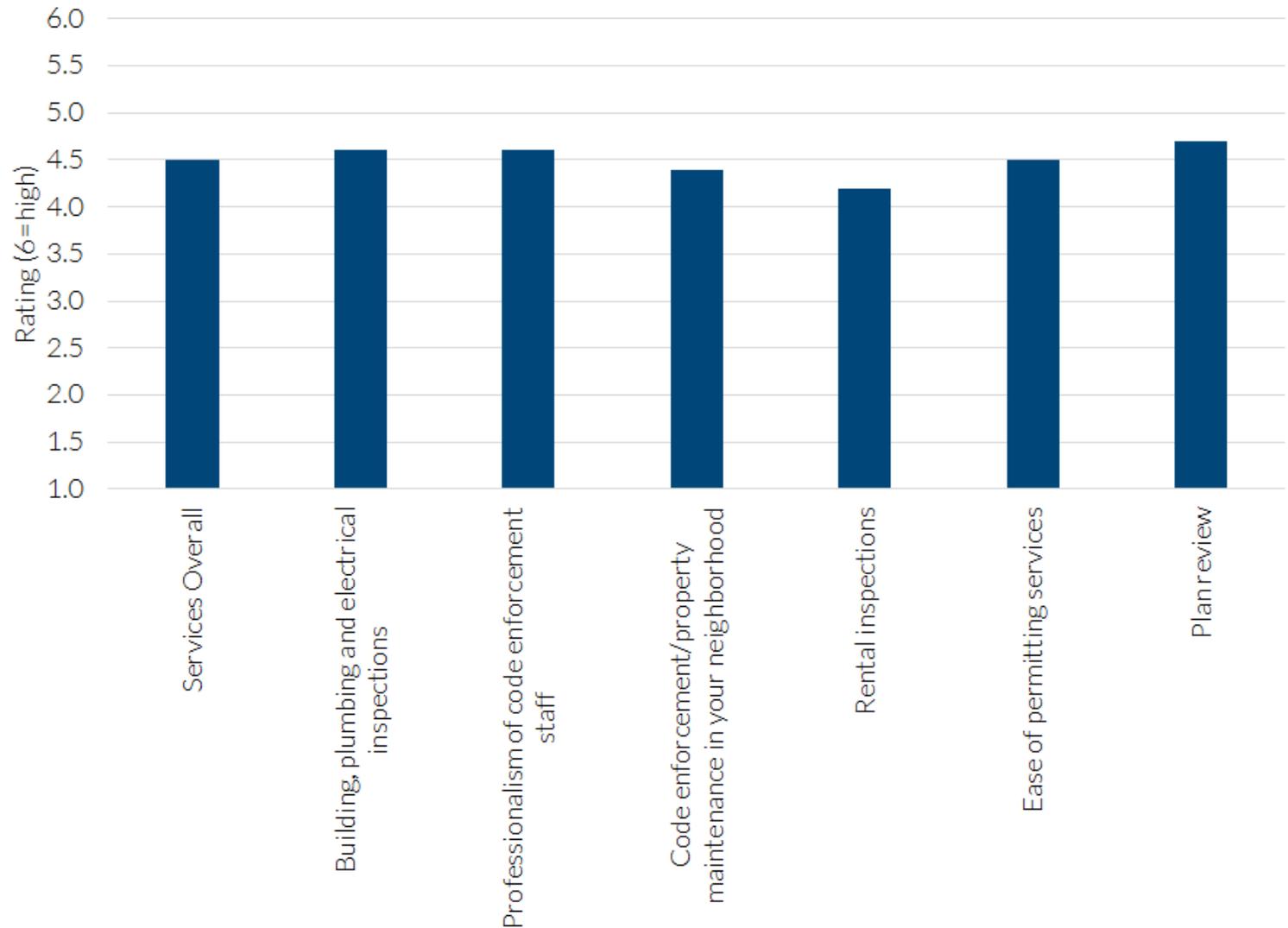
Economic Health



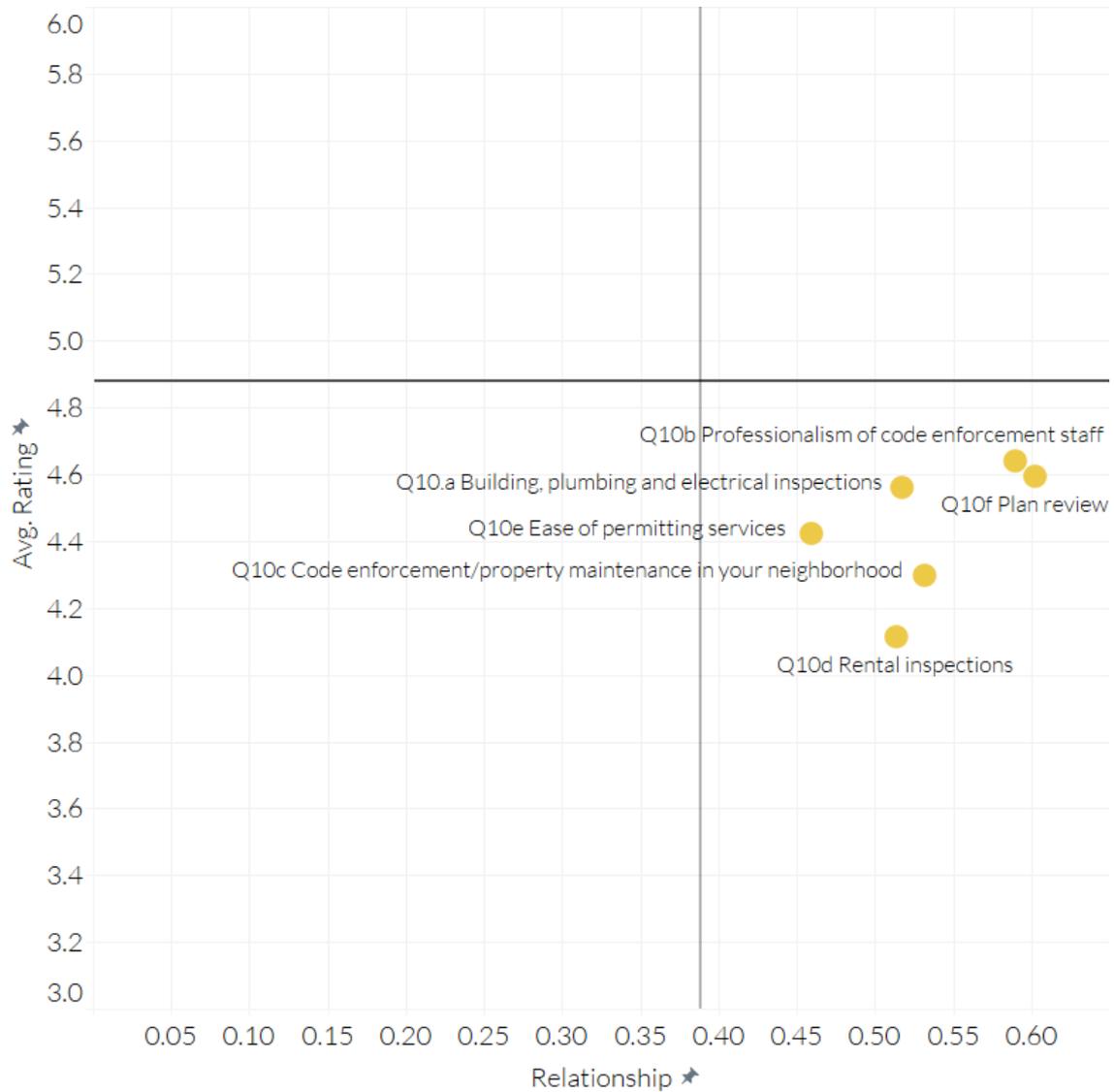
Economic Health



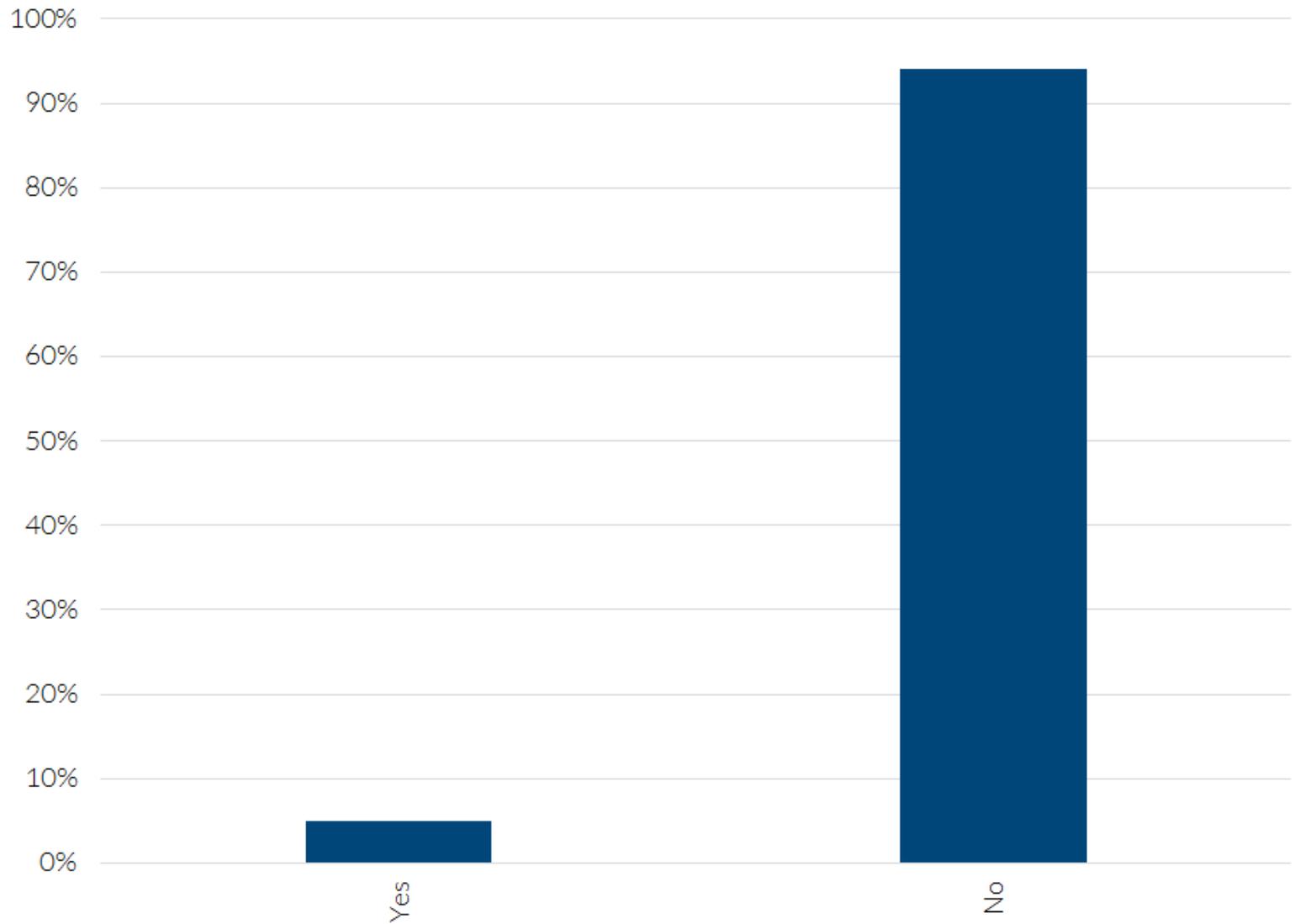
Township Services



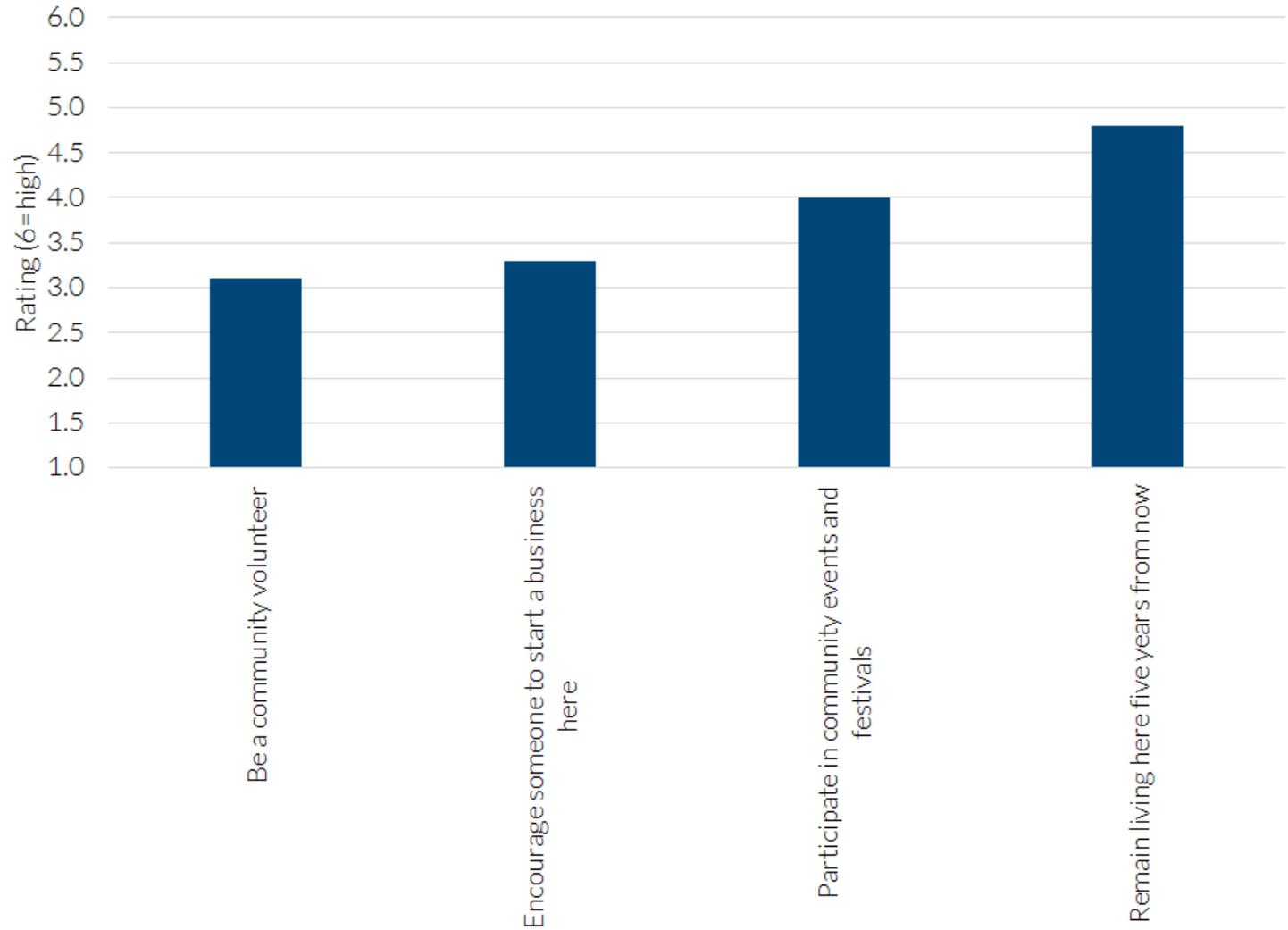
Township Services



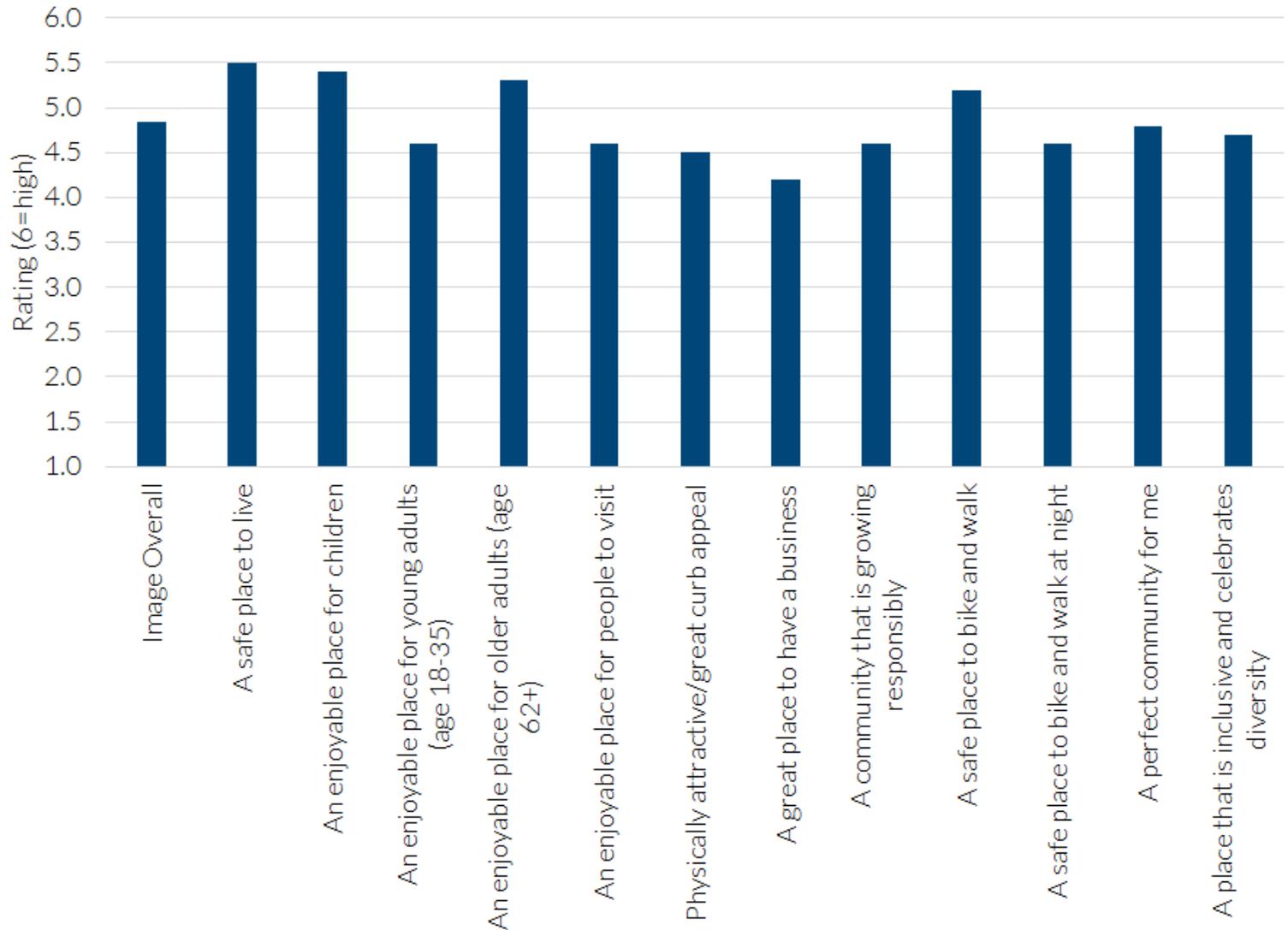
Do you own or operate a business in Meridian Township?



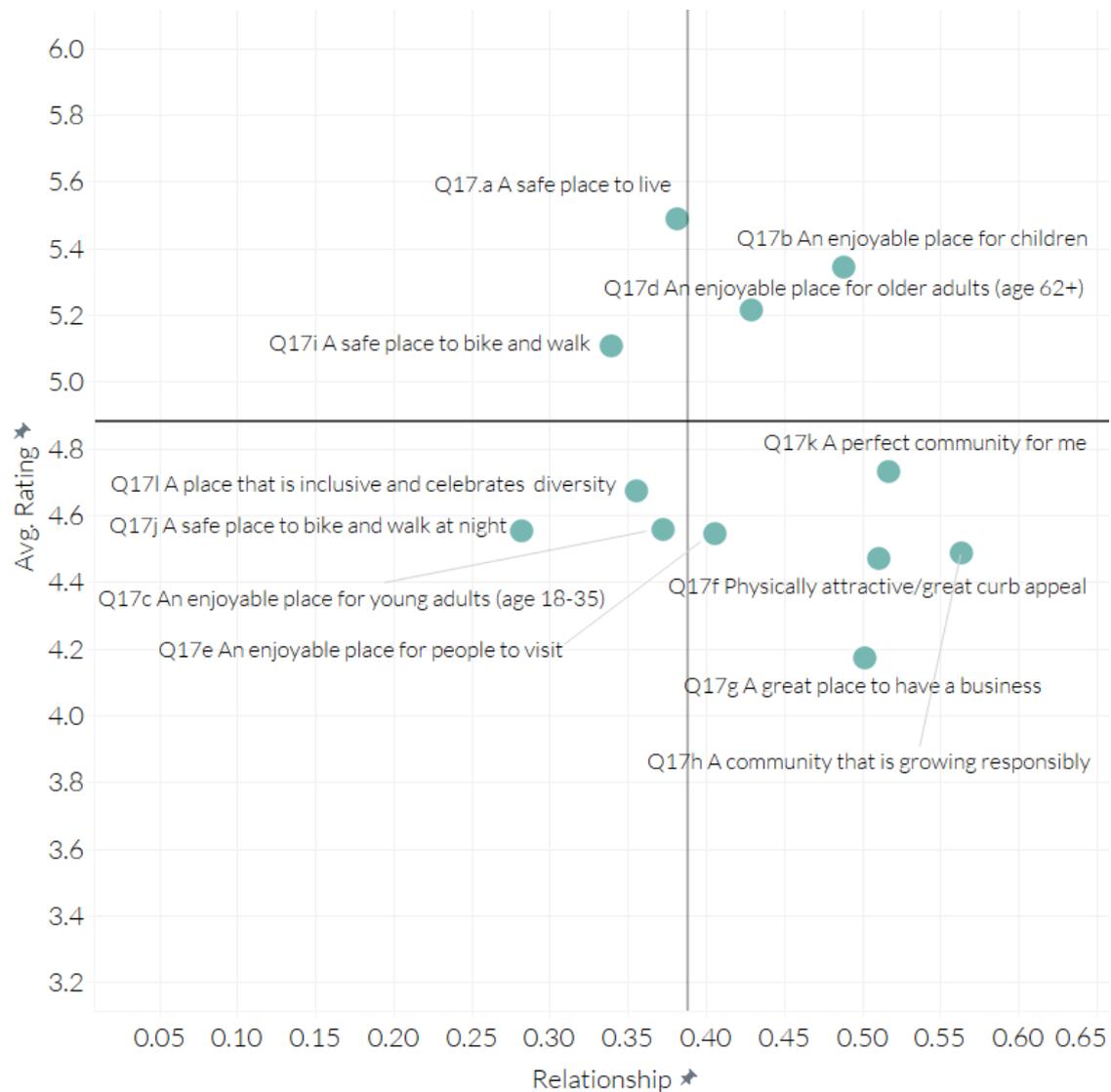
Outcome



Community Image



Community Image



Word Cloud:

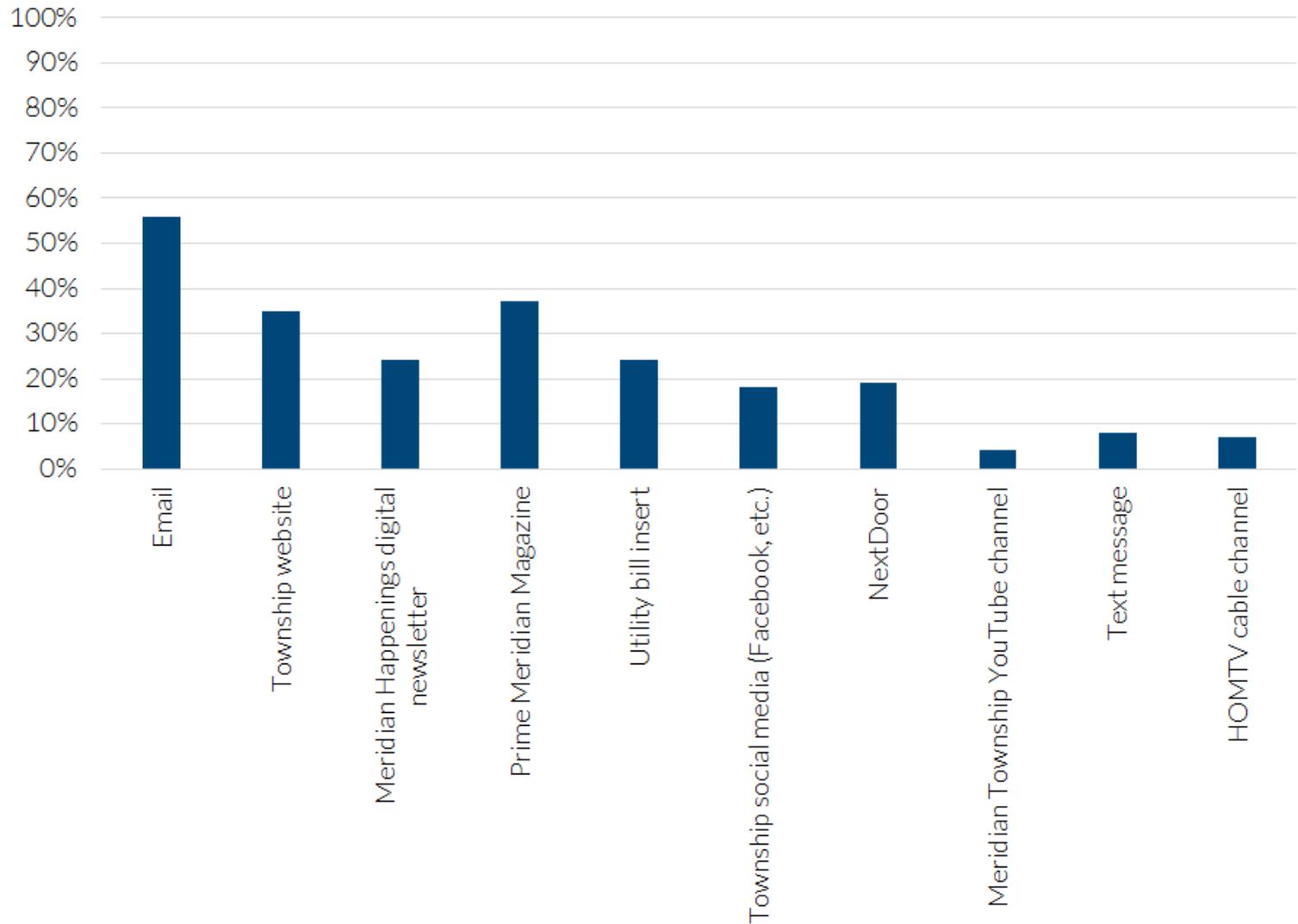
What do you like most about living in Meridian Township?

Top Themes:

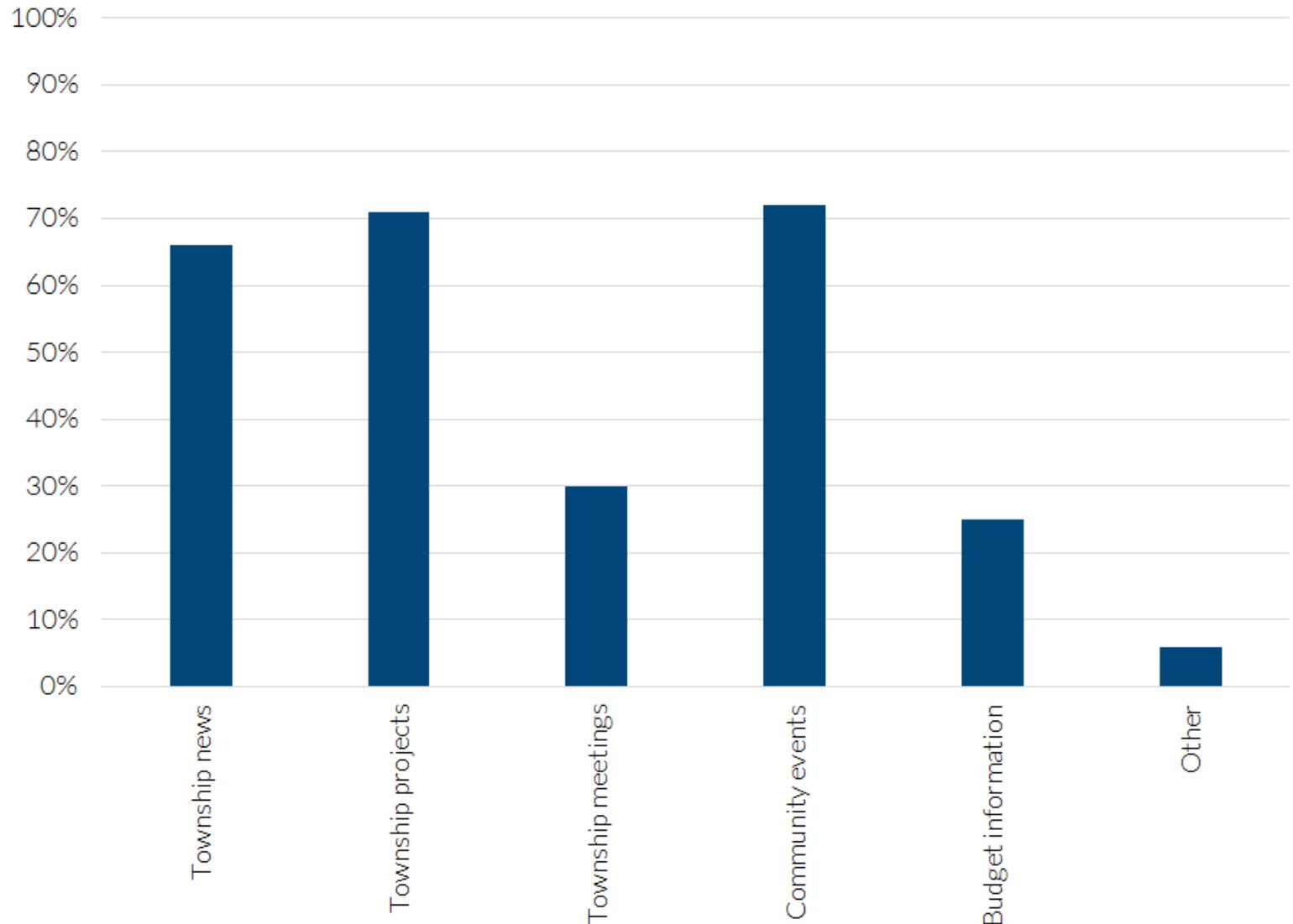
1. **Safe:** People feel the community is safe for everyone with low crime rates and an active police force.
2. **Parks:** The community is looking for safer walking paths and redevelopment of downtown areas to accommodate people with disabilities for better access to parks and green areas.
3. **School:** People enjoy living near Michigan State University, along with easy access to safe, affordable schools.



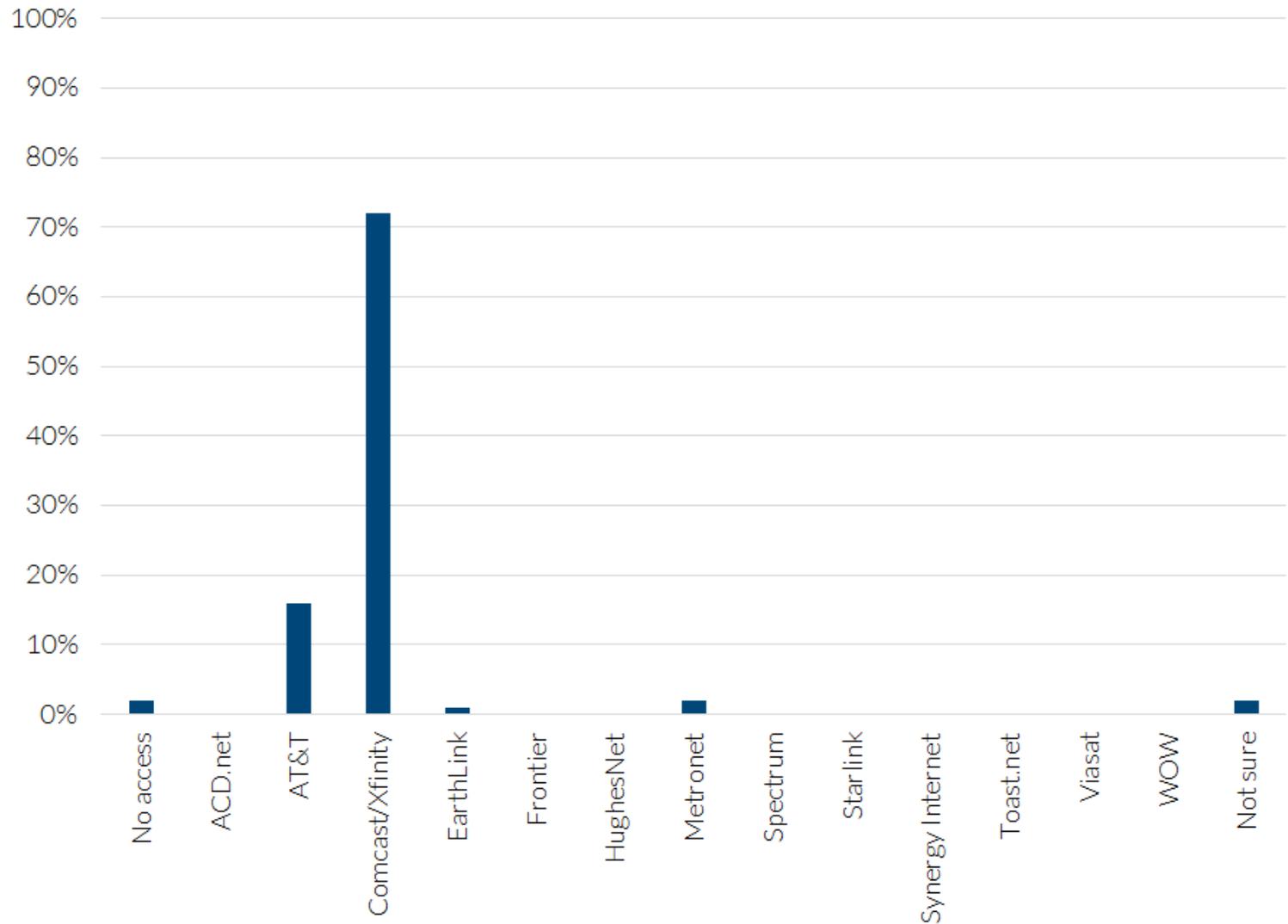
How do you prefer to receive information from the Township?



What types of information would you prefer to receive?



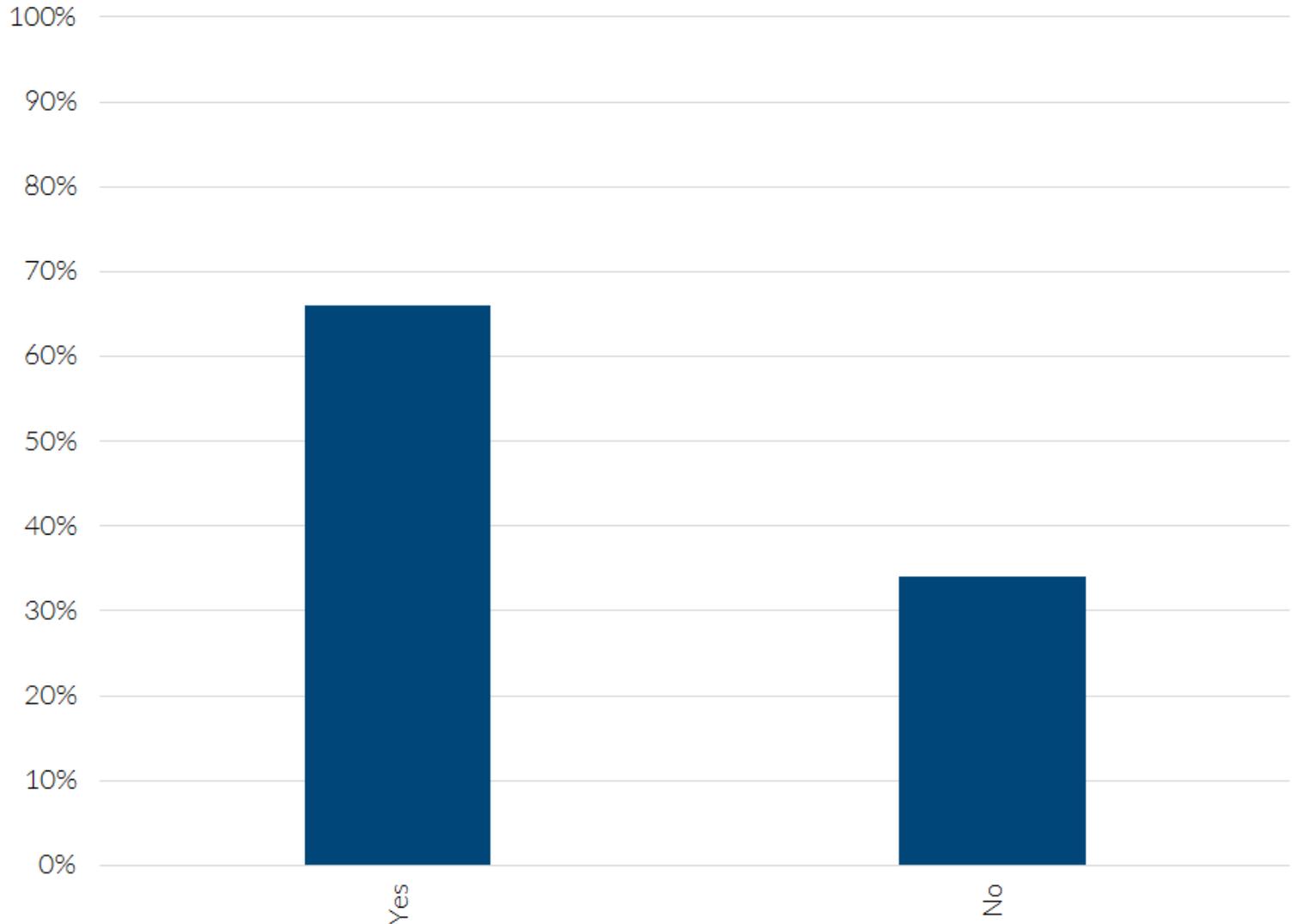
What is your internet provider?



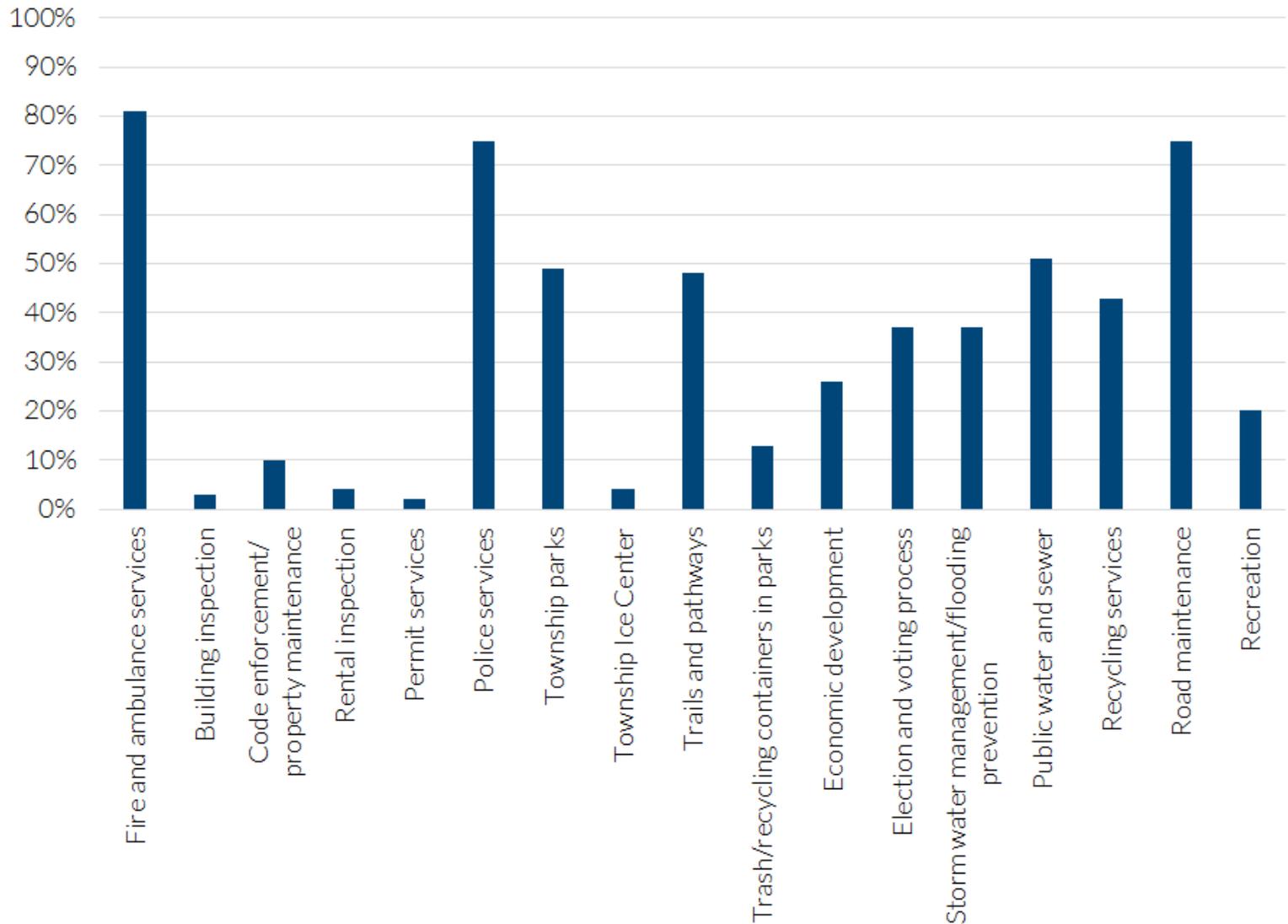
Internet Fees

Internet Access Cost Modeling	Current Costs	Fair Cost	Maximum Cost
Average	\$110	\$55	\$76
Median	\$90	\$50	\$60

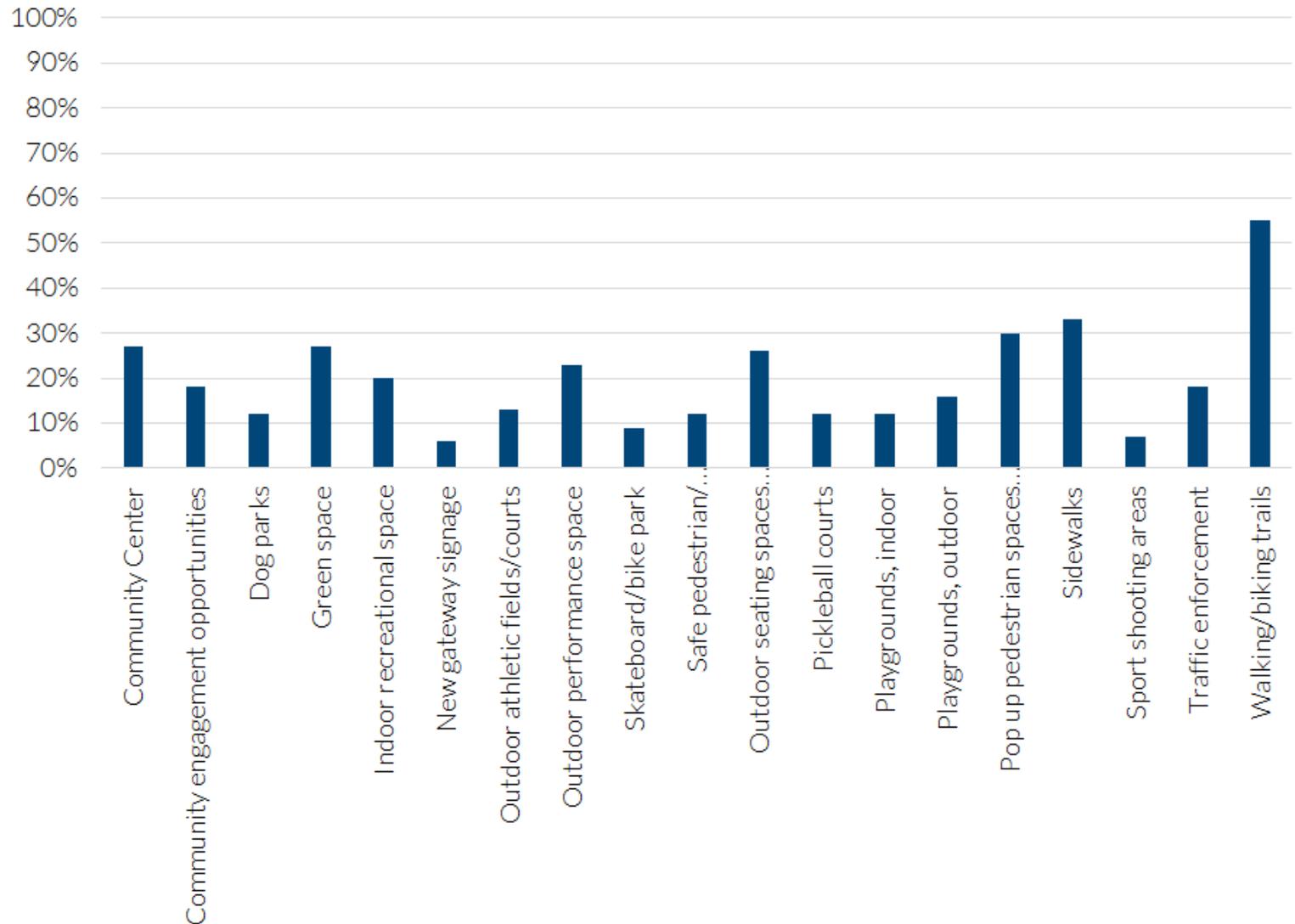
Do you support a Township Broadband Millage?



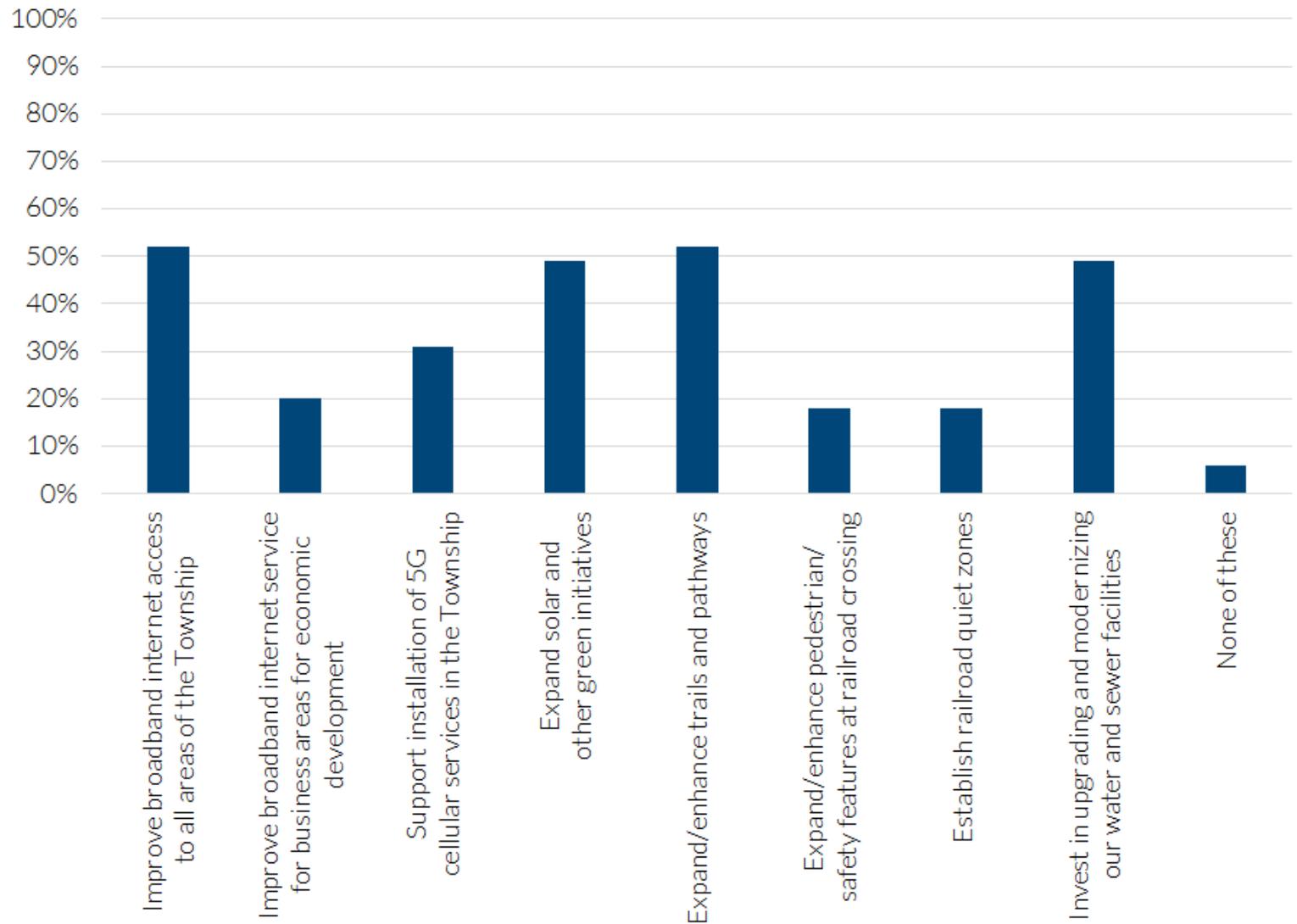
Which six Township services are most important to your household?



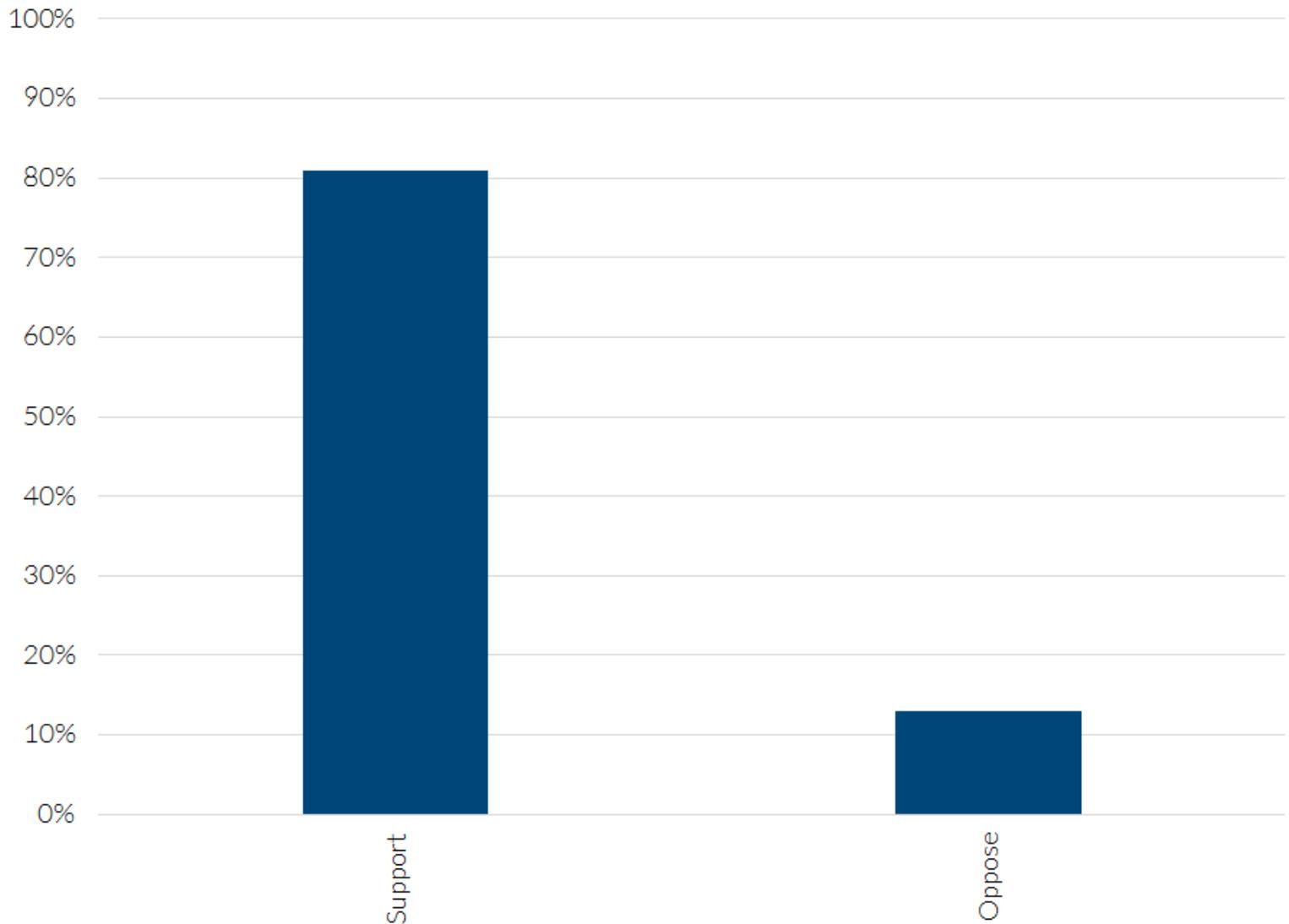
Which community amenities would you like to see added or improved?



Which of the following improvement should the Township pursue?



Do You Support to continue the Deer Management Program?



Questions



**CONSENT AGENDA
BOARD COMMUNICATIONS
September 21, 2021**

From:
To: [Board](#)
Subject: Sidewalks on Shaw St
Date: Friday, September 3, 2021 11:54:41 AM

Hello,

I live on Potter St near Lake Lansing where the new storm drain project is underway. I happened to be on Shaw St. this morning and the new sidewalks are ridiculous. The width of those sidewalks is too much. They have completely ruined the residential look of the neighborhood and I have an objection to any more being placed in our subdivision. This is supposed to be a quiet little lake side sub and it now looks like a commercial nightmare.

Please replace those horrible sidewalks with more appropriately wide residential ones. You have destroyed the look of our community.

Respectfully,

Rick VanGessel
5920 Potter St.
Haslett, MI.

From:
To: [Board](#)
Subject: Potter St construction project
Date: Friday, September 3, 2021 12:14:22 PM

Hello,

I live on Potter St near Lake Lansing where the new storm drain project is underway. I was just told today that the wide gravel strip in front of my house is being left that way. This is not acceptable. We did not have a partial gravel roadway prior to this project and it does not look good. For the cost of this project, we expected our street to look like a nice residential street, not something half done. Please replace the gravel with pavement, or better yet, put a normal sized sidewalk there and don't steal feet of yard from all of our homes. The gravel is a poor choice as it gets in our yards, where we have to rake it out before we mow, and onto the road. This project was not described to us like this. We were told it would look nice and the landscaping would be done properly. The board needs to rethink what this project will look like when it is finished as it will look horrible.

Respectfully,

Rick VanGessel
5920 Potter St.
Haslett, MI.

From: Derek Perry <perry@meridian.mi.us>
Sent: Wednesday, September 8, 2021 3:51 PM
To:
Cc: Frank Walsh <walsh@meridian.mi.us>
Subject: Shaw Street Pathway

Good afternoon Mr. VanGessel:

Thank you for contacting the Township with your concern about the new pathway recently installed on Shaw Street.

The pathway on Shaw Street is part of the MSU to Lake Lansing Pathway project and is intended to be a connector from Lake Lansing Park South and the main route through downtown Haslett. The primary goal of the pathway system is to connect neighborhoods with parks, schools and commercial areas, and this piece provides for a direct and safe route for pedestrians and bikers to use between the businesses in Haslett and the County Park on Lake Lansing.

Construction of the pathway was identified in the Township Pathway Master Plan and funding was secured through the Ingham County Parks and Trails millage program. Because of the Nemoka Drain project, its construction was accelerated to coincide with the work in the area. As a condition of the program, it is constructed to federal and state standards, which result in its width of 10 feet.

No other pathway/sidewalk enhancements are planned for the Nemoka neighborhood as part of the drain project or as part of the Pathway Master Plan.

Please let me know if you have any additional questions regarding the project.

Respectfully,

Derek N. Perry
Deputy Township Manager
Director of Public Works & Engineering
perry@meridian.mi.us
W 517.853.4440 | F 517.853.4099
5151 Marsh Road | Okemos, MI 48864

From: [Phil Deschaine](#)
To: [Board](#)
Cc: [Frank Walsh](#); [Derek Perry](#)
Subject: Which Greater Lansing communities experienced most housing growth in past decade - from Lansing State Journal
Date: Friday, September 3, 2021 12:59:03 PM

This State Journal Article barely mentions Meridian Township's 11% growth, and does not mention East Lansing and Lansing's population declines.

Here is the article: [lansingstatejournal.com](https://www.lansingstatejournal.com):

<https://www.lansingstatejournal.com/story/news/2021/09/02/lansing-new-housing-township-growth-census-delhi-aurelius-bath-watertown/5678678001/>

The salient fact missed by the LSJ is that Meridian's 11% growth, in absolute numbers, is greater than the other five communities combined.

	2010 Census	%	Population Increase
Delhi Twp,	22,569	9%	2,031
Watertown Twp.	4,162	15%	624
Aurelius Twp.	3,525	24%	846
Pottersville.	2,713	17%	461
Bath Twp.	2,319	20%	464
Subtotal of All Others			4,427
Meridian Twp.	43,313	11%	4,764

Phil

Lansing State Journal

NEWS

Which Greater Lansing communities experienced most housing growth in past decade

Craig Lyons Lansing State Journal

Published 7:01 a.m. ET Sep. 2, 2021

LANSING – Construction sites for new housing are far from a rare sight in Delhi Township.

During the last 10 years, Aspen Lakes Estates, Willoughby Estates, Avis Flats and Redwood Holt are just a few of the new developments in Delhi Township that are significantly bolstering the area's housing stock.

“Things are just kind of booming,” Delhi Township Supervisor John Hayhoe said.

Delhi, three other townships – Aurelius, Bath and Watertown – and Potterville were the top communities for new housing growth over the past decade, according to the U.S. census. The region's two largest cities, Lansing and East Lansing, saw slight increases in their new housing stock, growing 1% and 5% respectively.

Cindy Kosloski, CEO of the Builders Association of Greater Lansing, said among the biggest factors for new housing growth is having available land.

“It's going to be where the land is the builders will go,” Kosloski said.

Here's how much the housing stock grew in Greater Lansing's suburban areas:

Aurelius Township grew by nearly 43%

Bath Township grew by 14%

Watertown Township grew by 13%

Potterville grew by 10%

Delhi Township grew by nearly 9%

The figures from the 2020 U.S. census released in August show how Greater Lansing evolved in the last 10 years.

More: Census: Ingham 2nd-most diverse county in Michigan; Clinton among fastest-growing

Overall, the area saw the number of new available housing units grow.

Clinton County's number of housing units increased by 7%

Ingham County's number of housing units increased by 3%

Eaton County's number of housing units increased by 1%

Statewide, Michigan's volume of housing stock grew by 0.8%, according to census data.

Housing increase mirrors population growth in suburban communities

Whether it's downtown apartments, suburban townhomes or rural single-family homes, Hayhoe said Greater Lansing has options available.

Despite downtown conveniences, Hayhoe said many people are still looking for room to breathe.

"Delhi Township has continued to experience growth and residential investment over the past 10 years" Delhi Township Manager Tracy Miller said in a statement. "We're thankful that the development of unit types has been mixed, offering living opportunities for all in Delhi."

The increases in suburban housing stock mirrors a trend of residents moving to those communities during the past decade.

Here are the top five fastest-growing municipalities in Greater Lansing:

Aurelius Township grew by nearly 24%

Bath Township grew by 20%

Pottersville grew by 17%

Watertown Township grew by 15%

Meridian Township grew by nearly 11%

More: Suburban communities growing while Lansing, East Lansing see populations drop

Overall, the area saw its population grow, particularly in Clinton County, which ranked 10th highest among Michigan counties that grew.

Clinton County's population grew 5% to 79,128 from 75,382

Ingham County's population grew 1% to 284,900 from 280,895

Eaton County's population grew 1% to 109,175 from 107,759

Permit survey shows housing growth continues

In 2020, developers sought 1,100 permits for new residential buildings in the Lansing-East Lansing metropolitan statistical area, according to the Census Bureau's annual building permit survey. Permits were issued for 549 single-unit buildings and for 472 units in 15 buildings with five or more dwellings, according to the survey.

That's an increase from a decade ago when 677 permits were sought. In 2010, developers requested permits for 451 single-unit buildings and 226 units in nine buildings with five or more dwellings, according to the survey.

Kosloski said she doesn't see any signs of the housing boom stopping soon.

"We just continue to see the area growing," she said.

Contact reporter Craig Lyons at 517-377-1047 or calyons@lsj.com. Follow him on Twitter @craigalyons.

Patrick E. Lindemann

Ingham County Drain Commissioner

PO Box 220
707 Buhl Avenue
Mason, MI 48854-0220

Phone: (517) 676-8395

Fax: (517) 676-8364

<http://dr.ingham.org>



Carla Florence Clos
Deputy Drain Commissioner

Paul C. Pratt
Deputy Drain Commissioner

Angie Cosman
Chief of Engineering and Inspection

Sheldon Lewis
Administrative Assistant

NOTICE OF DAY OF REVIEW OF APPORTIONMENT

September 1, 2021

DELIVERED:
CERTIFIED MAIL

Attn: Deborah Guthrie, Clerk
Meridian Charter Township
5151 Marsh Road
Okemos, MI 48864

You are hereby notified that a public Day of Review on the following drain will be held on **Tuesday, September 14, 2021**, at the Ingham County Drain Commissioner's Office, 707 Buhl Ave., P.O. Box 220, Mason, MI 48854, from 9:00 a.m. until 5:00 p.m.

The Day of Review is for the purpose of reviewing the apportionment of benefits for the Drain for each parcel and municipality within the Drainage District.

Your apportionment is as follows:

<u>DRAIN #</u>	<u>DRAIN NAME</u>	<u>BENEFIT PERCENT</u>	<u>ESTIMATED ASSESSMENT</u>	<u>ESTIMATED 2021 AMOUNT</u>
B32-00	BELL DRAIN	0.00000%	\$ 0.00	\$ 0.00
B51-00	BIEBESHIEMER DRAIN	2.9249%	\$ 28.00	\$ 28.00

These amounts represent the **estimated** amounts for the drainage district, and are subject to change at the Day of Review. The assessments are to be collected over one year.

At the meeting to review the apportionment of benefits, I will have the tentative apportionments against parcels and municipalities within the drainage district available to review.

Any drain assessments against land will be collected in the same manner as property taxes. For Assessments to be collected in installments of more than one year, you may pay the assessment in full with any interest to date at any time and avoid further interest charges.

You may appear in person at the Day of Review, or you may submit written comments by mail at P.O. Box 220, Mason, Michigan 48854, or by email to drainoffice@ingham.org; comments must be received prior to the date set for the Day of Review to ensure consideration. Should you prefer, an appointment may be arranged at a more convenient time to review your apportionment.

Please visit the website at dr.ingham.org for a description of the Drainage District.

Please, be aware you may appeal the determination of apportionments to the Ingham County Probate Court within ten days after this Day of Review.

Proceedings conducted at the Day of Review are subject to the Michigan Open Meetings Act. Persons with disabilities needing accommodations for effective participation should contact Patrick E. Lindemann, the Ingham County Drain Commissioner, at (517) 676-8395, or the Michigan Relay Center at 711 (TTY) at least 24 hours in advance of the meeting to request mobility, visual, hearing, or other assistance.

From:
To: [Board](#)
Cc:
Subject: Rezoning # 21020
Date: Friday, September 3, 2021 5:56:43 PM

June 10, 2021

Greetings, Meridian Board Members,

Re: Rezoning #21020 (Martin Investment Properties, Inc.)/Sparrow

The proposal submitted by Martin for Sparrow to rezone two residential parcels will make many neighbors on Kansas, Indiana and Robin's Way suffer. Spot rezoning the two residential parcels is detrimental. It will destroy the wildlife, the tranquility and threaten safety of children and the elderly. It will depreciate the value of our homes despite the proposed green buffer and access to city water Sparrow is promising. Sparrow's **revised** proposal includes 24/7 medical emergency services. This means light and sound pollution, strangers in the neighborhood at all times, some of whom may be drug users. Who would want to live next to such place? We are not agreeable to trade peace and safety for city water. Neighbors can connect to municipal water on their own when they choose to do so.

The vast majority of residents on Kansas and Indiana roads have spoken and they vehemently oppose this proposal as reflected in our written petition as well as our calls into your board meetings. When I purchased the property on 3566 Kansas Rd, Meridian Township Master Plan was my guide. The plan **did not** include rezoning those parcels. The proposed change was not expected nor justified.

If the real reason for this proposal is providing health services, then Sparrow needs to seek another location that doesn't disturb neighbors. There are several commercial properties off Jolly 1/4 mile west from Kansas at James Philips Street parallel to I 96 and others by Fountain Pointe in the same location. There is also McLaren hospital being completed and is 8 minutes away from Kansas Rd. Allowing a developer to buy exposure on the expense of our neighborhood is a poor decision. ***The free-standing*** emergency services facility ***does not need to be on Okemos property to serve Okemos residents!***

Once you grant the rezoning request, the parcels are fair game. The developer may use it in any way they please. Think about the neighborhood children playing in their backyards, walking to catch the school bus. Think of the disruption you'll be causing to the neighbors and their quiet and safe lives. ***They need to be safe. They need to feel safe. They deserve to have your protection!***

Instead of reducing Kansas street by two residential parcels, you should support increased opportunities for building future houses and further develop it into a more attractive and desired residential neighborhood. I urge you to put the welfare of Kansas Rd neighborhood first regardless of the promises provided in this developer's proposal. As an educator and state board member, I suggest that you initiate a meeting with the neighbors, hear their perspectives, listen to reasons for their pride in their neighborhood as well as their grievances. We are all vaccinated, and I'll be glad to provide soft drinks or coffee in the backyard of 3566 Kansas. This way, you'll be able to familiarize yourselves with the area and its pleasant and open-minded residents!

Respectfully yours, Shereen Tabrizi, Ph.D.

3566 Kansas Rd and 3917 Sheldrake Avenue

Okemos, MI 48864



FOR IMMEDIATE RELEASE
September 13, 2021

CONTACT: Jane Greenway, Sr. Parks and Land management Coordinator
517.853.4610 | greenway@meridian.mi.us

Deer Management Program Continues in Meridian Township *Archery Program to Begin 11th Consecutive Year*

Meridian Township, MI – In an effort to reduce the over-population of deer within the Township, the Deer Management Program will begin on Friday, October 1 for the regular 2021 archery season.

The Deer Management Plan for 2021 includes the following measures for a deer harvest:

- Deer management takes place October 1, 2021 through January 1, 2022.
- This year's program includes 41 total managed areas with a total of 2,340 acres.
- The managed harvest is NOT open to the general public. Participants include 82 qualified, competent, experienced hunters who are familiar with the area.
- Archery hunting only.
- Entrances to designated hunting properties are posted advising visitors of the harvest.

“We are working closely with the Michigan Department of Natural Resources (DNR) to help reduce the population of deer. We have placed our hunters in all Township-owned properties that are practical and safe for archery hunting,” said Jane Greenway, Senior Parks and Land Management Coordinator.

Meridian Township staff continue to receive numerous complaints of deer over-population that have resulted in an increase of damage to landscaping, an increase in reports of vehicle/deer accidents, concern for public health and a disruption to the ecological balance of natural areas.

In response, Township staff developed a Deer Management Plan that outlines measures for a highly managed program to harvest white-tailed deer in numerous Township and County-owned properties. Neighbors of the Township properties that will be managed will receive notification about the harvest. All parks and land preserves remain open to the public during this time.

For more information on the 2021 Deer Management Program, please visit meridian.mi.us/DeerManagement or call 517.853.4600.

###

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FOR IMMEDIATE RELEASE
September 13, 2021

CONTACT: LeRoy Harvey, Environmental Programs Coordinator
517.853.4466 | harvey@meridian.mi.us

Regional Electronics Recycling Day Announced

Local Organizations & Businesses Partner to Reduce, Reuse and Recycle

Meridian Township, MI – The Regional Electronics Recycling Day is a great way for all residents in the Capital Area to take care of unwanted items from their attics, garages, basements or storage units. The event will be held at Chippewa Middle School (4000 Okemos Road) on Saturday, September 18 from 9:00 am to 2:00 pm.

Safely recycle a variety of unwanted items such as:

- TVs*
- Monitors*
- Computers
- Printers
- Cords
- Cables
- Phones
- VCRs
- Stereo Equipment & More

*A \$20 donation is requested for each television or monitor, payable at the event or in advance by visiting www.meridian.mi.us/recycle.

The event is generously supported by the Regional Recycling Coordinating Committee; Delta Dental; Michigan Department of Environment, Great Lakes and Energy; Granger Waste Services and Meridian Township.

For additional information about the event, contact LeRoy Harvey, Environmental Programs Coordinator at harvey@meridian.mi.us or 517.853.4466

###

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Saturday

September 18

9:00 am - 2:00 pm

Accepted Items



TVs



monitors



computers



laptops



printers & scanners



fax machines



keyboards



mice



VCRs, DVRs & DVD players



small servers



hard drives



satellite boxes



tablets & e-readers



mobile phones



MP3 players



video game consoles

Non - Accepted Items



batteries



air conditioners & dehumidifiers



appliances



light bulbs or ballast

REGIONAL ELECTRONICS RECYCLING DAY

Chippewa Middle School
4000 Okemos Road

Accepted Items

TVs, computers, monitors, printers, cords, cables, phones, VCRs, stereo equipment, typewriters and more!

TVs & Monitors: \$20 donation each
(cash or check payable to Meridian Township)

Prepay at meridian.mi.us/recycle

Non -Accepted Items

Batteries, smoke detectors, lighting, plastic vacuum cleaners, coffee makers, toasters, air conditioners, dehumidifiers & other large household appliances.

*Visit midmichrecycles.org for recycling these items.

Event Sponsors

For more information about the event, visit meridian.mi.us/recycle



Regional Recycling Coordinating Committee





FOR IMMEDIATE RELEASE
September 13, 2021

CONTACT: Kati Adams, Harris Nature Center Coordinator
517.349.3866 | kadams@meridian.mi.us

Music in Nature Series Continues at Harris Nature Center
Monte Pride to Perform at the Gathering Circle

Meridian Township, MI – The Music in Nature Concert Series continues at the Harris Nature Center (3998 Van Atta Road, Okemos). Visitors will have the choice to listen to a LIVE performance at the Gathering Circle concert-style, while walking on the trails, during a picnic or while freely moving around the park.

Monte Pride will be the musical performance this month to close out the series on Sunday, September 19 from 4:00 pm to 6:00 pm. Monte Pride features a Michigan born and raised singer-songwriter who brings stories of love, loss and healing to soul stirring songs on the guitar. The 2021 Music in Nature Series kicked off in June with Pretty Shaky String Band.

“The Harris Nature Center and HNC Foundation are excited to bring back Music in Nature this year after a pause in 2020,” stated Harris Nature Center Coordinator Kati Adams. “All those who attend can enjoy this outdoor event in amphitheater style seating in the woods or while walking the grounds and trails at the Harris Nature Center.”

These events are sponsored by the Harris Nature Center Foundation and are free to the public. For more information about this and other programs offered at the Harris Nature Center, contact the center at hnc@meridian.mi.us or call 517.349.3866.

###

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From: "Meridian Township, MI" <meridian-mi@enotify.visioninternet.com>

Date: September 14, 2021 at 7:04:59 PM CDT

To: Board <Board@meridian.mi.us>

Subject:

Reply-To: Barry Goetz

Message submitted from the <Meridian Township, MI> website.

Site Visitor Name: Barry Goetz

Site Visitor Email:

My wife and I have lived in the Cedar Bend Heights neighborhood since 1997. Since this time we have driven through Indian Hills to gain access to Mt. Hope, especially during Okemos Road tie-ups, which is now the case. The current "no through traffic" posted at entrances to Indian Hills means that we risk a ticket for driving through the neighborhood. After speaking to Chief Plaga, I was told that I should use either Dobie Road or Hagadorn to access I-96, but this is illogical.

We respect the wishes of Indian Hills not to be overrun by traffic. But I also want to make it clear that this decision creates an undue burden on Cedar Bend Heights residents. Indian Hills and Cedar Bend Heights are contiguous communities and share Hamilton Road as a through street, which is technically in the Cedar Bend Heights neighborhood. Moreover, Kent Street, which runs through Cedar Bend Heights, is used by Indian Hills residents traveling south down Okemos Rd. to gain access to Hamilton and Nakoma. We know this because we have many friends and acquaintances in Indian Hills.

We ask that Cedar Bend Hts. residents be given special dispensation to drive through Indian Hills without fear of police sanction. Chief Plaga said the decision to close-off Indian Hills was the County's, but it is being enforced by Meridian. Cedar Bend Hts. is surrounded by major thoroughfares (GR Av. And Okemos Rd.) and not having vehicular access to Indian Hills makes it difficult to safely and conveniently access our neighborhood. We also don't think it's fair that Indian Hills residents should be able to cut through Cedar Bend Heights to avoid traffic while Cedar Bend Heights residents are not able to do the same.

Okemos Road is likely to be tied up for years to come with the bridge reconstruction and the downtown development. Does this mean that Indian Hills will be protected from through traffic indefinitely?

Thank you for your consideration and we look forward to your response.

From: [Derek Perry](#)
To:
Cc: [Courtney Wisinski](#); [Dan Opsommer](#); [Deborah Guthrie](#); [Frank Walsh](#); [Kathy Ann Sundland](#); [Michelle Prinz](#); [Patricia Herring Jackson](#); [Phil Deschaine](#); [Ronald Styka](#); [Ken Plaga](#)
Subject: Indian Hills neighborhood traffic restrictions
Date: Wednesday, September 15, 2021 1:24:35 PM

Good afternoon Mr. Goetz:

Thank you for sending the Township your concerns about the “no through traffic” restrictions placed at the entrances to the Indian Hills neighborhood.

As you recognize in your email, we are trying to balance the request of the neighborhood to minimize the potential influx of cut-through traffic with the need of the general motoring public to get from point A to B in a timely manner. With the current and future work that will occur next year on Okemos Road, it is a difficult task to strike an equitable balance. The limited number of north/south routes only exacerbates the problem.

What has tipped the scales is the consistent sentiment of the majority of our residents regarding a strong desire to minimize *outside* traffic in any of our neighborhoods whenever possible, albeit a construction detour, a special event, or a new development project.

We understand your desire for special dispensation because of your proximity to the Indian Hills neighborhood. There is no doubt others would also like the preference. The conundrum is where do you draw the line? My understanding is that the limits of the signage were determined using roads classified as major routes (Mt. Hope and Hamilton) as end points.

Specifically regarding your request, what we can assert, is that our police officers have the ability to use discretion with enforcement and we are confident that they will be reasonable in their application depending on the individual circumstances.

Thank you again for your email. We appreciate your patience and grace as we work to improve the community to everyone’s benefit.

Respectfully,

Derek N. Perry
Deputy Township Manager
Director of Public Works & Engineering
perry@meridian.mi.us
W 517.853.4440 | F 517.853.4099
5151 Marsh Road | Okemos, MI 48864



WODA COOPER COMPANIES

614.396.3200
www.wodagroup.com

500 South Front St
10th Floor
Columbus, Ohio 43215

September 15, 2021

Ronald J. Styka
Township Supervisor
5151 Marsh Road | Okemos, MI 48864
W 517.853.4506

Dear Mr. Styka,

We are asking that you waive their rules and act upon our variance request on Tuesday September 21, 2021, since we have already received this approval on our previous site plan. Worth noting, the unit mix and density on our new site plan has not changed but our total square footage of buildings in the aggregate has been modestly reduced.

As the applicant, we are making this request in writing to you, to please be forwarded in advance to the Township Trustee Board.

Best Regards

P. Craig Patterson
Senior Vice President
Woda Cooper Companies

cc. F. Walsh, T. Schmitt



FOR IMMEDIATE RELEASE
September 16, 2021

CONTACT: Deborah Guthrie, Township Clerk
517.853.4324 | guthrie@meridian.mi.us

Meridian Township Celebrates National Voter Registration Month
Clerk's Office Builds Awareness and Encourages Residents to Register to Vote

Meridian Township, MI – At the September 7, 2021 Meridian Township Board meeting, the Board approved a resolution to support September 2021 as National Voter Registration Month.

The National Association of Secretaries of State (NASS) established September as National Voter Registration Month in 2002 as a nonpartisan means of encouraging voter participation and increasing awareness about state requirements. September 28 is National Voter Registration Day.

There are 33,000 registered voters in Meridian Township. Approximately 19,000 voters are on the Township's permanent absentee ballot list. In recognition of the importance of everyone having the opportunity to exercise their right to vote and take part in the democratic process, the Meridian Township Clerk's Office is hosting various voter registration initiatives throughout the month of September:

- **Voter Registration Booth** at the Meridian Township Farmers' Market (1995 Central Park Dr.) on Wednesdays (September 15, September 22 and September 29) from 3:00 pm to 7:00 pm will provide residents with important voter information and encourage them to register to vote at the Market.
- **Curbside Voter Registration** will be available at the Meridian Township Municipal Building (5151 Marsh Rd.) parking lot beginning Monday, September 20 through Friday, September 24 from 9:00 am until 4:00 pm.
- **"Coffee with Your Clerk"** Session on National Voter Registration Day, September 28 from 7:30 am to 8:30 am at Bigby Coffee (4756 Marsh Rd.) will provide residents the chance to meet their Township Clerk, learn the duties of the Clerk's Office, ask questions and pick up a voter registration application.
- **"Ask Your Clerk"** Virtual Session on National Voter Registration Day, September 28 from 9:00 am until 10:00 am will provide residents the opportunity to ask questions about the voter registration process and how to register or update their voter information. This session will be held via Zoom (<https://zoom.us/join>, Meeting ID: 886 5078 6940, Passcode: 039790).

"As part of National Voter Registration Month, we want to recognize and stress the importance of everyone's right to vote by moving beyond the resolution of support and taking actionable steps," stated Deborah Guthrie, Meridian Township Clerk. "Every qualified citizen has a right to vote. The first steps are building awareness of the process and getting registered. Our office wants to encourage people to do that through voter registration drives."

In Michigan, residents can register to vote in person up to 8:00 pm on Election Day at their city or township clerk's office. Residents can also register online at www.michigan.gov/vote or by mail at least 15 days prior to an election. To be eligible to register to vote you must be a Michigan resident (at the time of registering), a resident of your city or township for at least 30 days (when you vote), a United States citizen, at least 18 years of age (when you vote) and not currently serving a sentence in jail or prison.

For more information, visit the Meridian Township website at www.meridian.mi.us/Elections or contact the Clerk's Office at 517.853.4300.

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**CONSENT AGENDA
PROPOSED BOARD MINUTES
September 21, 2021**

PROPOSED MOTION:

- (1) Move to approve and ratify the minutes of the Regular Meeting of September 7, 2021, as submitted.**

ALTERNATE MOTION:

- (1) Move to approve and ratify the minutes of the Regular Meeting of September 7, 2021 with the following amendment(s):**

[insert amendments]

CHARTER TOWNSHIP OF MERIDIAN
REGULAR MEETING TOWNSHIP BOARD 2021 -DRAFT-
5151 Marsh Road, Okemos MI 48864-1198
853-4000, Township Hall Room
TUESDAY, September 7, 2021 **6:00 pm**

PRESENT: Supervisor Styka, Clerk Guthrie, Treasurer Deschaine, Trustees Opsommer, Wisinski, Sundland, Jackson

ABSENT:

STAFF: Township Manager Walsh, IT Director Gebes, Economic Development Director Clark, Community Planning and Development Director Schmitt, Human Resources Director Tithof, Chief of Police Plaga, Fire Chief Hamel, Finance Director Mattison, Deputy Manager Perry, Communications Manager Yates, Assessor Winstead, Parks and Recreation Director Maisner

1. CALL MEETING TO ORDER

Supervisor Styka called the meeting to order at 6:01 pm.

The Township Board took a moment of silence for the victims of Hurricane Ida, and the 20 year anniversary of September 11th.

2. PLEDGE OF ALLEGIANCE/INTRODUCTIONS

Trustee Opsommer led the Pledge of Allegiance.

3. ROLLCALL

Clerk Guthrie called the roll of the Board.

Supervisor Styka, is attending remotely from Meridian Township due to health reasons.

4. PRESENTATION

A. 2022 Township Budget

Township Manager Walsh presented the 2022 Township Budget. The focus of the 2022 budget is Pension/ Legacy Costs, Investment in PICAs, local roads, overhauling IT infrastructure, environmental sustainability and public safety.

5. CITIZENS ADDRESS AGENDA ITEMS AND NON-AGENDA ITEMS

Supervisor Styka Opened Public Remarks at 6:42 pm.

NONE

Supervisor Styka Closed Public Remarks at 6:43 pm.

6. TOWNSHIP MANAGER REPORT

NONE

7. BOARD MEMBER REPORTS OF ACTIVITIES AND ANNOUNCEMENTS

Treasurer Deschaine

- Taxes are due September 14th.
- Attended August 25th Downtown Development Authority meeting.
- Attended August 26th Daniels Drain meeting.

Trustee Wisinski

- The Environmental Commission is holding electronics recycling day on Saturday September 18th from 9am-2pm
- The Environmental Commission is working to establish a wetland education campaign.

Trustee Opsommer

- The Transportation Commission is working with staff to examine updates to the Towar and Lake Lansing Intersection.
- A Zoning Board of Appeals applicant on Marsh road at the State Farm office requested a variance for a 20 foot sign setback. This could become a recurring issue as many parcels do not have the room to accommodate the current ordinance, and it may be a good idea to review this while working on the Township sign Ordinance.

Clerk Guthrie

- Attended August 26th Daniels Drain meeting. Stated there will be public hearings and meetings in the future for residents to attend.
- Attended August 25th Communications Commission meeting in which Commissioners expressed they would like to see the Township Board continue to pursue the township broadband project.

8. APPROVAL OF AGENDA

Supervisor Styka offered a friendly amendment to the agenda that discussion item 13A take place immediately after the public hearing at 11A.

Trustee Opsommer moved to approve the agenda with the friendly amendment that discussion item 13A take place immediately after public hearing item 11A. Seconded by Trustee Jackson.

VOICE VOTE: YEAS: Supervisor Styka, Treasurer Deschaine, Clerk Guthrie, Trustees Wisinski, Sundland, Opsommer, Jackson

NAYS: None

Motion carried: 7-0

9. CONSENT AGENDA

Supervisor Styka Reviewed the Consent Agenda.

Treasurer Deschaine moved to approve the Consent Agenda as presented. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Trustees Opsommer, Sundland, Wisinski, Jackson, Treasurer Deschaine, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

A. Communications

Treasurer Deschaine moved that the communications not already assigned for disposition be referred to the Township Manager or Supervisor for follow-up. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Trustees Opsommer, Sundland, Wisinski, Jackson, Treasurer Deschaine, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

B. Minutes

- (1) August 17, 2021 Regular Board Meeting
- (2) August 26, 2021 Special Board Meeting

Treasurer Deschaine moved to approve and ratify the minutes of August 17, 2021 and August 26, 2021 as presented. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Trustees Opsommer, Sundland, Wisinski, Jackson, Treasurer Deschaine, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

C. Bills

Treasurer Deschaine moved to approve that the Township Board approve the Manager's Bills as follows: Seconded by Trustee Wisinski.

Common Cash	\$	986,200.31
Public Works	\$	41,310.96
Trust & Agency	\$	<u>2,712.21</u>
Total Checks	\$	1,030,223.48
Credit Card Transactions	\$	14,155.38

08/12/2021 to 09/01/2021

Total Purchases

\$ 1,044,378.86

ACH Payments

\$ 1,296,316.48

ROLL CALL VOTE: YEAS: Trustees Opsommer, Sundland, Wisinski, Jackson, Treasurer
Deschaine, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

D. Disposal of Surplus Equipment

Treasurer Deschaine moved to authorize the disposal of IT surplus computers and HOMTV surplus Equipment. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Trustees Opsommer, Sundland, Wisinski, Jackson, Treasurer
Deschaine, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

E. Assistance to Firefighters Grant Program

Treasurer Deschaine moved to authorize the Fire Department to apply for and accept an assistance to Firefighters grant through the Department of Homeland Security in the amount of \$49,737.40 with the Township's share of \$4,521.58 coming out of the Fire Department General Fund. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Trustees Opsommer, Sundland, Wisinski, Jackson, Treasurer
Deschaine, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

10. QUESTIONS FOR THE ATTORNEY

NONE

11. HEARINGS

A. 2022 Township Budget

Supervisor Styka Called the Public Hearing to order at 6:52 pm.

Supervisor Styka opened public comment at 6:52 pm.

NONE

Supervisor Styka closed public comment at 6:53 pm.

13. BOARD DISCUSSION ITEM

A. 2022 Township Budget

The Township Board Discussed the 2022 Budget with Manager Walsh.

Trustee Opsommer asked for an increase to public safety in the budget.

Clerk Guthrie called Fire Chief Hamel to the podium to ask about response times and staff growth. Chief Hamel explained that response times are slightly higher than the national standard, and his goal for the past two years has been to increase firefighter staff to 36.

Trustee Opsommer stated that while census data shows an 11% growth in residency, EMS and Fire call volume has increased by 22% over the same period.

Trustee Jackson asked Manager Walsh what an IT help desk is. Manager Walsh explained that it is an offsite company that offers IT assistance that is cheaper than hiring another IT staff member.

Trustee Jackson asked Manager Walsh about the Daniels Drain funds in the budget. Manager Walsh explained that the township would initially cover the full cost, and would be reimbursed 50% of the cost through special assessment, if approved by the Board.

Treasurer Deschaine asked to clarify budget items giving money to organizations such as Meals-On-Wheels and the Kiwanis Club. Manager Walsh explained this money is given to them to create public benefit to the community.

Trustee Wisinski requested funding to the Environmental Commission for a green project and a wetland educational campaign. Manager Walsh noted the requests.

Trustee Opsommer asked about funding to IT and whether or not this was a one-time expense. Manager Walsh was not able to give a complete answer, however he explained that a 3rd party will come and review the IT infrastructure and make recommendations to improve.

Trustee Opsommer asked why a line item for solar power infrastructure wasn't included as it had been in previous years. Manager Walsh explained the township is doing well in its advances towards solar power and is focusing on other renewable sources of energy such as the recycling center and electric cars. Trustee Opsommer suggested a smaller investment than previous years, with the police department roof as a potential location.

Clerk Guthrie asked if the township would still be on track towards 100% renewable energy by 2035 if no investment is made in this budget. Deputy Manager Perry stated the township is currently using 60% renewable energy and will be on track to reach 100% renewable energy by 2035, even with a year hiatus from solar.

Trustee Opsommer proposed a reduction to the Meridian redevelopment fund from \$2,000,000, to \$1,000,000.

Treasurer Deschaine asked Manager Walsh to explain the \$2,000,000 in the budget for Meridian redevelopment. Manager Walsh explained that the money is not just given away but provides opportunity for developers.

Clerk Guthrie Asked if ARPA funding could be used for the redevelopment fund. Manager Walsh stated that it could be used for infrastructure and broadband.

Manager Walsh also stated that the ARPA funding is not included in the budget and will be discussed in a future conversation.

12. ACTION ITEMS

A. Zoning Board of Appeals Appointment

Supervisor Styka outlined the Zoning Board of Appeals Appointment.

Trustee Opsommer moved to approve the appointment made by Supervisor Styka of Brian Shorkey to the Zoning Board of Appeals for a term ending 12/31/2022. Seconded by Trustee Jackson.

ROLL CALL VOTE: YEAS: Supervisor Styka, Clerk Guthrie, Treasurer Deschaine, Trustees Jackson, Opsommer, Sundland, Wisinski

NAYS: None

Motion carried: 7-0

B. Acceptance of American Rescue Plan Funding

Treasurer Deschaine moved to approve the resolution to accept American Rescue Plan Act (ARPA) funding. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Trustees Jackson, Opsommer, Sundland, Wisinski, Treasurer Deschaine, Supervisor Styka, Clerk Guthrie

NAYS: None

Motion carried: 7-0

C. Silverstone Development- Streetlight SAD #427, Resolution #1

Treasurer Deschaine moved to approve the Silverstone Estates Public Streetlighting Improvement Special Assessment District #427- Resolution #1, ordering plans to be prepared showing the streetlighting improvement, location, and estimate of cost; and Resolution #2, filing the plans showing the improvement, location and estimate of cost with the Clerk's Office, tentatively declaring intention to install and maintain 7 LED traditional w/ cut-off streetlights and defray the cost of operation and maintenance by special assessment

against the 22 benefiting lots, and setting a public hearing for September 21, 2021. Seconded by Trustee Jackson.

Deputy Manager Perry outlined the Silverstone Development- Streetlight SAD #427, Resolution #1 & #2.

ROLL CALL VOTE: YEAS: Trustees Wisinski, Sundland, Supervisor Styka, Clerk Guthrie, Treasurer Deschaine, Trustees Jackson, Opsommer

NAYS: None

Motion carried: 7-0

D. 2021 Sidewalk Order to Maintain SAD #18, Resolution #1 & #2

Treasurer Deschaine moved to approve 2021 Order to Maintain Sidewalk Special Assessment District #19 Resolutions #1 and #2, which tentatively approves the improvements and the cost estimates of proposed improvements and sets the date for a public hearing on September 21, 2021. Seconded by Trustee Jackson.

Deputy Manager Perry outlined 2021 Sidewalk Order to Maintain SAD #18, Resolution #1 & #2

ROLL CALL VOTE: YEAS: Trustees Opsommer, Jackson, Treasurer Deschaine, Clerk Guthrie Supervisor Styka, Wisinski, Sundland

NAYS: None

Motion carried: 7-0

E. Resolution of Support for Voter Registration Month

Clerk Guthrie outlined the Resolution of Support for Voter Registration Month.

Clerk Guthrie moved to approve the Resolution Recognizing September 2021 As National Voter Registration Month in Meridian Township. Seconded by Trustee Wisinski.

ROLL CALL VOTE: YEAS: Treasurer Deschaine, Trustees Sundland, Opsommer, Jackson, Wisinski, Clerk Guthrie, Supervisor Styka

NAYS: None

Motion carried: 7-0

13. BOARD DISCUSSION ITEMS

~~A. 2022 Township Budget~~

B. SmartZone Local Development Finance Authority

Director Clark outlined and discussed the SmartZone Local Development Finance Authority with the board.

Supervisor Styka asked if the Township would have to wait five years before they could make any changes to the SmartZone district. Director Clark replied that it's not recommended to make changes within five years, but it is possible.

Tim Dempsey, Vice President of Public Sector Consultants, described how adding or subtracting parcels could affect the timeline of adding a SmartZone to Meridian Township.

Clerk Guthrie and Trustee Jackson spoke in support of adding a SmartZone.

14. COMMENTS FROM THE PUBLIC

Supervisor Styka Opened Public Remarks at 9:30 pm.

NONE

Supervisor Styka Closed Public Remarks at 9:31 pm.

15. OTHER MATTERS AND BOARD MEMBER COMMENTS

NONE

16. CLOSED SESSION-Motion to go into closed session to discuss a written confidential legal opinion from the township attorney concerning the Georgetown Sewer Payback District

Trustee Jackson moved to go into closed session to discuss a written confidential legal opinion from the township attorney concerning the Georgetown Sewer Payback District. Seconded by Trustee Opsommer.

ROLL CALL VOTE: YEAS: Trustees Sundland, Wisinski, Opsommer, Jackson, Treasurer Deschaine, Supervisor Styka, Clerk Guthrie

NAYS: None

Motion carried: 7-0

The board returned to open session at 9:54 pm.

17. ADJOURNMENT

Treasurer Deschaine moved to adjourn. Seconded by Trustee Opsommer.

VOICE/HAND VOTE: Motion carried 7-0

Supervisor Styka adjourned the meeting at 9:54 pm.



9.C

To: Board Members
From: Miriam Mattison, Finance Director
Date: September 16, 2021
Re: Board Bills

Charter Township of Meridian
Board Meeting
9/21/2021

MOVED THAT THE TOWNSHIP BOARD APPROVE THE MANAGER'S
BILLS AS FOLLOWS:

COMMON CASH	\$	4,275,814.12
PUBLIC WORKS	\$	536,450.63
TRUST & AGENCY	\$	36.77
TOTAL CHECKS:	\$	4,812,301.52
CREDIT CARD TRANSACTIONS 09/02/2021 to 09/15/2021	\$	10,664.21
TOTAL PURCHASES:	\$	<u>4,822,965.73</u>
ACH PAYMENTS	\$	<u>458,970.29</u>

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INVOICE APPROVAL BY INVOICE REPORT FOR CHARTER TOWNSHIP OF MERIDIAN
 EXP CHECK RUN DATES 09/21/2021 - 09/21/2021
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Vendor Name	Description	Amount	Check #
1. ACCOUNTEMPMS	WK ENDING 09/03/2021 TEMPORARY UB/BOOKKEEPING STAF	1,406.26	
2. AMERICAN RENTALS	08/21/21 TO 09/21/21 PORTABLE TOILET RENTAL TRANSF	60.00	
3. AT & T	LEGACY TELEPHONE - 517.349.1200	33.53	
4. AT & T	AUG 2 TO SEPT 1, 2021 - HVAC @THB 517.347.1710 201	177.70	105760
	AUG 2 TO SEPT 1, 2021 - PSB FAX 517 347-4285 924 0	652.59	105760
	AUG 2 TO SEPT 1, 2021 - THB HVAC 517 347.6021 564	419.87	105760
	AUG 2 TO SEPT 1, 2021 - PSB FAX 517 347 6826 173 5	644.98	105760
	AUG 2 TO SEPT 1, 2021 - DS-1 TO FIRE#92 - 517 R01-	543.33	105760
	AUG 2 TO SEPT 1, 2021 - ACCOUNT #517 R01-5602 016	598.26	105760
	TOTAL	3,036.73	
5. AUTO VALUE OF EAST LANSING	UNIT #20 6QT BATTERY ACID	29.99	
	UNIT #20 6 QT BAT ACID	29.99	
	UNIT #20 BAT 6 QT ACID	89.97	
	UNIT #10 STICK-ON REFLECT	3.90	
	UNIT #138 BACK-UP LAMP	23.96	
	SHOP SUPPLIES FLEET REPAIR PARTS	43.77	
	UNIT #105 CLAMPS	7.96	
	EXHAUST GASKET/GASKET	16.08	
	UNIT #105 GASKET	11.09	
	RETURN GASKETS	(16.08)	
	UNIT #107 OIL SLICK MIST	7.99	
	SHOP SUPPLY FLEET REPAIR PARTS	59.14	
	GEAR OIL	20.76	
	QT VAC PUMP OIL	8.19	
	UNIT #18 LIFT SUPPORT	19.49	
	UNIT #37 12V 1000 CCA	269.98	
	FLEET REPAIR PARTS 2021	4.59	
	SHOP SUPPLY FLEET REPAIR PARTS	12.99	
	SHOP SUPPLIES FLEET REPAIR PARTS	81.38	
	UNIT #37 RETURNED 12V 1000 CCA - INV 1421119	(269.98)	
	UNIT #37 12V 1000 CCA	269.98	
	SHOP SUPPLIES FLEET REPAIR PARTS	39.53	
	UNIT #6 & #134 REPAIR PARTS	89.94	
	UNIT #19 12 V 1000 CCA	54.00	
	TANK CONV KIT	36.19	
	UNIT #11	137.54	
	TOTAL	1,082.34	
6. AUTOMATED BUSINESS EQUIPMENT	FORMAX FD2054 REPAIRS	343.15	
7. BATH CHARTER TOWNSHIP FIRE DEPARTME	ESCAPE FIRE APRIL 3, 2021	918.80	
8. BLUE CROSS BLUE SHIELD OF MICHIGAN	PPO OCT 2021 HEALTH INS PMT	3,843.67	
9. BOARD OF WATER & LIGHT	08/01/2021 TO 09/01/21 - STREETLIGHT SERVICE	595.12	
10. BULL ENTERPRISES	JANITORIAL SERVICES TOWNSHIP BLDGS - AUG 2021	8,477.00	
11. CAROLYN DAMSTRA	PAINTING OF PAVILION ELECTICAL BOX AT HNC	550.00	
12. CARTEGRAPH	DPW OMS SOFTWARE ANNUAL RENEWAL 11.1. 2021-10.31.2	24,171.52	
13. CHARTER TOWNSHIP OF	ESCAPE FIRE APRIL 3, 2021	193.50	
14. CINTAS CORPORATION #725	MECHANICS UNIFORM CLEANING 08/04/2021	48.35	
	MECHANICS UNIFORM CLEANING 08/11/2021	48.35	
	MECHANICS UNIFORM CLEANING 08/18/2021	48.35	
	MECHANICS UNIFORM CLEANING 08/25/2021	48.35	
	TOTAL	193.40	

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Vendor Name	Description	Amount	Check #
15. CITY OF EAST LANSING	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	270.84	
16. CITY OF LANSING	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	187.05	
17. CITY OF MASON	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	441.18	
18. COMCAST	SEPT 16, 2021 TO OCT 15, 2021 - FIRE 91	163.35	105761
	SEPT 20, 2021 TO OCT 19, 2021 - FD 'FREE' DROP	8.01	105761
	TOTAL	<u>171.36</u>	
19. D & K TRUCK CO	WATER DEPARTMENT - UNIT #10 REPAIRS	13.44	
	WATER DEPARTMENT - UNIT #10 REPAIR PART	1.28	
	TOTAL	<u>14.72</u>	
20. DBI	OFFICE SUPPLIES - CHISEL POINT STAPLES	2.67	
21. DELHI CHARTER TOWNSHIP	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	580.50	
22. ELECTION SOURCE	NEW BALLOT BAGS FOR 19 PRECINCTS & AV COUNTING BOA	3,498.13	
23. ELIEFF BROTHER'S ROOFING	OVRPMT FOR BLDG PERMIT	75.00	
24. FAHEY SCHULTZ BURZYCH RHODES PLC	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	292.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	967.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	225.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	67.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	1,219.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	3,169.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	2,573.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	2,449.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	90.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	262.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	650.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	120.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	982.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	397.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	467.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	340.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	940.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	90.00	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	67.50	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	212.61	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	283.48	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	70.87	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	1,771.77	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	2,551.36	
	PROFESSIONAL LEGAL SERVICES THRU AUG 31 2021	859.91	
	TOTAL	<u>21,120.50</u>	
25. FD HAYES ELECTRIC	ELECTRICAL REPAIRS JOB #D002915	16.60	
	POLICE STATION LIGHT POLE REPAIRS JOB #D002915	298.40	
	TOTAL	<u>315.00</u>	
26. FIRE SERVICE MANAGEMENT	FIRE GEAR CERTIFICATION/CLEANING WO #21094	564.00	
27. FIRST COMMUNICATIONS	SEPT 2021 - ANALOG TELEPHONE LINES # 3142216	1,448.53	
28. FORESIGHT GROUP	WATER BILLS 08/31/2021 & POSTAGE	1,646.42	
29. FOWLerville AREA FIRE DEPARTMENT	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	1,217.76	
30. GALLAGHER BENEFIT SERVICES, INC	SEPT 2021 HEALTHCARE CONSULTING FEE	2,723.53	

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Vendor Name	Description	Amount	Check #
31. GENZINK PLUMBING	CANCELLED PLUMBING PERMIT - FIELDSTONE DR - 50% RE	100.00	
32. GIGUERE HOMES INC.	CANCELLED BLDG PERMIT - FIELDSTONE DR - 50% REFUND	77.50	
33. GRANGER	HNC SEPT/OCT/NOV 2021 SERVICES	164.52	
	AUG 2021 RUBBISH & RECYCLING DISPOSAL TOWNHALL & P	114.33	
	AUG 2021 RUBBISH & RECYCLING DISPOSAL GAYLORD C SM	131.32	
	AUG 2021 RUBBISH & RECYCLING DISPOSAL S. FIRE	74.26	
	AUG 2021 RUBBISH & RECYCLING DISPOSAL C. FIRE	87.00	
	TRASH SERVICE IN PAVILION PARKS AUGUST 2021	637.00	
	AUG 2021 RECYCLING MUN BLDG & POLICE	86.96	
	TOTAL	1,295.39	
34. GUARDIAN TRACKING	JULY 25, 2021 TO JULY 24, 2022 SUBSCRIPTION FOR SO	2,867.00	
35. HALT FIRE INC	HOLDING VALVE AERIAL LIFT PARTS	1,220.03	
	FIRE DEPARTMENT - UNIT 138 REPAIRS	3,413.46	
	REPAIRS ON 08/23/2021 - UNIT #137	412.50	
	TOTAL	5,045.99	
36. HERBERT A. ROBINSON	OVRPMT AMBULANCE FEE	100.66	
37. HUNTINGTON NATIONAL BANK	GENERAL OBLIGATION UNLIMITED TAX BONDS	3,366,250.00	105758
38. INGHAM COUNTY REGISTER OF DEEDS	PATHWAY & WATER EASEMENTS FOR 2085 GRAND RIVER	30.00	
39. INGHAM TOWNSHIP FIRE DEPARTMENT	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	408.29	
40. JACK DOHENY COMPANIES INC	2021 VACTOR TRUCK	446,659.26	
41. JEFFORY BROUGHTON	LOOK AT AMB RADIO PA MODULE OUT	85.00	
42. JOHN HECKAMAN	MILEAGE REIMBURSEMENT - AUGUST 2021	13.23	
43. JOSEPH VERMITTI	MARKETPLACE PERFORMANCE - SHOWDOWN BAND	700.00	105757
44. KATI ADAMS	9.10.21 PAYROLL ADVANCE	1,500.00	105753
45. LANSING SANITARY SUPPLY INC	PAPER PRODUCTS & CLEANING SUPPLIES FOR PARKS	296.64	
	CUSTODIAL SUPPLIES SEP 2, 2021	502.71	
	CUSTODIAL SUPPLIES 2021	271.13	
	TOTAL	1,070.48	
46. LANSING UNIFORM COMPANY	UNIFORM BADGE HATS STOCK	319.80	
	POLICE UNIFORM ALTERATIONS	40.00	
	POLICE UNIFORM - BOOTS	209.95	
	TOTAL	569.75	
47. LASER AMMO	FIREARMS SIMULATOR	99.98	
48. LASER STRIPING AND SPORT SURFACING	CLEAN & SEAL CRACKS ON COURTS HILLBROOK PARK	5,200.00	
49. LAWSON PRINTERS	BUSINESS CARDS - R. STACY - J. FLANNERY - 2. LEMAS	195.00	
50. LESLIE FIRE DEPARTMENT	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	445.05	
51. LOPEZ CONCRETE CONSTRUCTION	CONCRETE REPAIR LOCAL RD, WATER UTILITY & PATHWAY	10,390.00	
	SHAW STREET CONNECTOR- MSU TO LAKE LANSING PATHWAY	47,816.46	
	TOTAL	58,206.46	
52. MARK'S LOCK SHOP, INC.	PSB - ENTRANCE & EXIT PANIC PADDLE DOOR DEVICE	296.98	

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Vendor Name	Description	Amount	Check #
53. MEDICAL MANAGEMENT SYSTEMS OF	AUGUST 2021 COLLECTION FEE FOR AMBULANCE BILLINGS	7,214.58	
54. MEI TOTAL ELEVATOR SERVICES	SEPT-NOV 2021 QUARTERLY ELEVATOR SERVICE	463.84	
55. MERIDIAN TOWNSHIP	TRANSFER FOR FLEX CHECKING FOR 09/10/2021 PAYROLL	370.23	
56. MERIDIAN TOWNSHIP RETAINAGE	2021 LOCAL ROAD PROG - REHAB & RESURFACING	11,326.28	
57. MERRILL FORD	UNIT #7 REPAIR PARTS	74.93	
58. MICHIGAN AMMO INC	AMMUNITION	4,360.00	
59. MICHIGAN ASSOCIATION OF PLANNING	PLANNER AD ON WEBSITE	75.00	
60. MICHIGAN PAVING	2021 LOCAL ROAD PROG - REHAB & RESURFACING	215,199.26	
61. MOSQUITO SQUAD OF GREATER LANSING	MOSQUITO TREATMENT HARTRICK PARK	360.00	
	MOSQUITO TREATMENT LARGE DOG PARK	137.00	
	MOSQUITO TREATMENT NANCY MOORE PARK	360.00	
	MOSQUITO TREATMENT TOWN HALL	345.00	
	MOSQUITO TREATMENT FIRE STATION	224.00	
	MOSQUITO TREATMENT AT SERVICE CENTER	136.00	
	TOTAL	1,562.00	
62. NIESA	VANATTA ROAD FIRE ASSIST APRIL 3, 2021	3,715.20	
63. ONONDAGA FIRE DEPARTMENT	BRUSH FIRE ASSIST ON APRIL 3, 2021	763.68	
64. ORKIN, 551-LANSING, MI	WASP TREATMENTS AT HISTORICAL VILLAGE	550.00	
65. PRO-TECH MECHANICAL SERVICES	WORK ORDER #39229 WATER HEATER REPAIRS	160.00	
66. QUALITY TIRE INC	MOTOR POOL TIRE DISPOSAL	68.00	
67. RECLAIMED BY DESIGN	OCTOBER 2021 RECYCLING CENTER SERVICES	2,000.00	
68. ROBIN FAUST	MILEAGE REIMB MAMC CONF	76.16	
69. RODNEY WOLFE	MARKET PERFORMANCE GARAGE SALE BAND	300.00	105756
70. ROWERDINK AUTOMOTIVE PARTS	ORDER # 591390 FLEET REPAIR PARTS	199.56	
	ORDER # 593700 FLEET REPAIR PARTS	13.49	
	ORDER # 466800 FLEET REPAIR PARTS	122.61	
	ORDER # 619400 FLEET REPAIR PARTS	174.04	
	ORDER # 598540 FLEET REPAIR PARTS	9.90	
	ORDER # 631050 FLEET REPAIR PARTS	122.61	
	ORDER # 599330 FLEET REPAIR PARTS	16.49	
	ORDER # 647080 FLEET REPAIR PARTS	122.61	
	ORDER # 504460 FLEET REPAIR PARTS	431.77	
	ORDER #508670 FLEET REPAIR PARTS	122.61	
	ORDER #517010 FLEET REPAIR PARTS	452.33	
	ORDER # 523560 FLEET REPAIR PARTS	257.04	
	TOTAL	2,045.06	
71. SGI	MECHANICAL PERMIT CANCELLED - HEARTWOOD RD - 50% R	85.00	
72. SME	AUG 2, 2021 TO AUG 29, 2021 TESTING WATER, SEWER & AUG 2, 2021 TO AUG 29, 2021 - BASELINE EA & PHASE	191.22 3,000.00	
	TOTAL	3,191.22	
73. SOLDAN'S FEED & PET SUPPLIES	SUPPLIES FOR K9 - 07/27/2021	40.96	

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Vendor Name	Description	Amount	Check #
74. STAPLES	COPY PAPER	157.45	
	ENVELOPES	12.55	
	COPY PAPER	94.47	
	SURESTART SHIPTAPE	10.42	
	MISC OFFICE SUPPLIES	8.34	
	TOTAL	283.23	
75. STATE OF MICHIGAN	QA ASSESSMENT - AMBULANCE	2,012.80	
76. STEVEN T. SPEES, III	MUSIC AT THE MARKET PERFORMANCE	150.00	105755
77. STOCKRIDGE AREA EMER SERVICES	AUTH VANATTA ROAD FIRE ASSIST APRIL 3, 2021	806.25	
78. SWAGIT PRODUCTIONS, LLC	AUG 2021 VIDEO STREAMING SERVICE HOMTV	2,613.75	
79. T MOBILE	07/21/21 TO 08/20/21 - BACKUP LINE- 517.980.0920	29.96	
80. TDS	ANALOG SERVICES - 08/28 TO 09/27/2021	1,631.23	105759
81. VARIPRO BENEFIT ADMINISTRATORS	OCT 2021 RETIREE HARTFORD MEDICARE SUPPLEMENTAL CO	13,252.40	
82. VERIZON CONNECT	08/01/21 - 08/31/21 - VEHICLE DATA UPLINK - MERI07	1,359.96	
83. WASTE MANAGEMENT	09/01/21 TO 09/30/21 - ANIMAL CARCASS DUMPSTER	156.08	
84. WESCO	S. FIRE DEPT - LED CONVERSIONS	5,286.60	
	PUBLIC SAFETY BLDG - LED CONVERSIONS	15,974.40	
	N. FIRE - LED CONVERSIONS	5,242.40	
	TOTAL	26,503.40	
85. WEST MICHIGAN INTERNATIONAL	UNIT 138 FIRE DEPT REPAIRS	2,899.27	
86. ZACHARY LEMASTER	MILEAGE REIMBURSEMENT MAMC CONF	76.16	
TOTAL - ALL VENDORS		4,275,814.12	

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Vendor Name	Description	Amount	Check #
1. BLUE CROSS BLUE SHIELD OF MICHIGAN	PPO OCT 2021 HEALTH INS PMT	545.37	
2. CARL SCHLEGEL INC	SAND DELIVERY ON 08/18/2021 - TICKET #1054945 & 10	1,080.00	
3. CARTEGRAPH	DPW OMS SOFTWARE ANNUAL RENEWAL 11.1. 2021-10.31.2	16,114.36	
4. CITY OF EAST LANSING	SEWER OPERATIONS SEPT 2021	184,082.92	
	SEPT 2021 OPERATING & INTERCONNECT & DEBT SHARING	295,293.75	
	TOTAL	479,376.67	
5. FERGUSON WATERWORKS #3386	WATER METERS	34,000.00	
6. GALLAGHER BENEFIT SERVICES, INC	SEPT 2021 HEALTHCARE CONSULTING FEE	526.47	
7. HYDROCORP	CROSS CONNECTION CONTROL PROG MONTHLY SERVICE	2,430.00	
8. IDC CORPORATION	LIFT STATION CONTROLS MAINTENANCE 2021	700.25	
9. INGHAM COUNTY REGISTER OF DEEDS	PATHWAY & WATER EASEMENTS FOR 2085 GRAND RIVER	30.00	
10. JACK DOHENY COMPANIES INC	CREDIT FROM INVOICE 130526	(904.92)	
11. MICHIGAN RURAL WATER ASSOC	WATER EXAM REVIEW - R. STACY, J. ARNETT, J. FLANNE	930.00	
	WATER EXAM REVIEW - R. STACY, J. ARNETT, J. FLANNE	1,240.00	
	TOTAL	2,170.00	
12. SME	AUG 2, 2021 TO AUG 29, 2021 MISC TESTING WATER, SE	382.43	
TOTAL - ALL VENDORS		536,450.63	

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Vendor Name	Description	Amount	Check #
1. THE COCA COLA CO	REVISED SUMMER TAX BILL - OVRPMT	36.77	13133
TOTAL - ALL VENDORS		36.77	

Credit Card Report 9/2/2021-9/15/2021

Posting Date	Merchant Name	Amount	Name
2021/09/02	MIWATERS WATER RESOURCES	\$510.00	NYAL NUNN
2021/09/02	PAS*PASSPT LANSING PR	\$0.97	BART CRANE
2021/09/02	LOWES #01596*	\$198.00	KYLE FOGG
2021/09/02	DNR LANSING CSC RSS	\$1,000.00	JANE GREENWAY
2021/09/02	MEIJER # 025	\$12.99	EMMA CAMPBELL
2021/09/02	VAN ATTAS GREENHOUSE &	\$97.49	BRIDGET CANNON
2021/09/02	KIMBALL MIDWEST PAYEEZY	\$112.19	TODD FRANK
2021/09/02	HUTSON INC	\$343.00	TODD FRANK
2021/09/02	STAPLS7338379800000001	\$487.61	STEPHEN GEBES
2021/09/02	HASLETT TRUE VALUE HARDW	\$2.98	KEITH HEWITT
2021/09/02	MEIJER # 025	\$16.95	PHIL DESCHAINE
2021/09/03	PAS*PASSPT LANSING PR	\$0.97	BART CRANE
2021/09/03	MERIDIAN AREA BUSINESS AS	\$150.00	KRISTI SCHAEING
2021/09/03	AMAZON.COM*250NL1S71	\$64.99	KRISTI SCHAEING
2021/09/03	COMCAST	\$311.52	ANDREA SMILEY
2021/09/03	DNH*GODADDY.COM	\$127.98	STEPHEN GEBES
2021/09/03	WASHTENAW COMMUNITY	\$95.00	JOHN HECKAMAN
2021/09/03	WASHTENAW COMMUNITY	\$95.00	JOHN HECKAMAN
2021/09/03	THE HOME DEPOT #2723	\$51.94	DAN PALACIOS
2021/09/03	WEBMLIVE.COM	\$75.00	MICHELLE PRINZ
2021/09/06	FORESIGHT GROUP INC	\$23.00	KYLE ROYSTON
2021/09/06	THE HOME DEPOT #2723	\$53.91	KYLE FOGG
2021/09/06	MEIJER # 025	\$21.54	ANDREW MCCREADY
2021/09/06	BUILDASIGN.COM	\$169.54	BRIDGET CANNON
2021/09/06	SINKS DIRECT	\$183.00	ROBERT MACKENZIE
2021/09/06	THE HOME DEPOT #2723	\$175.68	DAN PALACIOS
2021/09/06	KNOCK EM OUT PEST CONTROL	\$150.00	CATHERINE ADAMS
2021/09/07	AMAZON.COM*257R31XR2 AMZN	\$94.21	MICHELLE PRINZ
2021/09/07	AMZN MKTP US*254JW0GE2	\$199.60	CATHERINE ADAMS
2021/09/08	SQ *CHER CAR KENNEL	\$300.00	BART CRANE
2021/09/08	BECKS PROPANE LLC	\$40.00	ROBERT MACKENZIE
2021/09/08	SENTRY SAFETY SUPPLY	\$482.12	ROBERT MACKENZIE
2021/09/08	COMPLETE BATTERY SOURCE	\$21.21	WILLIAM PRIESE
2021/09/09	THE HOME DEPOT #2723	\$30.15	LAWRENCE BOBB
2021/09/09	THE HOME DEPOT #2723	\$73.47	LAWRENCE BOBB
2021/09/09	THE HOME DEPOT #2723	\$130.70	ROBERT STACY
2021/09/09	SOLDAN S PET SUPPLIES	\$120.92	ALLISON GOODMAN
2021/09/09	OFFICEMAX/OFFICEDEPT#3379	\$9.98	ALLISON GOODMAN
2021/09/09	MEIJER # 025	\$10.64	ALLISON GOODMAN
2021/09/09	LANGUAGE LINE	\$42.16	KRISTI SCHAEING
2021/09/09	LEXISNEXIS EPIC	\$150.00	KRISTI SCHAEING
2021/09/09	AMZN MKTP US*2G7ZX1N00	\$50.97	KRISTI SCHAEING
2021/09/09	STAPLS7338856251000001	\$15.94	KRISTEN COLE
2021/09/09	ELECTRICAL TERMINAL SERVI	\$155.06	TODD FRANK
2021/09/09	HASLETT TRUE VALUE HARDW	\$8.10	TODD FRANK
2021/09/09	JIMMY JOHNS - 90055 - MOT	\$98.00	MICHELLE PRINZ
2021/09/09	AMAZON.COM*2G8PK9N81	\$33.25	MICHELLE PRINZ
2021/09/09	PAYPAL *MPHI	\$90.00	WILLIAM PRIESE
2021/09/10	THE HOME DEPOT #2723	\$4.98	LAWRENCE BOBB
2021/09/10	THE HOME DEPOT #2723	\$23.75	TYLER KENNEL
2021/09/10	BEST BUY 00004168	\$26.99	SAMANTHA DIEHL
2021/09/10	WILDTYPE DESIGN NATIVE P	\$201.55	EMMA CAMPBELL

2021/09/10	DMI* DELL K-12/GOVT	\$153.98	KRISTEN COLE
2021/09/10	EB EMOTIONAL REGULATI	\$90.00	BRANDIE YATES
2021/09/10	HOBBY LOBBY #360	\$273.20	RICHARD GRILLO
2021/09/10	OFFICEMAX/OFFICEDEPT#3379	\$54.45	MICHAEL DEVLIN
2021/09/13	MICHIGAN ECONOMIC DEVELOP	\$510.00	DEBBIE BUDZYNSKI
2021/09/13	THE HOME DEPOT #2723	\$39.97	KYLE FOGG
2021/09/13	MEIJER # 210	\$11.97	ANDREW MCCREADY
2021/09/13	MEIJER # 210	\$4.79	ANDREW MCCREADY
2021/09/13	MIWATERS WATER RESOURCES	\$204.00	EMMA CAMPBELL
2021/09/13	GALLS	\$211.98	KRISTI SCHAEING
2021/09/13	STAPLS7339002950000001	\$181.49	KRISTEN COLE
2021/09/13	STAPLS7339002950000002	\$79.74	KRISTEN COLE
2021/09/13	GRAND TRAVERSE PIE COM	\$20.62	FRANK L WALSH
2021/09/13	AMZN MKTP US*256UZ3SU2	\$118.00	STEPHEN GEBES
2021/09/13	AMZN MKTP US*254C792P2	\$179.96	STEPHEN GEBES
2021/09/13	GRAINGER	\$39.48	ROBERT MACKENZIE
2021/09/13	THE HOME DEPOT #2723	\$105.78	DAN PALACIOS
2021/09/13	MIDWEST POWER EQUIPMENT	\$246.87	KEITH HEWITT
2021/09/13	MARKS LOCK SHOP INC	\$15.00	KEITH HEWITT
2021/09/13	COSTCO WHSE#1277	\$71.94	MICHAEL DEVLIN
2021/09/13	AMZN MKTP US*255LG8U72	\$34.65	MICHELLE PRINZ
2021/09/14	2CO.COM*MFSIA	\$50.00	WILLIAM PRIESE
2021/09/14	2CO.COM*MFSIA	\$85.00	WILLIAM PRIESE
2021/09/15	THE HOME DEPOT #2723	\$14.97	LAWRENCE BOBB
2021/09/15	THE HOME DEPOT #2723	\$33.17	ROBERT STACY
2021/09/15	THE HOME DEPOT 2723	\$211.20	TYLER KENNEL
2021/09/15	MIDWEST POWER EQUIPMENT	\$21.19	KYLE FOGG
2021/09/15	244 AUTO VALUE EAST LANSI	\$4.90	KYLE FOGG
2021/09/15	KROGER #888	\$44.27	EMMA CAMPBELL
2021/09/15	EIG*CONSTANTCONTACT.COM	\$199.00	ANDREA SMILEY
2021/09/15	EB EMOTIONAL REGULATI	\$30.00	ROBIN FAUST
2021/09/15	FAMOUS TACO WEST	\$377.64	LUANN MAISNER

Total	\$10,664.21
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ACH Transactions

Date	Payee	Amount	Purpose
9/8/2021	Invoice Cloud	\$ 1,685.85	Utility Transaction Fees
9/8/2021	Health Equity	\$ 833.36	Employee Health Savings Contribution
9/8/2021	Blue Care Network	\$ 11,233.42	Employee Health Insurance
9/9/2021	ICMA	\$ 36,294.46	Payroll Deductions 09/10/2021
9/10/2021	Nationwide	\$ 4,917.06	Payroll Deductions 09/10/2021
9/10/2021	IRS	\$ 92,685.04	Payroll Taxes 09/10/2021
9/10/2021	Various Financial Institutions	\$ 259,765.79	Direct Deposit 09/10/2021
9/13/2021	Consumers Energy	\$ 4,837.19	Utilities
9/13/2021	Delta Dental	\$ 14,247.54	Employee Dental Insurance
9/13/2021	MCT Utilities	\$ 3,554.54	Water/Sewer for MCT
9/14/2021	State of MI	\$ 13,846.00	MI Bus Tax
9/15/2021	Blue Care Network	\$ 15,070.04	Employee Health Insurance
	Total ACH Payments	<u>\$ 458,970.29</u>	



To: Board Members

9. D

**From: LuAnn Maisner, CPRP, Director
Department of Parks and Recreation**

Date: September 15, 2021

Re: The Blue and Grey Event Outdoor Gathering Permit Approval

The Meridian Township Parks and Recreation Department on behalf of the Friends of Historic Meridian is the applicant for the Outdoor Gathering Permit Application for The Blue and Grey Event scheduled for Friday through Sunday, October 1-3, 2021, at the Historical Village in Central Park.

Visitors can enjoy Civil War reenactors and exhibits, as well as, participate in children's activities and games. Witness what life was like during the Civil War with a Civil War Encampment and visit docents and tour the historic village. Due to COVID, the historical village buildings will not be open to the public. Docents will be in attendance outside of the building and provide information on each structure to the spectators. Military demonstrations will take place both Saturday and Sunday afternoons. The Blue and Grey Event is open to the public Saturday and Sunday and admission is free.

Township Ordinance requires the regulation, licensing, and control of gatherings which draws upon the health, sanitation, fire, police, transportation, utility, and other public services normally provided by the Township. The ordinance enumerates specific public safety standards that must be set. Therefore, the application was forwarded to the Fire, Police, and Community Planning & Development Departments for inspection, review and approval.

The following motion is proposed for Board consideration:

MOVE TO APPROVE THE OUTDOOR ASSEMBLY LICENSE FOR THE BLUE AND GREY EVENT TO BE HELD OCTOBER 1-3, 2021 IN THE HISTORICAL VILLAGE, CENTRAL PARK.

Attachments:

1. Application for Outdoor Assembly License
2. Map

CHARTER TOWNSHIP OF MERIDIAN

Application for Outdoor Assembly License

I. Description of Applicant

Name: Friends of Historic Meridian

Residence Address: 5151 Marsh Road, Okemos, MI 48864

Mailing Address: 2100 Gaylord C. Smith Court, Haslett, MI 48840

Phone Number: Meridian Historical Village 517.347.7300

Parks and Recreation 517.853.4600

Susan Colegrove 517.626.0144 Historical Village Board member/Liaison

II. The purpose and character of the proposed assembly is as follows:

Visitors can enjoy Civil War reenactors and exhibits as well as participate in children's activities and games. Witness what life was like during the Civil War with a Civil War Encampment and visit docents and tour the historic village. Due to COVID, the historical village buildings will not be open to the public. Docents will be in attendance outside of the buildings and provide information on each structure to the spectators. Military demonstrations will take place both Saturday and Sunday afternoons. The Blue and Grey Event is open to the public Saturday and Sunday and admission is free.

III. The proposed assembly is to be conducted at (address):

Meridian Township Historical Village, Central Park, 5151 Marsh Road, Okemos

The legal description of the premises is:

Central Park, 5151 Marsh Road

The premises are owned by Meridian Township.

IV. The dates and hours during which the proposed assembly is to be conducted are as follows:

- Friday, October 1, 2021 reenactor set-up 4:00 – 8:00 pm
- Saturday, October 2, 2021 Open to the Public 9:00 am – 5:00 pm
- Sunday, October 3, 2021 Open to the Public 9:00 am – 5:00 pm

V. Applicant estimates that the maximum number of persons expected at the assembly for each day it is conducted is:

400-500 people

- VI. Applicant hereby agrees to observe and obey the minimum requirements contained in Chapter 38 of the Township Code of Ordinances, except that applicant requests that the Township Board grant a waiver of the following provisions:**
- VII. Detailed explanation (if applicable), including drawings and diagrams where applicable, of Applicant's plans to provide for the following:**

Police and fire protection: Working with Meridian Township police and fire departments on safety and fire precautions.

Food & water supply and facilities: Two food trucks open to the public in the Central Park parking lot Saturday and two food trucks open to the public in the Central Park parking lot Sunday. Food and beverages will be provided by the vendors, who are responsible for obtaining all the necessary permits from the Ingham County Health Department or other agencies. Water is available from the drinking fountains in the following areas: historical village restroom building, School House in the Historical Village, Police Department, and for purchase from food vendors.

Health & sanitation facilities: Restrooms will be provided to the public in Central Park Pavilion and historical village restroom building. Up to five restroom facilities located in the historical village may be utilized by reenactors and the public, based on traffic volume at the event.

Medical facilities and services including emergency vehicles and equipment: Meridian Township police and fire departments will be available for any necessary medical emergencies.

Vehicle access and parking facilities: Nokomis Learning Center parking lot will be utilized by reenactors Friday thru Sunday. Reenactors will also be overnight camping in personal campers in Nokomis Learning Center lot. The campers are self-sufficient.

Public parking facilities will be the Central Park parking lot.

Camping and trailer facilities: Reenactors may wish to camp overnight in primitive camping sites set up within the village. Approximately 20 people camping Friday and Saturday nights.

Six individual campfires will be utilized by military and civilian reenactors for personal food preparation and consumption. Meridian Township Public Works personnel will provide fire wood for the reenactors Friday.

Illumination facilities: The parking lots are lighted. Reenactors will utilize lanterns in the primitive camping area.

Communication facilities: Cell phones will be utilized by event staff and reenactors, when needed.

Labyrinth
Arena

Military
Demo

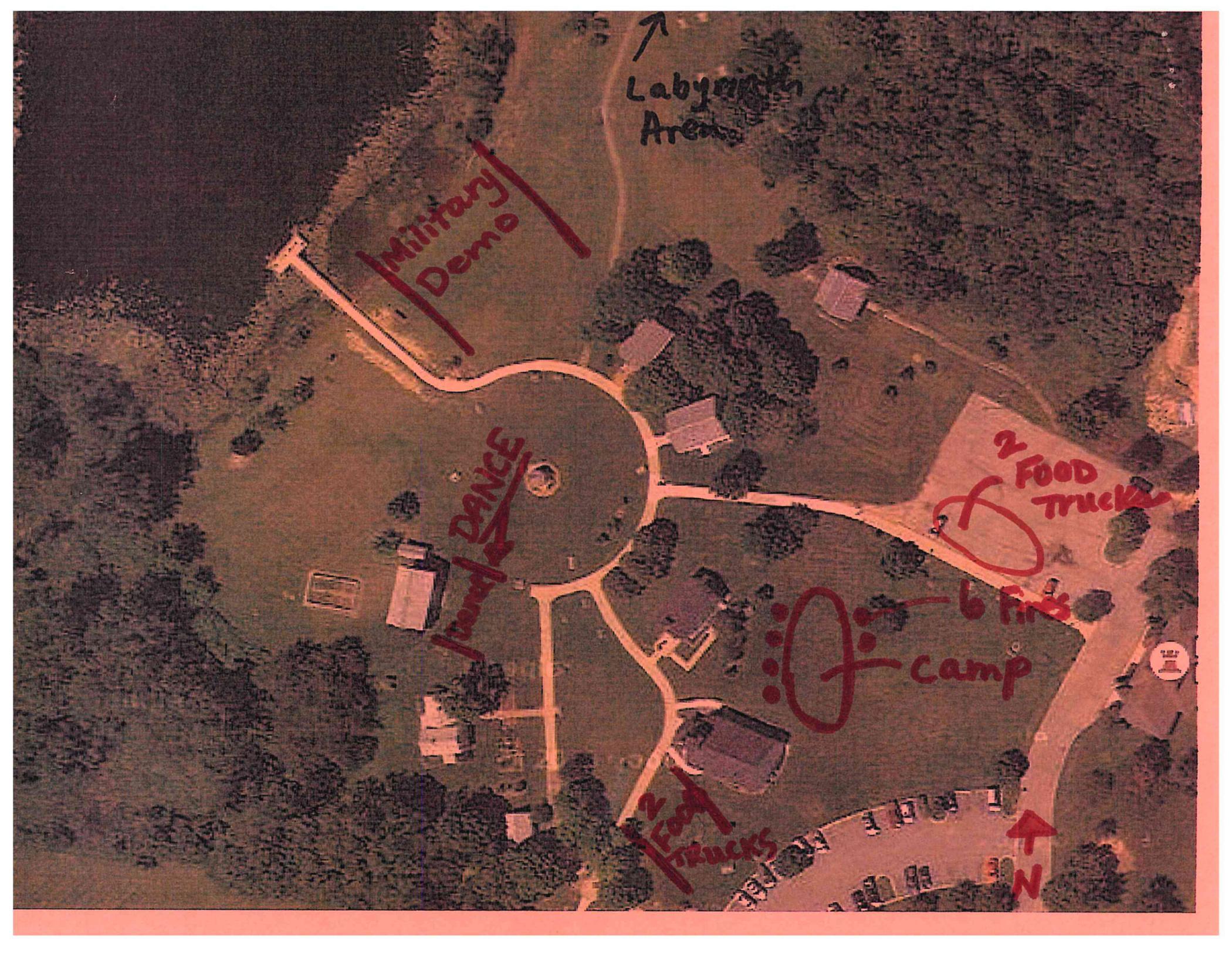
Band & DANCE

2 Food
Trucks

6 Fires
Camp

2 Food
TRUCKS

N





To: Board Members

**From: LuAnn Maisner, CPRP
Director of Parks and Recreation**

Date: September 1, 2021

**Re: Resolution of Declaration and Notice
Accessible Gateway Path and Restroom in the Historical Village
Land and Water Conservation Fund Grant**

The Township was awarded a Land and Water Conservation Fund grant in the amount of \$150,000 to construct the Accessible Gateway Path and Restroom in the Meridian Historical Village. The project is now complete and the final paperwork is being submitted to close the project and receive the final reimbursement.

The grant process with the Michigan Department of Natural Resources (DNR) requires the Township to record a “Declaration and Notice” agreement with the DNR.

The purpose of the Declaration and Notice is to assure that the grant funded site remain in the public domain for public use. By recording this document, Meridian Township is confirming its obligation to retain ownership of Central Park and continue its conservation for public outdoor recreation.

The Park Commission reviewed and approved a resolution to recommend support for the Resolution of Declaration and Notice at their September 14, 2021 meeting.

Attachments:

1. Proposed Resolution of Declaration and Notice

Motion for Board consideration:

MOVE TO APPROVE THE ATTACHED RESOLUTION OF DECLARATION AND NOTICE FOR THE ACCESSIBLE GATEWAY PATH AND RESTROOM DEVELOPMENT PROJECT IN CENTRAL PARK AS A GRANT REQUIREMENT FOR FUNDS RECEIVED FROM THE LAND AND WATER CONSERVATION FUND.

RESOLUTION TO APPROVE

**Resolution of Declaration and Notice
Central Park**

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Service Center, 2100 Gaylord C. Smith Court, Haslett, MI 48840, in said Township on the 21st day of September, 2021 at 6 pm, Local Time.

PRESENT:

ABSENT:

The following resolution of Declaration and Notice was offered by _____ and supported by _____:

WHEREAS, the Charter Township of Meridian, governing body, hereinafter called Meridian Township, being the owner of all the property described as Central Park:

LEGAL DESCRIPTION: A parcel of land located within the East ½ of Section 16 and the West ½ of the Section 15, Meridian Township, T4N, R1 W, Ingham County, Michigan, Commencing at the Southeast 1/4 Corner of said Section 16, thence North along the East line of said Section 495.07 ft. to the intersection of the North right of way line of Central Park Drive and the East Section line and the point of beginning, thence North continuing along said east line 825.0 ft., thence West 1320.20 ft. to the Centerline of Okemos Road, thence North along said centerline 1648.53 ft.; to the South Right-of-Way line of Canadian Northern Railroad, thence northeasterly along said Railroad right of way 3258.15 ft. +/- to the intersection of said South Railroad right of way line and the North 1/8 line of the Northwest ¼ of Section 15, thence south along said 1/8 line 645.03 ft., thence S21°28'30"E 439.73 ft. to the Southwest corner of Nemoke Trails Apartments, thence N68°31'30"E 164.0 ft., thence N21°28'30"W 65.0 ft., thence N68°31'30"E 349.82 ft., thence N32°16'16"E, 698.38 ft., thence N68°31'30"E, 352.0 ft. to the North-South line of Section 15, thence N53°17'58"E 155.98 ft., S21°28'30"E 159.22 ft., thence S33°44'04"E 120.32 ft., thence S02°29'49"E 115 ft. to the Southwest Corner of Meridian Hills Condominiums, thence South 570 ft., thence West 251 ft. to the North-South line of Section 15, thence South along said line 1297.7 ft., thence west 1331.75, thence South 120 ft., thence East 1331.75 ft., which is 60 ft. south of the Center of Section 15, thence South along the North-South line of Section 15, 587.31 ft., thence West 70.56 ft., thence S27°03'27"W 552.66 ft., thence S61°55'26"E 362.10 ft., thence South 8.27 ft. to the West right of way line of Marsh Road, thence along said right of way line S27°43'58"W 1000.27 ft. to the intersection of the West right of way line of Marsh Road and the North right of way line of Central Park Drive, Thence along said North line N70°11'35"W 1420.59 ft., thence on a curve to the left with a length of 998.49 ft., a radius of 665 ft., with a delta of 87.34° and a chord bearing N65°57'36"E with a length of 904.58 ft. to the point of beginning; **except (Municipal Town Hall)** commencing at the South ¼ Corner of Section 15, thence N along the N-S section line 986.23 ft., thence west 162.7 ft. to the West right of way line of Marsh Road and the point of beginning, thence N65°27'30"W 199.73 ft., thence on a curve to the left, with a length of 232.91 ft., having a radius of 150 ft., a delta of 88.96°, and a chord bearing S70°03'33"W with a length of 210.020, thence S25°34'37"W 355.51 ft. thence N66°29'28"W 127.01 ft., thence on a curve to the left, with a length of 235.14 ft.,

having a radius of 150 ft., a delta of 89.82°, and a chord bearing S68°36'03"W with a length of 211.79 ft., thence S23°41'34"W 36.48 ft. to the North right of way of Central Park Drive, thence S70°11'35"E 591.78 ft. to the intersection of the West right of way line of Marsh Road and the North right of way line of Central Park Drive,, thence N27°43'58"E 640.52' to the point of beginning; **also except (Service Center)** beginning at the East ¼ corner of Section 16, thence North along the North- South line 660.14 ft., thence S89°58'36"W 797.65 ft., thence S51°57'03"W 260.39 ft., thence South 496.29 ft. to the E-W Section line, thence East 999.58 ft. to the point of beginning.

Tax ID: #33-02-02-16-400-028

#33-02-02-15-300-028

#33-02-02-15-100-014

Herein after referred to as the Property, attached hereto, located in the Township of Meridian, County of Ingham, Michigan, hereby makes the following declaration to which the Property may be put.

WITNESSETH:

This declaration contained herein is based on the following factual recitals:

- A. Meridian Township developed the Property, in part, through the grant money from the Land and Water Conservation Fund.
- B. As a condition of the grant by the DNR, Meridian Township has agreed to impose certain restrictions on the developed portion of the Property.

NOW, THEREFORE BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN, INGHAM COUNTY, MICHIGAN, HEREBY DECLARES THAT THE PORTION OF THE PROPERTY IDENTIFIED AS THE PROJECT AREA IS AND SHALL BE HELD, TRANSFERRED, SOLD, CONVEYED, LEASED, OCCUPIED AND USED SUBJECT TO THE OBLIGATION HEREINAFTER SET FORTH, ALL OF WHICH SHALL RUN WITH THE LAND.

THE LANDS INCLUDED IN THIS DEED DEVELOPED BY MERIDIAN TOWNSHIP WITH FUNDING ASSISTANCE FROM THE LAND AND WATER CONSERVATION FUND PURSUANT TO PROJECT AGREEMENT TF-16-0087, ACCESSIBLE GATEWAY PATH AND RESTROOM DEVELOPMENT, BETWEEN THE MICHIGAN DEPARTMENT OF NATURAL RESOURCES AND MERIDIAN TOWNSHIP, EXECUTED ON FEBRUARY 28, 2018. THE PROJECT AGREEMENT DESCRIBES CERTAIN REQUIREMENTS TO ENSURE THE LONG-TERM CONSERVATION OF THE



To: Board Members

**From: LuAnn Maisner, CPRP
Director of Parks and Recreation**

Date: September 1, 2021

**Re: Resolution of Declaration and Notice
Central Meridian Regional Trail Connector Project
Michigan Natural Resources Trust Fund Grant**

The Township was awarded a Michigan Natural Resources Trust Fund grant in the amount of \$272,500 to construct the Central Meridian Regional Trail Connector Project. The project is now complete and the final paperwork is being submitted to close the project and receive the final reimbursement.

The grant process with the Michigan Department of Natural Resources requires the Township to record a "Declaration and Notice" agreement with the DNR.

The purpose of the Declaration and Notice is to assure that the grant funded site remain in the public domain for public use. By recording this document, Meridian Township is confirming its obligation to retain ownership of Central Park and continue its conservation for public outdoor recreation.

The Park Commission reviewed and approved a resolution to recommend support for the Resolution of Declaration and Notice at their September 14, 2021 meeting.

Attachments:

1. Proposed Resolution of Declaration and Notice

Motion for Board Consideration:

MOVE TO APPROVE THE ATTACHED RESOLUTION OF DECLARATION AND NOTICE FOR THE CENTRAL PARK REGIONAL PATHWAY DEVELOPMENT PROJECT IN CENTRAL PARK AS A GRANT REQUIREMENT FOR FUNDS RECEIVED FROM THE MICHIGAN NATURAL RESOURCES TRUST FUND.

RESOLUTION TO APPROVE

**Resolution of Declaration and Notice
Central Park**

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Service Center, 2100 Gaylord C. Smith Court, Haslett, MI 48840, in said Township on the 21st day of September, 2021 at 6 pm, Local Time.

PRESENT:

ABSENT:

The following resolution of Declaration and Notice was offered by _____ and supported by _____:

WHEREAS, the Charter Township of Meridian, governing body, hereinafter called Meridian Township, being the owner of all the property described as Central Park:

LEGAL DESCRIPTION: A parcel of land located within the East ½ of Section 16 and the West ½ of the Section 15, Meridian Township, T4N, R1 W, Ingham County, Michigan, Commencing at the Southeast 1/4 Corner of said Section 16, thence North along the East line of said Section 495.07 ft. to the intersection of the North right of way line of Central Park Drive and the East Section line and the point of beginning, thence North continuing along said east line 825.0 ft., thence West 1320.20 ft. to the Centerline of Okemos Road, thence North along said centerline 1648.53 ft.; to the South Right-of-Way line of Canadian Northern Railroad, thence northeasterly along said Railroad right of way 3258.15 ft. +/- to the intersection of said South Railroad right of way line and the North 1/8 line of the Northwest ¼ of Section 15, thence south along said 1/8 line 645.03 ft., thence S21°28'30"E 439.73 ft. to the Southwest corner of Nemoke Trails Apartments, thence N68°31'30"E 164.0 ft., thence N21°28'30"W 65.0 ft., thence N68°31'30"E 349.82 ft., thence N32°16'16"E, 698.38 ft., thence N68°31'30"E, 352.0 ft. to the North-South line of Section 15, thence N53°17'58"E 155.98 ft., S21°28'30"E 159.22 ft., thence S33°44'04"E 120.32 ft., thence S02°29'49"E 115 ft. to the Southwest Corner of Meridian Hills Condominiums, thence South 570 ft., thence West 251 ft. to the North-South line of Section 15, thence South along said line 1297.7 ft., thence west 1331.75, thence South 120 ft., thence East 1331.75 ft., which is 60 ft. south of the Center of Section 15, thence South along the North-South line of Section 15, 587.31 ft., thence West 70.56 ft., thence S27°03'27"W 552.66 ft., thence S61°55'26"E 362.10 ft., thence South 8.27 ft. to the West right of way line of Marsh Road, thence along said right of way line S27°43'58"W 1000.27 ft. to the intersection of the West right of way line of Marsh Road and the North right of way line of Central Park Drive, Thence along said North line N70°11'35"W 1420.59 ft., thence on a curve to the left with a length of 998.49 ft., a radius of 665 ft., with a delta of 87.34° and a chord bearing N65°57'36"E with a length of 904.58 ft. to the point of beginning; **except (Municipal Town Hall)** commencing at the South ¼ Corner of Section 15, thence N along the N-S section line 986.23 ft., thence west 162.7 ft. to the West right of way line of Marsh Road and the point of beginning, thence N65°27'30"W 199.73 ft., thence on a curve to the left, with a length of 232.91 ft., having a radius of 150 ft., a delta of 88.96°, and a chord bearing S70°03'33"W with a length of 210.020, thence S25°34'37"W

355.51 ft. thence N66°29'28"W 127.01 ft., thence on a curve to the left, with a length of 235.14 ft., having a radius of 150 ft., a delta of 89.82°, and a chord bearing S68°36'03"W with a length of 211.79 ft., thence S23°41'34"W 36.48 ft. to the North right of way of Central Park Drive, thence S70°11'35"E 591.78 ft. to the intersection of the West right of way line of Marsh Road and the North right of way line of Central Park Drive,, thence N27°43'58"E 640.52' to the point of beginning; **also except (Service Center)** beginning at the East ¼ corner of Section 16, thence North along the North- South line 660.14 ft., thence S89°58'36"W 797.65 ft., thence S51°57'03"W 260.39 ft., thence South 496.29 ft. to the E-W Section line, thence East 999.58 ft. to the point of beginning.

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Herein after referred to as the Property, attached hereto, located in the Township of Meridian, County of Ingham, Michigan, hereby makes the following declaration to which the Property may be put.

WITNESSETH:

This declaration contained herein is based on the following factual recitals:

- A. Meridian Township developed the Property, in part, through the grant money from the Michigan Natural Resources Trust Fund.
- B. As a condition of the grant by the DNR, Meridian Township has agreed to impose certain restrictions on the developed portion of the Property.

NOW, THEREFORE BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN, INGHAM COUNTY, MICHIGAN, HEREBY DECLARES THAT THE PORTION OF THE PROPERTY IDENTIFIED AS THE PROJECT AREA IS AND SHALL BE HELD, TRANSFERRED, SOLD, CONVEYED, LEASED, OCCUPIED AND USED SUBJECT TO THE OBLIGATION HEREINAFTER SET FORTH, ALL OF WHICH SHALL RUN WITH THE LAND.

THE LANDS INCLUDED IN THIS DEED DEVELOPED BY MERIDIAN TOWNSHIP WITH FUNDING ASSISTANCE FROM THE MICHIGAN NATURAL RESOURCES TRUST FUND PURSUANT TO PROJECT AGREEMENT TF-16-0087, CENTRAL PARK REGIONAL PATHWAY AND FISHING DOCK DEVELOPMENT, BETWEEN THE MICHIGAN DEPARTMENT OF NATURAL RESOURCES AND MERIDIAN TOWNSHIP, EXECUTED ON NOVEMBER 22, 2017. THE PROJECT AGREEMENT



To: Board Members
From: Michael Hamel, Fire Chief
Date: September 13, 2021
Re: Assistance to Firefighters Grant and SAFER Grant

The Fire Department is proposing that Meridian Township participate in the Department of Homeland Security's 2020 Assistance to Firefighters Grant (AFG) and the Staffing for Adequate Fire and Emergency Response (SAFER) Grant. These grants would allow us funding to purchase a new engine and cover the cost of staffing to provide better protection of our residents and visitors. The proposal is to enhance firefighter safety and increase the ability of the Department to provide safe and effective response.

Assistance to Firefighters Grant (AFG)

This grant is for a new engine. The total grant award is \$600,000, and Meridian Township's share would be 10% (\$54,545.45).

Staffing for Adequate Fire and Emergency Response (SAFER) Grant

The total grant award is \$970,931.32 over three years. This grant covers 100% of salary and fringe benefits for four new employees with no cost share to Meridian Township.

MOVE TO AUTHORIZE THE FIRE DEPARTMENT TO APPLY FOR AND ACCEPT TWO GRANTS THROUGH THE DEPARTMENT OF HOMELAND SECURITY.

- **ASSISTANCE TO FIREFIGHTERS GRANT IN THE AMOUNT OF \$600,000 WITH A 10% MATCHING SHARE OF \$54,545.45**
- **STAFFING FOR ADEQUATE FIRE AND EMERGENCY RESPONSE GRANT IN THE AMOUNT OF \$970,931.32 (NO MATCHING FUNDS)**



To: Board Members
From: Michael Hamel, Fire Chief
Date: September 13, 2021
Re: Ratification of New Paramedic/Firefighter and Part-Time Paramedic

Joseph Harrison, from Eaton Rapids, graduated from the Paramedic Program at Lansing Community College in 2021. He began working for the City of Jackson as a Firefighter/EMT in January 2019 and more recently worked for Medstar Ambulance and Windsor Township Emergency Services. He is licensed at the Paramedic level for the State of Michigan and holds Fire Fighter I & II certification. In addition, he is certified in Hazmat Awareness and Operations.

Anne Marie Cavalcante, from Dimondale, graduated from the Paramedic Program at Lansing Community College in 2021. She currently works for Windsor Township Emergency Services. She will be attending the Fire Academy in October 2021.

Move to authorize the Fire Department to appoint Joseph Harrison to Full-Time Paramedic/Firefighter and Anne Marie Cavalcante to Part-Time Paramedic.



To: Board Members
From: Deborah Guthrie, Township Clerk
Date: September 16, 2021
Re: Change Regular Board Meeting Date of November 4, 2021

The current Township Board meeting calendar has the first meeting in November scheduled for Thursday, November 4. This date was chosen in anticipation of an election.

Since an election will not be held on Thursday, November 4, I am recommending moving the Township Board Regular Meeting to Tuesday, November 2, 2021, in the Town Hall Room, Meridian Municipal Building, 5151 Marsh Road, Okemos at 6:00 pm.

The following motion has been prepared for the Board's consideration:

Move to change the originally scheduled Township Board Regular Meeting date of Thursday, November 4 to Tuesday, November 2, 2021.



11. A. & 12. D.

To: Township Board Members

From: Derek N. Perry, Assistant Township Manager
Director of Public Works & Engineering

Younes Ishraidi, Chief Engineer

Date: September 21, 2021

Re: Silverstone Estates Public Streetlighting Improvement
Special Assessment District #427 – Public Hearing & Resolution #3

A request was received from the property owners of Silverstone Estates for the installation and maintenance of streetlights in Silverstone Estates. The proposed plan is for seven (7) LED streetlights composed of Traditional fixtures with cut-offs, and black standard poles, to be installed and maintained along Silverstone Way by Consumers Energy. They have been installed and are energized.

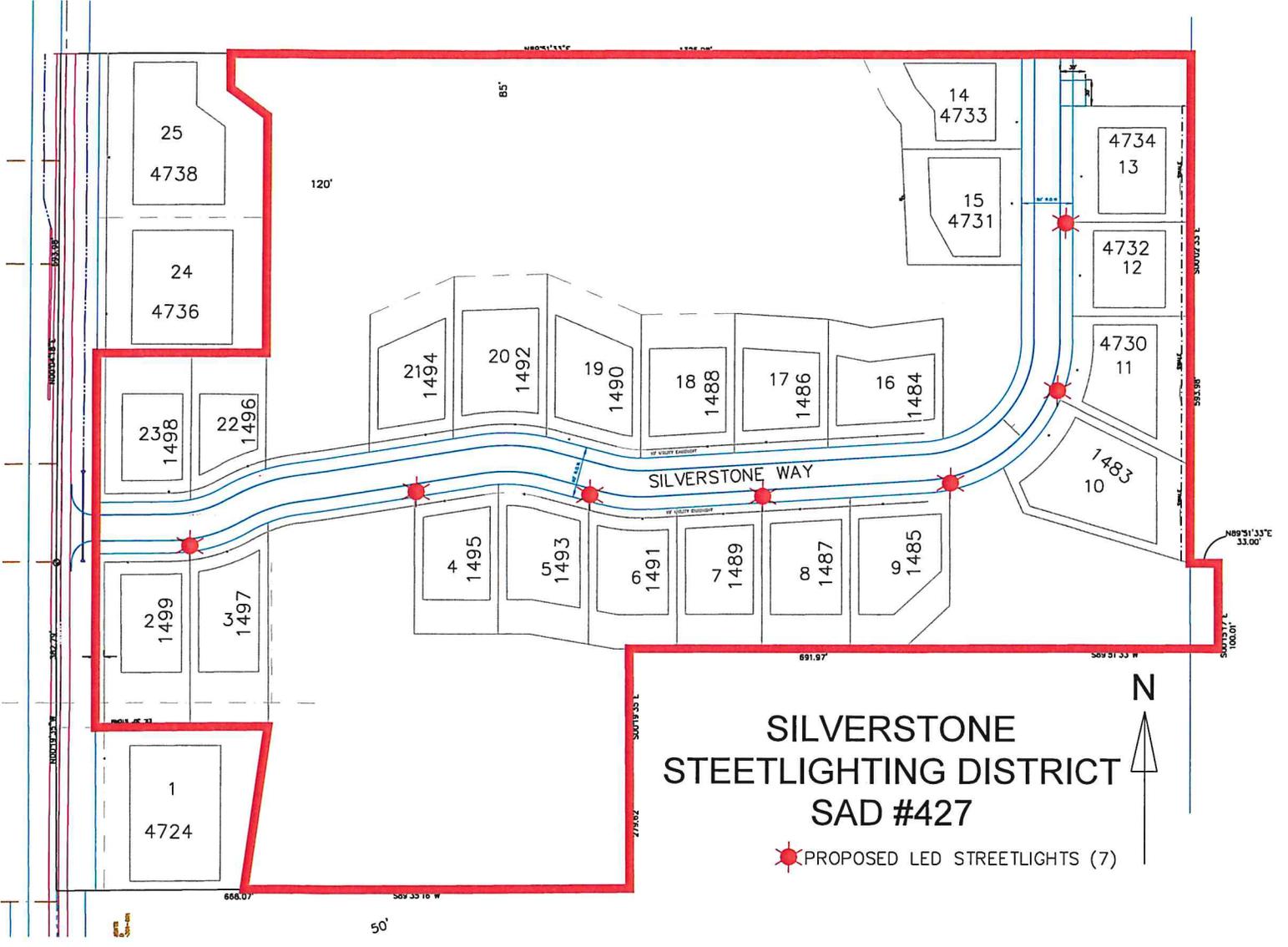
At its September 7, 2021 meeting, the Township Board set a public hearing for September 21, 2021 to hear comments on the installation and maintenance of the streetlighting in Silverstone Estates and its associated special assessment district (SAD). Notices for the public hearing were sent to the SAD property owners along Silverstone Way. A map of the district and a copy of the assessment roll is attached.

There are 22 lots in SAD district #427. Based on pricing from Consumers Energy, the cost of operation and maintenance is \$1,524.24 (\$69.29/lot) for the first year, and \$687.12 (\$31.24/lot) annually thereafter (subject to adjustment).

Resolution #3 approves the construction of the public improvement and to defray the cost by special assessment, approves the estimate of cost, and determines the special assessment district.

Proposed Motion:

“Move to approve Silverstone Estates Public Streetlighting Improvement Special Assessment District #427- Resolution #3, which approves the construction of the public improvement, the estimate of cost, and defraying the cost by special assessment; determines the special assessment district and directs the making of an assessment roll.”



**SILVERSTONE
STEETLIGHTING DISTRICT
SAD #427**

 PROPOSED LED STREETLIGHTS (7)

**SILVERSTONE ESTATES PUBLIC STREETLIGHTING IMPROVEMENT
SPECIAL ASSESSMENT DISTRICT NO. 427**

RESOLUTION NO. 3

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held in the Meridian Township Municipal Building, 5151 Marsh Road, Okemos, MI 48864-1198, Phone (517) 853-4000 on Tuesday, September 21 , at 6:00 p.m.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____

and supported by _____.

WHEREAS, The Township Board, pursuant to the provisions of Act 188, Public Acts of Michigan, 1954, as amended, did on September 7, 2021, adopt a resolution tentatively approving the installation, operation and maintenance of certain public streetlighting improvements along Silverstone Way, and the establishment of a special assessment district for the purpose of paying the cost thereof, which special assessment district is more specifically hereinafter described; and

WHEREAS, the Township Board did meet on September 21, 2021, at 6:00 p.m., the time, date and place set by the Board to hold a public hearing to hear any objections to the improvement and to the special assessment district therefore; and

WHEREAS, estimates of cost of said project are on file with the Township Clerk and have been on file since September 7, 2021, and

NOW, THEREFORE, BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN, INGHAM COUNTY, MICHIGAN, AS FOLLOWS:

1. The Township Board hereby approves the following described improvement: Installation, operation and maintenance of seven (7) LED traditional streetlights with cut off along Silverstone Way, and to defray the cost by special assessment against the properties specially benefited thereby.
2. The Township Board hereby approves the estimate of cost in the sum of \$1,524.24 (\$69.29/lot) for the first year cost and \$687.12 (\$31.24/lot) annually thereafter (subject to adjustment).
3. The Township Board finally determines that the special assessment district shall be described as follows:
Lots 2 through Lot 23 (inclusive), Silverstone Estates

4. The Supervisor is hereby directed to make a special assessment roll in which shall be described all the parcels of land to be assessed as set forth with the names of the owners thereof if known, and the total amount to be assessed against each parcel of land which amount shall be such relative portion of the whole sum to be levied against all parcels of land in the assessment district as the benefit to such parcel bears to the total benefit of all parcels of land in the special assessment district. The term of the special assessment district shall continue until the special assessments, as approved or modified, have been collected in full.
5. When the Supervisor shall have completed the special assessment roll there shall be affixed thereto a certificate stating that said roll was made pursuant to a resolution of the Township Board of the Charter Township of Meridian adopted September 21, 2021, and that in making the assessment roll the Supervisor has, according to his best judgement, conformed in all respects to the directions contained in said resolution and the statutes of the State of Michigan and the Supervisor shall then report the special assessment roll with the certificate attached thereto, to the Township Board.
6. That the Township Board hereby authorizes Consumers Energy Company to proceed with the installation of the streetlighting facilities previously described and that the streetlighting contract dated March 18, 2014, be further amended to include the cost of these additional streetlights. The Clerk and Supervisor are hereby authorized to sign the Authorization for Change in Streetlighting Contract as prepared by Consumers Energy Company.
7. All resolutions and parts of resolutions insofar as they conflict with the provisions of this resolution be and the same are hereby rescinded.

YEAS: _____

NAYS: _____

Resolution declared adopted.

STATE OF MICHIGAN)

)ss.

COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Clerk of the Charter Township of Meridian, Ingham County, Michigan, **DO HEREBY CERTIFY** that the foregoing is a true and complete copy of proceedings taken by the Township Board at a regular meeting held on September 21, 2021.

Deborah Guthrie, Township Clerk

ASSESSMENT ROLL

Lot 2 through 23 (inclusive), Silverstone Estates
Owner: Powell Road Holding LLC
Owner Address: 1650 Kendale Blvd, Ste. 200
East Lansing, MI 48823

			<u>First Year Cost</u>	<u>Annually Thereafter</u>
Lot 2	3302-02-23-302-002	1499 Silverstone Way	\$69.29	\$31.24
Lot 3	3302-02-23-302-003	1497 Silverstone Way	\$69.29	\$31.24
Lot 4	3302-02-23-152-001	1495 Silverstone Way	\$69.29	\$31.24
Lot 5	3302-02-23-152-002	1493 Silverstone Way	\$69.29	\$31.24
Lot 6	3302-02-23-152-003	1491 Silverstone Way	\$69.29	\$31.24
Lot 7	3302-02-23-152-004	1489 Silverstone Way	\$69.29	\$31.24
Lot 8	3302-02-23-152-005	1487 Silverstone Way	\$69.29	\$31.24
Lot 9	3302-02-23-152-006	1485 Silverstone Way	\$69.29	\$31.24
Lot 10	3302-02-23-152-007	1483 Silverstone Way	\$69.29	\$31.24
Lot 11	3302-02-23,152-008	4730 Silverstone Way	\$69.29	\$31.24
Lot 12	3302-02-23-152-009	4732 Silverstone Way	\$69.29	\$31.24
Lot 13	3302-02-23-152-010	4734 Silverstone Way	\$69.29	\$31.24
Lot 14	3302-02-23-151-002	4733 Silverstone Way	\$69.29	\$31.24
Lot 15	3302-02-23-151-003	4731 Silverstone Way	\$69.29	\$31.24
Lot 16	3302-02-23-151-004	1484 Silverstone Way	\$69.29	\$31.24
Lot 17	3302-02-23-151-005	1486 Silverstone Way	\$69.29	\$31.24
Lot 18	3302-02-23-151-006	1488 Silverstone Way	\$69.29	\$31.24
Lot 19	3302-02-23-151-007	1490 Silverstone Way	\$69.29	\$31.24
Lot 20	3302-02-23-151-008	1492 Silverstone Way	\$69.29	\$31.24
Lot 21	3302-02-23-151-009	1494 Silverstone Way	\$69.29	\$31.24
Lot 22	3302-02-23-151-010	1496 Silverstone Way	\$69.29	\$31.24
Lot 23	3302-02-23-151-011	1498 Silverstone Way	\$69.29	\$31.24



11. B. & 12.E.

To: Township Board Members

From: Derek N. Perry, Assistant Township Manager
Director of Public Works & Engineering

Younes Ishraidi, P.E., Chief Engineer

Date: September 21, 2021

Re: 2021 Order to Maintain Sidewalk
Special Assessment District #19 Hearing & Resolution #3

Since 1999 the Township has developed a proactive approach to minimize residential sidewalk hazards and potential liability to the Township by adopting a sidewalk replacement program.

In accordance with ordinance Section 58-32b, and Section 58-32d, the Township Board may order the repair of defective sidewalks. If the property owner fails to repair the sidewalk within 20 days after written notification, the Township may repair or replace the sidewalk and bill the cost of construction to the property owner.

As part of the ongoing sidewalk replacement program for this year, engineering staff has designated locations in Sections 8, 32, 33, 34, & 35 to continue the sidewalk replacement program. The proposed project areas include the following subdivisions: Briarwood; Briarwood #3, #4, #5; East Meadows Condominiums; Heritage Hills, Heritage Hills #2, #3, #4; Ember Oaks; Sunwind Estates; and Sanctuary.

The public hearing is to receive comments in favor and/or objections to the proposed 2021 Order to Maintain Special Assessment District #19. Also, attached is Resolution 3 which directs the Director of Public Works & Engineering to send a notice to each property owner; approves the construction of the public improvement and to defray the cost by special assessment, approves the estimate of cost, and determines the special assessment district.

Proposed Motion:

“Move to approve the 2021 Order to Maintain Sidewalk Special Assessment District #19, Resolution #3, which approves repair and maintenance of sidewalk in portions of the following areas: Briarwood, Briarwood #3, #4, #5; East Meadows Condominiums; Heritage Hills, Heritage Hills #2, #3, #4, Ember Oaks, Sunwind Estates; and Sanctuary, which are located in Sections: 8, 32, 33, 34, & 35 and to defray the cost by special assessment; approves the cost estimate of \$25,850.12; determines the special assessment district; directs the making of an assessment roll; and directs notices be sent to the property owners indicating they have 20 days to replace or make safe the defective sidewalk.”

**2021 ORDER TO MAINTAIN SIDEWALKS
SPECIAL ASSESSMENT DISTRICT #19**

RESOLUTION NO. 3

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held in the Meridian Township Municipal Building, 5151 Marsh Road, Okemos, MI 48864-1198, (517) 853-4000 on Tuesday, September 21, 2021, at 6:00 p.m.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____
and supported by _____.

WHEREAS, the Township Board pursuant to the provisions of Act 188, Public Acts of Michigan, 1954, as amended, did on September 7, 2021, adopt a resolution tentatively approving the public improvement to repair and maintain sidewalk in portions of the following areas: Briarwood; Briarwood #3, #4, #5; East Meadows Condominiums; Heritage Hills, Heritage Hills #2, #3, #4; Ember Oaks; Sunwind Estates; and Sanctuary, which are located in Sections 8, 32, 33, 34, and 35 of Meridian Township, Ingham County, Michigan; and the establishment of a special assessment district for the purpose of paying the cost thereof, which special assessment district is more specifically hereinafter described; and

WHEREAS, the Township Board did meet on September 21, 2021, at 6:00 p.m., the time, date and place set by the Board to hold a public hearing to hear any objections to the improvement and to the special assessment district therefore; and,

WHEREAS, estimates of cost of said project are on file with the Township Clerk and have been on file since September 7, 2021; and,

NOW, THEREFORE, BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN, INGHAM COUNTY, MICHIGAN, THAT:

1. The Township Board hereby approves the construction of the following described public improvement: Repair and maintain sidewalk in portions of the following areas Briarwood; Briarwood #3, #4, #5; East Meadows Condominiums; Heritage Hills, Heritage Hills #2, #3, #4; Ember Oaks; Sunwind Estates; and Sanctuary, which are located in Sections 8, 32, 33, 34, and 35 of Meridian Township, Ingham County, Michigan; and to defray the cost thereof by special assessment against the properties specially benefited thereby.
2. The Township Board hereby approves the estimate of cost in the sum of \$25,850.12 as prepared by Younes Ishraidi, P.E., Chief Engineer.
3. The Township Board finally determines that the special assessment district shall be described as follows:

(SEE ATTACHED LEGAL DESCRIPTION)

4. The Supervisor is hereby directed to make a special assessment roll in which shall be described all the parcels of land to be assessed as set forth with the names of the owners thereof if known, and the total amount to be assessed against each parcel of land which amount shall be such relative portion of the whole sum to be levied against all parcels of land in the assessment district as the benefit to such parcel bears to the total benefit of all parcels of land in the special assessment district. The term of the special assessment district shall continue until the special assessments, as approved or modified, have been collected in full.
5. When the Supervisor shall have completed the special assessment roll there shall be affixed thereto a certificate stating that said roll was made pursuant to this resolution of the Township Board of the Charter Township of Meridian adopted September 21, 2021, and that in making the assessment roll the Supervisor has, according to his best judgement, conformed in all aspects to the directions contained in said resolution and the statutes of the State of Michigan and the Supervisor shall then report the special assessment roll with the certificate attached thereto, to the Township Board.
6. The Township Board hereby directs the Director of Public Works & Engineering to send a notice to each property owner in the assessment district indicating that they have 20 days to replace or make safe the defective sidewalk. Failure of a property owner to replace or make safe the sidewalk within 20 days will necessitate the Township's contractor to replace or make safe the sidewalk.
7. All resolutions and parts of resolutions insofar as they conflict with the provisions of this resolution be and the same are hereby rescinded.

YEAS: _____

NAYS: _____

Resolution declared adopted.

STATE OF MICHIGAN)

ss.

COUNTY OF INGHAM

I, the undersigned, the duly qualified and acting Clerk of the Charter Township of Meridian, Ingham County, Michigan, **DO HEREBY CERTIFY** that the foregoing is a true and complete copy of proceedings taken by the Township Board at a regular meeting held on Tuesday September 21, 2021.

Deborah Guthrie, Township Clerk
Charter Township of Meridian

**CHARTER TOWNSHIP OF MERIDIAN
2020 ORDER TO MAINTAIN SIDEWALK
SPECIAL ASSESSMENT DISTRICT #19**

LEGAL DESCRIPTION

LOTS: E 66 FT OF LOT 1 AND W 19 FT OF LOT 2; E 53' OF LOT 2 & WEST 38' OF LOT 3; LOT 5 & E 10 FT. OF LOT 4; W. 79 FT. OF LOT 8;16; 21; 26;36; 40; 41; 45; LOT 46 ENTIRE LOT 47 EXC. N. 74 FT; 49, **BRIARWOOD SUBDIVISION.**

LOTS: 64; 65; 66; 67; 77; LOT 81 & E 2 FT. OF LOT 80; 82; 83; 97; 98, 99; 115; 116; 117,
BRIARWOOD SUBD. NO. 3.

LOTS: 120; 123; 133; 134; 138; 151; LOT 153 BRIARWOOD SUBD. NO. 4. AND ALSO BEG. AT NE COR. OF LOT 153, TH. N 89 DEG 24' 00" E 30 FT, S 00 DEG. 00' 46" E 120.01 FT, S 89 DEG 24' 00" W 30 FT TO SE COR. OF LOT 153, N 00 DEG 00' 46" W 120.01 FT TO PT. OF BEG.; 154; 158; 167; 174; 17;, 180; 186, **BRIARWOOD SUBD. NO. 4.**

LOTS: 195; 196; 218; 228; 229; 232; 237; 238; 243; 248; 257; 261; 275; 279; 280; 281, 282,
BRIARWOOD SUBD. NO. 5.

UNIT 2, EAST MEADOWS CONDOMINIUM.

LOTS: 5; 6; 10; 11; LOT 12 & THE W 11 FT OF LOT 13; LOT 13 EXC THE W 11 FT THEREOF; 23; 26; 29; 40; 41; 49; **HERITAGE HILLS SUBDIVISION**

LOTS: LOT 58 & W 22.5 FT. OF LOT 57; 59; 73; 83, **HERITAGE HILLS SUBD. NO. 2.**

LOTS: 82; 87; 88; LOT 92 HERITAGE HILLS SUBD NO 3. ALSO BEG AT NE COR OF LOT 92, TH N80 DEG 01'15"E 20 FT, TH S 11 DEG 19'04"E 116.22 FT, TH S 80 DEG 54'30"W 20 FT, TH N 11 DEG 19'04"W 116.22 FT TO BEG SEC 8;9; 98;104; 114; 125, **HERITAGE HILLS SUBD. NO. 3.**

LOTS: 127; 128; 136; 140; 141; 142; 145; 146; 150; 156; 157; 168; 170; 171; 176; 177; 187; 197; 205; 206; 208; 210; 220; 228, **HERITAGE HILLS #4 SUBDIVISION.**

LOTS: 9; 16, **EMBER OAKS**

LOT: 70, **SUNWIND ESTATES**

LOT 46, PLAT OF **SANCTUARY**, SEC 32, T4N R 1W SPLIT ON 07/21/2006 FROM 33-02-02-32-400-006

**2021 ORDER TO MAINTAIN SIDEWALK
SPECIAL ASSESSMENT DISTRICT NO. 19**

-- CERTIFICATE OF SUPERVISOR --

STATE OF MICHIGAN)
) ss.
COUNTY OF INGHAM)

I, Ronald J Styka, Supervisor of the Charter Township of Meridian, Ingham County, Michigan, hereby certify that the attached 2021 Order to Maintain Sidewalk Special Assessment District #19 Special Assessment Roll was made by me pursuant to the resolution of the Township Board of said Charter Township of Meridian heretofore adopted on September 21, 2021, and that in making such assessment roll, to the best of my judgment, I conformed in all respects to the directions contained in such resolution and the Statutes of the State of Michigan.

Ronald J Styka, Supervisor

DATED:

Subscribed and sworn to before me this ____ day of _____, 2021.

Notary Public, Ingham County, MI
My Commission expires: _____

2021 ORDER TO MAINTAIN SIDEWALK
SPECIAL ASSESSMENT DISTRICT NO. 19 - RESOLUTION 1 and 2

Repair Address				Mailing Address				Repair Quantity				Property Owner Cost	
Parcel #	Subdivision	Lot No.	Repair Address	Primary Name	Street Address	City	ST	Zip	Frontlot	6"	4"	Shedlot	6"
1	33-02-02-33-278-005	228	2079 ASHLAND	COLLIER, CODY E & STEPHANIE	2079 ASHLAND DR	OKEMOS	MI	48864	45				\$391.00
2	33-02-02-33-278-004	229	2089 ASHLAND	ABBASOV, KHASAN	2089 ASHLAND DR	OKEMOS	MI	48864	25				\$217.22
2	33-02-02-33-276-035	232	2090 ASHLAND	HALLMAN, SUSAN	2090 ASHLAND DR	OKEMOS	MI	48864	50				\$434.44
3	33-02-02-33-278-002	174	2101 ASHLAND	PENNINGTON, STEPHEN	2101 ASHLAND DR	OKEMOS	MI	48864	25				\$217.22
4	33-02-02-33-229-016	154	2015 BELDING	HOWSER, LAWRENCE E & BRENDA M	2015 BELDING CT	OKEMOS	MI	48864	75				\$651.67
5	33-02-02-33-226-012	151	2016 BELDING	WYMAN, MATHEW	2016 BELDING CT	OKEMOS	MI	48864	25				\$217.22
6	33-02-02-33-276-016	158	2085 BELDING	RANDHAWA, RANDY	2085 BELDING CT	OKEMOS	MI	48864	60		25		\$651.67
7	33-02-02-33-204-001	97	2115 BELDING	SCHWANIK, KARL J & MARGARET ANN	2115 BELDING CT	OKEMOS	MI	48864	25				\$217.22
8	33-02-02-33-202-001	77	3940 BELDING	BONSIGNORE, JONATHAN A & SABALA, LISA M	3940 BELDING CT	OKEMOS	MI	48864	75				\$651.67
9	33-02-02-33-278-024	218	3801 BINGHAMPTON	TEOH, ROBERT J H & MARGARET J	3801 BINGHAMPTON DR	OKEMOS	MI	48864	50				\$434.44
10	33-02-02-33-277-006	196	3830 BINGHAMPTON	HAUGEN, RANDALL & RENUKA	3830 BINGHAMPTON DR	OKEMOS	MI	48864	100				\$868.89
11	33-02-02-33-277-005	195	3840 BINGHAMPTON	ZWIER, LAWRENCE J & JEAN M	3840 BINGHAMPTON DR	OKEMOS	MI	48864	25				\$217.22
12	33-02-02-33-227-006	153+	3940 BINGHAMPTON	CESARIO, JOSEPH FRANK & CESARIO, KATE CAMERON HELLER	3940 BINGHAMPTON DR	OKEMOS	MI	48864	50				\$434.44
13	33-02-02-08-180-007	83	5893 BLYTHEFIELD	PFEGER, GEORGE A	5893 BLYTHEFIELD DR	EAST LANSING	MI	48823	25				\$217.22
14	33-02-02-08-127-009	82	5909 BLYTHEFIELD	SANTUCCI, MARC & DEBORAH	5909 BLYTHEFIELD DR	EAST LANSING	MI	48823	50				\$434.44
15	33-02-02-08-154-010	40	2885 BONITA	KISHLER REV LVG TRUST, MARY C	2885 BONITA CIR	EAST LANSING	MI	48823	25				\$217.22
16	33-02-02-08-126-022	187	2782 BUGLERS	SEIDU, BEHXHET	2782 BUGLERS WAY	EAST LANSING	MI	48823	55				\$477.89
17	33-02-02-08-126-009	197	2832 BUGLERS	JACKSON, ANDREA & VIGER, STEVEN	2832 BUGLERS WAY	EAST LANSING	MI	48823	25				\$217.22
18	33-02-02-35-352-001	9	3598 CABARET	AHMED, ZULFIQAR & NAZ, FAREEHA	3598 CABARET TRL	OKEMOS	MI	48864	53				\$273.70
19	33-02-02-33-426-004	2	3740 CAVALLER	EAST MEADOWS CONDOMINIUM ASSOCIATION	16429 UPTON RD, STE 2	EAST LANSING	MI	48823	25				\$217.22
20	33-02-02-08-101-021	73	2898 COLONY	LAHAIE, LAWRENCE & LAHAIE, MICHELLE	2898 COLONY DR	EAST LANSING	MI	48823	45				\$416.88
21	33-02-02-08-103-001	58+	2919 COLONY	MCCINTY, DENNIS & FREYA I	2919 COLONY DR	EAST LANSING	MI	48823	25				\$217.22
22	33-02-02-08-102-005	59	2933 COLONY	LAHTI, RUSSELL & AMANDA	2933 COLONY DR	EAST LANSING	MI	48823	25		45		\$451.82
23	33-02-02-08-103-014	13-	2876 CRESTWOOD DR	WILLIAMS, ALICIA N & MATTHEW M	2876 CRESTWOOD DR	EAST LANSING	MI	48823	30				\$260.67
24	33-02-02-08-154-011	41	2881 CRESTWOOD DR	IONES, STEVEN H & DARCI C	2881 CRESTWOOD DR	EAST LANSING	MI	48823	50		15		\$78.20
25	33-02-02-08-103-013	12+	2886 CRESTWOOD DR	PENDRED, MARK & BRIGIT	2886 CRESTWOOD DR	EAST LANSING	MI	48823	25				\$434.44
26	33-02-02-08-103-008	11	2894 CRESTWOOD DR	MOURADIAN, ZAVEN A & MONICA MARY	2894 CRESTWOOD DR	EAST LANSING	MI	48823	25				\$217.22
27	33-02-02-08-103-007	10	2900 CRESTWOOD DR	RADER, ROBERT & AIMEE	2900 CRESTWOOD DR	EAST LANSING	MI	48823	25				\$217.22
28	33-02-02-08-102-011	6	2942 CRESTWOOD DR	TODARO, DONALD E & ZETER, MARY JO	2942 CRESTWOOD DR	EAST LANSING	MI	48823	50				\$434.44
29	33-02-02-08-153-011	26	2943 CRESTWOOD DR	KARDELL FAMILY TRUST	2943 CRESTWOOD DR	EAST LANSING	MI	48823	25				\$217.22
30	33-02-02-08-102-010	5	2952 CRESTWOOD DR	SUDDUTH, COLEMAN	2952 CRESTWOOD DR	EAST LANSING	MI	48823	25				\$217.22
31	33-02-02-08-153-008	23	2955 CRESTWOOD CIR	FOSTER, THYRA KAY & DUNCAN, NICHOLA	2955 CRESTWOOD CIR	EAST LANSING	MI	48823	25				\$217.22
32	33-02-02-33-252-012	117	2163 DONOVAN	FRISCH, ERIN P & HAGMAN, ANDREW M	2163 DONOVAN PL	OKEMOS	MI	48864	25		25		\$138.96
33	33-02-02-33-203-009	8-	2196 DONOVAN	GIFFORD, ROLAND S & MARY L TRUST	2196 DONOVAN PL	OKEMOS	MI	48864	25	25			\$448.82
34	33-02-02-33-202-010	82	2150 HERITAGE	WARREN, JO ANN D TRUSTEE	2150 HERITAGE AVE	OKEMOS	MI	48864	25				\$217.22
35	33-02-02-33-202-009	81+	2158 HERITAGE	DAVILA, MARIA D MOLINA	2158 HERITAGE AVE	OKEMOS	MI	48864	50				\$434.44
36	33-02-02-33-203-005	67	2167 HERITAGE	RYPKEMA, JAMES W & KATHLEEN J	2167 HERITAGE AVE	OKEMOS	MI	48864	25				\$217.22

2021 ORDER TO MAINTAIN SIDEWALK
SPECIAL ASSESSMENT DISTRICT NO. 19 - RESOLUTION 1 and 2

Repair Address				Mailing Address				Repair Quantity			Property Owner Cost			
Parcel #	Subdivision	Lot No.	Repair Address	Primary Name	Street Address	City	ST	Zip	Frontlot	Sidelot	6"	4"	6"	Property Owner Cost
37	33-02-02-33-203-004	66	2177 HERITAGE	KARAGIULIS, LYNN & MICHAEL I REVOCA	2177 HERITAGE AVE	OKEMOS	MI	48864	20					\$173.78
38	33-02-02-33-203-003	65	2187 HERITAGE	SOURI FAMILY TRUST	2187 HERITAGE AVE	OKEMOS	MI	48864	25					\$217.22
39	33-02-02-33-203-002	64	2195 HERITAGE	MONROE, JANET L	2195 HERITAGE AVE	OKEMOS	MI	48864	25					\$217.22
40	33-02-02-33-201-010	83	2198 HERITAGE	GOODMAN, TYLER B & GOODMAN, JENNIFER	2198 HERITAGE AVE	OKEMOS	MI	48864	50					\$434.44
41	33-02-02-33-201-009	5+	2208 HERITAGE	FAMILY HOME ONE LLC	P O BOX 408	GLEN ARBOR	MI	49636	20					\$173.78
42	33-02-02-33-201-007	2- & 3-	2230 HERITAGE	SKOUTELAS, ATHANASIOS LAMBROS	2230 HERITAGE AVE	OKEMOS	MI	48864	25					\$217.22
43	33-02-02-33-201-006	1 & 2-	2236 HERITAGE	ROSS, PHILIP A & PAULETTE F	2236 HERITAGE AVE	OKEMOS	MI	48864	50					\$434.44
44	33-02-02-08-100-003	49	5874 HIGHGATE	BOETTCHER, WILLIAM A & JULIE A	5874 HIGHGATE AVE	EAST LANSING	MI	48823	25	25				\$448.82
47	33-02-02-08-127-012	210	5940 HIGHGATE	LIGMANN-ZIELINSKA, ARIKA A & ZIELINSKI, KRZYSZTOF P	5940 HIGHGATE AVE	EAST LANSING	MI	48823	70					\$608.22
48	33-02-02-08-104-007	208	5947 HIGHGATE	MCDONNELL, STACY C & ROBERT F	5947 HIGHGATE AVE	EAST LANSING	MI	48823	25					\$217.22
49	33-02-02-08-104-005	206	5963 HIGHGATE	GREENBERG, STEVEN & WEINMAN LENA GREENBERG, LENA E WEINMAN	5963 HIGHGATE AVE	EAST LANSING	MI	48823	25	25				\$130.33
50	33-02-02-08-104-004	205	5975 HIGHGATE	MURRAY, CRAIG M & HEATHER J	5975 HIGHGATE AVE	EAST LANSING	MI	48823	25	42.5	25			\$741.27
51	33-02-02-33-401-003	46	2718 LOON	KHEIRIAIE, ALI ZOCCMAIE & GHAMAMI, MEHRNAZ	2718 LOON LN	OKEMOS	MI	48864	27.5					\$238.94
52	33-02-02-33-251-032	36	3781 NEW SALEM	EVANGELODIMOS, KALITHEA & ATHAN	3781 NEW SALEM AVE	OKEMOS	MI	48864	25					\$217.22
53	33-02-02-33-253-003	26	3782 NEW SALEM	JUN, JUNG HA	3782 NEW SALEM AVE	OKEMOS	MI	48864	50					\$434.44
54	33-02-02-33-251-024	40	3823 NEW SALEM	KELLEY, CHERYL A	3823 NEW SALEM AVE	OKEMOS	MI	48864	50					\$434.44
55	33-02-02-33-251-023	41	3833 NEW SALEM	STEED, LAWRENCE & MICHELE	3833 NEW SALEM AVE	OKEMOS	MI	48864	25					\$217.22
56	33-02-02-33-252-010	21	3836 NEW SALEM	WEBB REVOCABLE TRUST	3836 NEW SALEM AVE	OKEMOS	MI	48864	25					\$217.22
57	33-02-02-33-251-019	45	3861 NEW SALEM	KARL, LOIS JEAN	3861 NEW SALEM AVE	OKEMOS	MI	48864	25					\$217.22
58	33-02-02-33-252-005	16	3866 NEW SALEM	PARTICKA, MICHAEL G & CHRISLYN A	3866 NEW SALEM AVE	OKEMOS	MI	48864	100					\$868.89
59	33-02-02-33-251-018	46 & 47-	3867 NEW SALEM	BOCTOR, KAMIL & NABLA	3867 NEW SALEM AVE	OKEMOS	MI	48864	25					\$217.22
60	33-02-02-33-251-015	41	3891 NEW SALEM	ZAHAMI, SOGHRA	3891 NEW SALEM AVE	OKEMOS	MI	48864	25					\$217.22
61	33-02-02-08-130-013	171	5890 PATRIOTS	BROWN, EUGENE W & JEAN P	5890 PATRIOTS WAY	EAST LANSING	MI	48823		25				\$130.33
62	33-02-02-08-129-016	228	5915 PATRIOTS	GAIER, SHARON	5915 PATRIOTS WAY	EAST LANSING	MI	48823	25					\$217.22
63	33-02-02-08-130-008	176	5930 PATRIOTS	SPRINGER, STEVEN M & PATRICIA R	5930 PATRIOTS WAY	EAST LANSING	MI	48823	10					\$86.89
64	33-02-02-08-130-007	177	5944 PATRIOTS	LEWIS, CHESTER W & FRANCES M TRUST	5944 PATRIOTS WAY	EAST LANSING	MI	48823	25					\$217.22
65	33-02-02-33-252-014	115	3855 RALEIGH	WHEELER, ABRAHAM & MINKIN, RACHEL TRUSTEES	3855 RALEIGH DR	OKEMOS	MI	48864	25					\$217.22
66	33-02-02-33-252-013	116	3865 RALEIGH	PICKENS, ALEX III & NAUDIA N	3865 RALEIGH DR	OKEMOS	MI	48864	25					\$217.22
67	33-02-02-33-204-003	99	3926 RALEIGH	HUDDLESTON, JOHN R	3926 RALEIGH DR	OKEMOS	MI	48864	25					\$217.22
68	33-02-02-33-204-002	98	3936 RALEIGH	JANSSENS, JOHN & MARGARET TRUSTEES	3936 RALEIGH DR	OKEMOS	MI	48864	25					\$217.22
69	33-02-02-33-276-026	243	3845 ROXBURY	WEBSTER, BENJAMIN & CAROL TRUSTEES	3845 ROXBURY AVE	OKEMOS	MI	48864	25					\$217.22
70	33-02-02-33-276-012	257	3884 ROXBURY	AHMED, JALAL U & FERDOUS	3884 ROXBURY AVE	OKEMOS	MI	48864		25				\$130.33
71	33-02-02-33-276-021	248	3887 ROXBURY	BASTANFAR, ROBERT B & BASTANFAR, MOSTAFA & AZAR SARA	3887 ROXBURY AVE	OKEMOS	MI	48864	25					\$217.22
72	33-02-02-33-204-023	133	3851 SANDLEWOOD	BARTOW, JON L & CAROL	4423 CALGARY BLVD	OKEMOS	MI	48864	25	25				\$347.56
73	33-02-02-33-204-022	134	3855 SANDLEWOOD	CHOU, ANN HUIJAN & CHUNG-PO	3855 SANDLEWOOD DR	OKEMOS	MI	48864	50					\$434.44
74	33-02-02-33-276-009	167	3864 SANDLEWOOD	HEPP, RALPH E & PATRICIA	3864 SANDLEWOOD DR	OKEMOS	MI	48864	35					\$304.11
75	33-02-02-33-204-018	138	3885 SANDLEWOOD	DAUKA, MICHAEL & CHRISTINA	3885 SANDLEWOOD DR	OKEMOS	MI	48864	25					\$217.22

2021 ORDER TO MAINTAIN SIDEWALK
SPECIAL ASSESSMENT DISTRICT NO. 19 - RESOLUTION 1 and 2

Repair Address				Mailing Address							Repair			Quantity		Property Owner	
Parcel #	Subdivision	Lot No.	Repair Address	Primary Name	Street Address	City	ST	Zip	4"	6"	4"	6"	Frontlot	Sidewalk	Cost	Owner	
76	33-02-02-08-181-002	924	5856 SHADOW LAWN	GORDON, HOWARD F & BRENDA B	5856 SHADOW LAWN DR	EAST LANSING	MI	48823	52.5						\$456.17		
77	33-02-02-08-128-010	114	5917 SHADOW LAWN	SYKES, JENNIFER E & SVIKES-MC LAUGHLIN, GAVIN M	5917 SHADOW LAWN DR	EAST LANSING	MI	48823	25						\$217.22		
78	33-02-02-08-129-001	125	5934 SHADOW LAWN	BOETTCHER FAMILY TRUST	5934 SHADOW LAWN DR	EAST LANSING	MI	48823	25						\$217.22		
79	33-02-02-08-129-010	220	5944 SHADOW LAWN	SEGERLIND, T JOHNSON & SARAH J	5944 SHADOW LAWN DR	EAST LANSING	MI	48823	30						\$260.67		
80	33-02-02-33-229-028	282	2050 SHAGBARK	NNAMA, SAMUEL X & IHUOMA	2050 SHAGBARK LN	OKEMOS	MI	48864	25						\$217.22		
81	33-02-02-33-229-027	281	2060 SHAGBARK	RUDOLPH, TIMOTHY J	2060 SHAGBARK LN	OKEMOS	MI	48864	50						\$434.44		
82	33-02-02-33-276-032	237	2065 SHAGBARK	BUFFINGTON, ROB	2065 SHAGBARK LN	OKEMOS	MI	48864	25						\$217.22		
83	33-02-02-33-229-026	280	2070 SHAGBARK	BACKUS, EMILY & JONATHAN	2070 SHAGBARK LN	OKEMOS	MI	48864	25						\$651.67		
84	33-02-02-33-276-031	238	2075 SHAGBARK	BURBA, SEMMA	2075 SHAGBARK LN	OKEMOS	MI	48864	75						\$434.44		
85	33-02-02-33-229-025	279	2080 SHAGBARK	CONRAD, CRAIG J & CAROL A	2080 SHAGBARK LN	OKEMOS	MI	48864	50						\$217.22		
86	33-02-02-33-229-012	275	2075 SHELDRAKE	ANDROS, GEORGE J & JANE	2075 SHELDRAKE AVE	OKEMOS	MI	48864	25						\$217.22		
87	33-02-02-33-228-010	261	3891 SHELDRAKE	WILLIAMS, ELAINE C TRUSTEE	3891 SHELDRAKE AVE	OKEMOS	MI	48864	25						\$217.22		
88	33-02-02-08-153-014	29	5847 SMITHFIELD	KEEFE, DENNIS R & CAROLE W	5847 SMITHFIELD AVE	EAST LANSING	MI	48823	25						\$217.22		
89	33-02-02-08-253-002	140	2739 SOUTHWOOD	CHENOWETH, WILLIAM A TRUST & OLIVIERI, LINDA M TRUST	2739 SOUTHWOOD DR	EAST LANSING	MI	48823	25						\$217.22		
90	33-02-02-08-203-012	142	2742 SOUTHWOOD	MCGILLICUDDY, KYLER E & MEGAN	2742 SOUTHWOOD DR	EAST LANSING	MI	48823	25						\$217.22		
91	33-02-02-08-253-006	136	2747 SOUTHWOOD	WARDELL, JOHN T & SONYA	2747 SOUTHWOOD DR	EAST LANSING	MI	48823	90		20				\$886.27		
92	33-02-02-08-203-009	145	2760 SOUTHWOOD	HILL, MICHAELS	2760 SOUTHWOOD DR	EAST LANSING	MI	48823	67.5						\$586.50		
93	33-02-02-08-203-008	146	2764 SOUTHWOOD	CHASE, RAY H & JO ANN	2764 SOUTHWOOD DR	EAST LANSING	MI	48823	60		5				\$567.65		
94	33-02-02-08-182-018	128	2781 SOUTHWOOD	HARDIN II, DAVID J	2781 SOUTHWOOD DR	EAST LANSING	MI	48823	45						\$391.00		
95	33-02-02-08-181-008	150	2782 SOUTHWOOD	JAKOVAC, SCOTT & SHANNON	2782 SOUTHWOOD DR	EAST LANSING	MI	48823	30						\$260.67		
96	33-02-02-08-182-017	127	2785 SOUTHWOOD	BERTSCH, ANN T	2785 SOUTHWOOD DR	EAST LANSING	MI	48823	25						\$217.22		
97	33-02-02-08-182-014	104	2791 SOUTHWOOD	COSCARRELLI TRST, ROBERTO FRANCESCO & COSCARRELLI TRST, MOLLY LIZABETH	2791 SOUTHWOOD DR	EAST LANSING	MI	48823	25						\$217.22		
98	33-02-02-08-182-009	99	2827 SOUTHWOOD	GALLEGOS JR, GILBERT	2827 SOUTHWOOD DR	EAST LANSING	MI	48823	75						\$651.67		
99	33-02-02-08-182-008	98	2835 SOUTHWOOD	SUDDO, ERIC J & SALAS, ANGELIA D	2835 SOUTHWOOD DR	EAST LANSING	MI	48823	25						\$217.22		
100	33-02-02-08-253-001	141	2737 STILL VALLEY DR	KOIVISTO, ADAM D & BETH A	2737 STILL VALLEY DR	EAST LANSING	MI	48823	25						\$217.22		
101	33-02-02-08-202-003	168	2766 STILL VALLEY CT	WILLIAMS, DAVID PAUL & ALLISON MARIE	2766 STILL VALLEY CT	EAST LANSING	MI	48823	25						\$217.22		
102	33-02-02-08-203-002	157	2771 STILL VALLEY DR	WILLIAMS, MARK & CORINA	2771 STILL VALLEY DR	EAST LANSING	MI	48823	25						\$217.22		
103	33-02-02-08-203-001	156	2775 STILL VALLEY DR	WATSON, ROBERT F	2775 STILL VALLEY DR	EAST LANSING	MI	48823	25						\$217.22		
104	33-02-02-08-202-001	170	2776 STILL VALLEY CT	PASSANANTE, NANCY S TRUSTEE	2776 STILL VALLEY CT	EAST LANSING	MI	48823	25						\$217.22		
105	33-02-02-08-180-012	88	2823 STILL VALLEY DR	JAHSHAN, MARY & JAHSHAN, SUSAN R	2823 STILL VALLEY DR	EAST LANSING	MI	48823	25						\$130.33		
106	33-02-02-08-180-011	87	2831 STILL VALLEY DR	CHAMBERS, BRIAN & VIRGINIA	2831 STILL VALLEY DR	EAST LANSING	MI	48823	25						\$217.22		
107	33-02-02-32-228-014	70	3925 SUNWIND	AUDAS, PAULA M	3925 SUNWIND DR EAST	OKEMOS	MI	48864	25						\$217.22		
108	33-02-02-33-279-001	179	2099 TAMARACK	GRIES FAMILY JOINT REV TRUST	2099 TAMARACK DR	OKEMOS	MI	48864	50						\$434.44		
109	33-02-02-33-254-017	180	2107 TAMARACK	SEMERLY, CHARLES G & LISA M	2107 TAMARACK DR	OKEMOS	MI	48864	25			125			\$868.09		
110	33-02-02-33-253-014	123	2156 TAMARACK	DAVIDEK, THOMAS & EVA	2156 TAMARACK DR	OKEMOS	MI	48864	25						\$217.22		
111	33-02-02-33-254-011	186	2167 TAMARACK	AREND, JASON D & KATHERINE	2167 TAMARACK DR	OKEMOS	MI	48864	50						\$434.44		
112	33-02-02-33-253-011	120	2166 TAMARACK	WALTON, ROBERT & JULIA TRUSTEES	2166 TAMARACK DR	OKEMOS	MI	48864	25						\$217.22		
113	33-02-02-35-301-008	16	1433 WANDERING	PATEL, SHARADHREY & SHRADHDHA	1433 WANDERING WAY	OKEMOS	MI	48864	17.5						\$152.06		
															\$25,850.12		



To: Township Board
From: Frank L. Walsh, Township Manager
Date: September 17, 2021
Re: 2022 Recommended Township Budget

I went back over my notes and revisited the Board's comments on the 2022 Recommended Budget.

Let me first say, I appreciate the input we received at the September 7th Board meeting. It is a \$57,000,000 spending plan and we should approach the document with a questionable eye. After listening to 13 Directors and the Township Board, I've asked Director Mattison to include the following supplemental appropriations to the 2022 Budget:

- a 34th firefighter/paramedic position \$90,000
- a solar array \$100,000
- a commitment to the Environmental Commission for Green Tree project \$10,000
- a commitment to expand our wetland promotion and public outreach \$5,000

The total of the additional expenses is \$205,000. If approved, we expect our 12-31-2022 general fund balance to be \$8,500,000.

The additional \$205,000 in expenses will be listed as a supplemental appropriation in the budget. This makes it much easier for the finance office to not have to change a lot of pages in the budget.

I look forward to our continued dialogue on September 21.

A motion is prepared for Board consideration:

MOVE THAT THE TOWNSHIP BOARD APPROVE THE 2022 RECOMMENDED BUDGET RESOLUTION.

Attachment:

1. 2022 Township Budget Resolution

2022 Budget Resolution

At a meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at 5151 Marsh Road, Okemos, Michigan 48864-1198, on the 21st day of September 2021, at 6:00 pm local time.

PRESENT: _____

ABSENT: _____

The following budget resolution was offered by _____ and supported by _____.

WHEREAS, the Township Clerk and Board received the proposed 2022 Township Budgets on August 27, 2021, submitted in conformance with 1947 PA 359 Sections 42.24 and 42.25; and

WHEREAS, the Township Board conducted a public hearing and deliberated over the 2022 Township Budgets on September 7, 2021; and

WHEREAS, this resolution serves as the general appropriations act for the Township;

WHEREAS, this resolution authorizes the Summary of Fees for 2022 as presented in the budget document for all Township Department and Funds, including utility comm

NOW THEREFORE, BE IT RESOLVED THAT THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN, INGHAM COUNTY, MICHIGAN hereby adopts the 2022 Budget shown below and on the attached Summaries of Special Revenue Funds, Debt Service Funds, Capital Projects Funds, Public Works Funds, Internal Service Fund and DDA. These budgets are supported by the budget document, and subject to all Township policies regarding the expenditure of funds and technical or typographical corrections to the narrative.

2022 REVENUE SUMMARY

	GENERAL FUND	SPECIAL REVENUE FUNDS*	DEBT SERVICE FUNDS*	CAPITAL PROJECTS FUNDS*	PUBLIC WORKS FUNDS	INTERNAL SERVICE FUND	DDA
REVENUES							
Taxes	\$14,425,000	\$2,609,350	\$4,081,600	\$0	\$0	\$0	\$6,500
Licenses & Permits	856,450	0	0	0	0	0	0
Intergovernmental	4,345,500	3,516,500	0	0	0	0	0
Charges For Services	4,210,000	107,500	0	0	13,781,850	1,151,320	0
Interest	100,000	276,270	3,500	40,000	10,000	5,000	0
Special Assessments	0	0	0	210,000	0	0	0
Other	314,660	39,900	0	0	37,300	5,000	0
SUBTOTAL	24,251,610	6,549,520	4,085,100	250,000	13,829,150	1,161,320	6,500
OTHER FINANCING SOURCES							
Operating Transfers In	0	280,000	0	0	0	250,000	0
TOTAL REVENUES	\$24,251,610	\$6,829,520	\$4,085,100	\$250,000	\$13,829,150	\$1,411,320	\$6,500

2022 EXPENDITURE SUMMARY

	GENERAL FUND	SPECIAL REVENUE FUNDS*	DEBT SERVICE FUNDS*	CAPITAL PROJECTS FUNDS*	PUBLIC WORKS FUNDS	INTERNAL SERVICE FUND	DDA
EXPENDITURES							
Legislative	\$92,210	\$0	\$0	\$0		\$0	\$0
General Government	7,150,570	0	0	0		0	3,000
Public Safety	14,727,085	12,000	0	0		714,065	0
Public Works	0	701,250	0	0	11,094,455	0	0
Health & Welfare	66,385	160,900	0	0		0	0
Community Economic & Development	2,000,000	0	0	0	0	0	0
Recreation & Culture	1,246,919	1,489,519	0	0		0	0
Capital Outlay	1,132,800	8,091,000	0	100,000	1,025,000	1,719,000	0
Debt Service	0	0	3,879,365	0	1,250,000	0	0
SUBTOTAL	26,415,969	10,454,669	3,879,365	100,000	13,369,455	2,433,065	3,000
OTHER FINANCING USES							
Operating Transfers Out	530,000	0	0	0	0	0	0
TOTAL EXPENDITURES	\$26,945,969	\$10,454,669	\$3,879,365	\$100,000	\$13,369,455	\$2,433,065	\$3,000

* See attached Summary of Special Revenue Funds, Debt Service Funds, and Capital Projects Funds

BE IT FURTHER RESOLVED that the following millage is ordered to be levied on December 1, 2021, for the purpose of funding the 2022 Township budget with the monies raised to be paid into the appropriate funds:

<u>PURPOSE</u>	<u>2022</u>
CHARTER OPERATING	4.1578
VOTED OPERATING	
CATA Redi-Ride Service (2019)	0.1978
Community Services (2012)	0.1483
Fire (2020)	0.6339
Land Preservation (2020)	0.1000
Parks & Recreation (2014)	0.6597
Pedestrian/Bicycle Pathways (2004)	0.3308
Police (2020)	0.6016
Police & Fire Protection (2017)	<u>1.4771</u>
TOTAL VOTED OPERATING	<u>4.1492</u>
SUB-TOTAL ALL OPERATING	<u>8.3070</u>
VOTED DEBT SERVICE	
Fire Station Building Debt (2012)	0.2000
Local Roads (2019)	1.9429
TOTAL ALL MILLAGES	<u><u>10.4499</u></u>

ADOPTED: YEAS: _____
 NAYS: _____

STATE OF MICHIGAN)
) ss
 COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Clerk for the Charter Township of Meridian, Ingham County, Michigan, do hereby certify that the foregoing is a true and complete copy of a resolution adopted at the Township Board meeting held on the 21st day of September, 2021.

 Deborah Guthrie
 Township Clerk



12 B

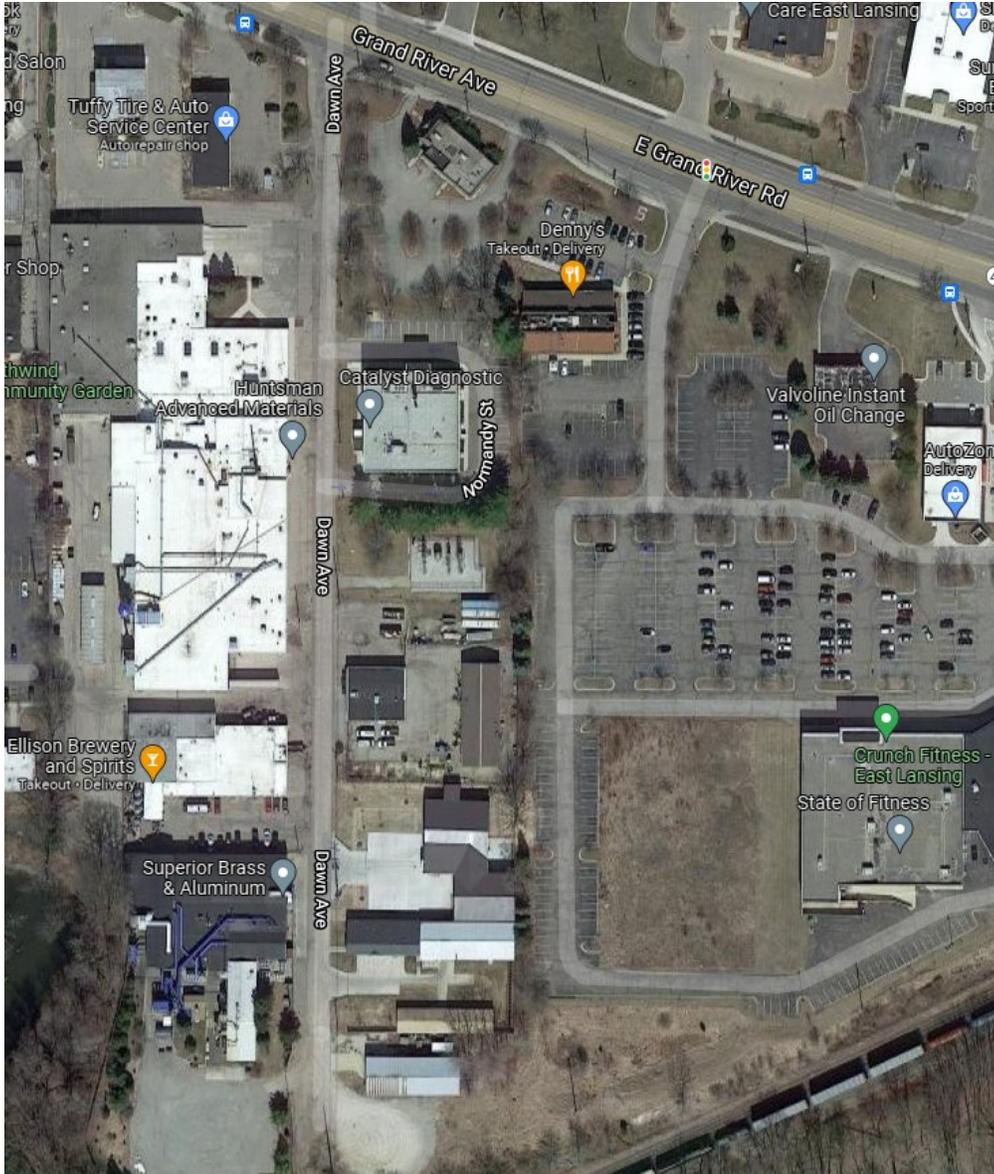
To: Board Members
From: Amber Clark, Neighborhoods & Economic Development
Director
Date:
September 21, 2021
Re:
SmartZone Local Development Finance Authority

The request before the Township board this evening is to move to action through adoption of a resolution of intent with regard to the *Lansing Regional SmartZone* a Local Development Finance Authority (LDFA). This action to move to adopt the resolution of intent to set up a public hearing to discuss the including the proposed Meridian Township parcels within this Tax Authority for the next five years. In order to meet approval deadlines, the board could request staff to indicate the intent to include the proposed parcels with communication to the LDFA body. This would allow for the LDFA board to move forward with the creation of TIF plan and Interlocal agreements. At the September 21st Township Board meeting, the board could authorize the Resolution of Intent which documents the intent of Meridian Township to set a date for public hearing on the adoption of a proposed resolution to join the LDFA.

Attachments:
Resolution of Intent
Proposed Area
LDFA Adoption Schedule

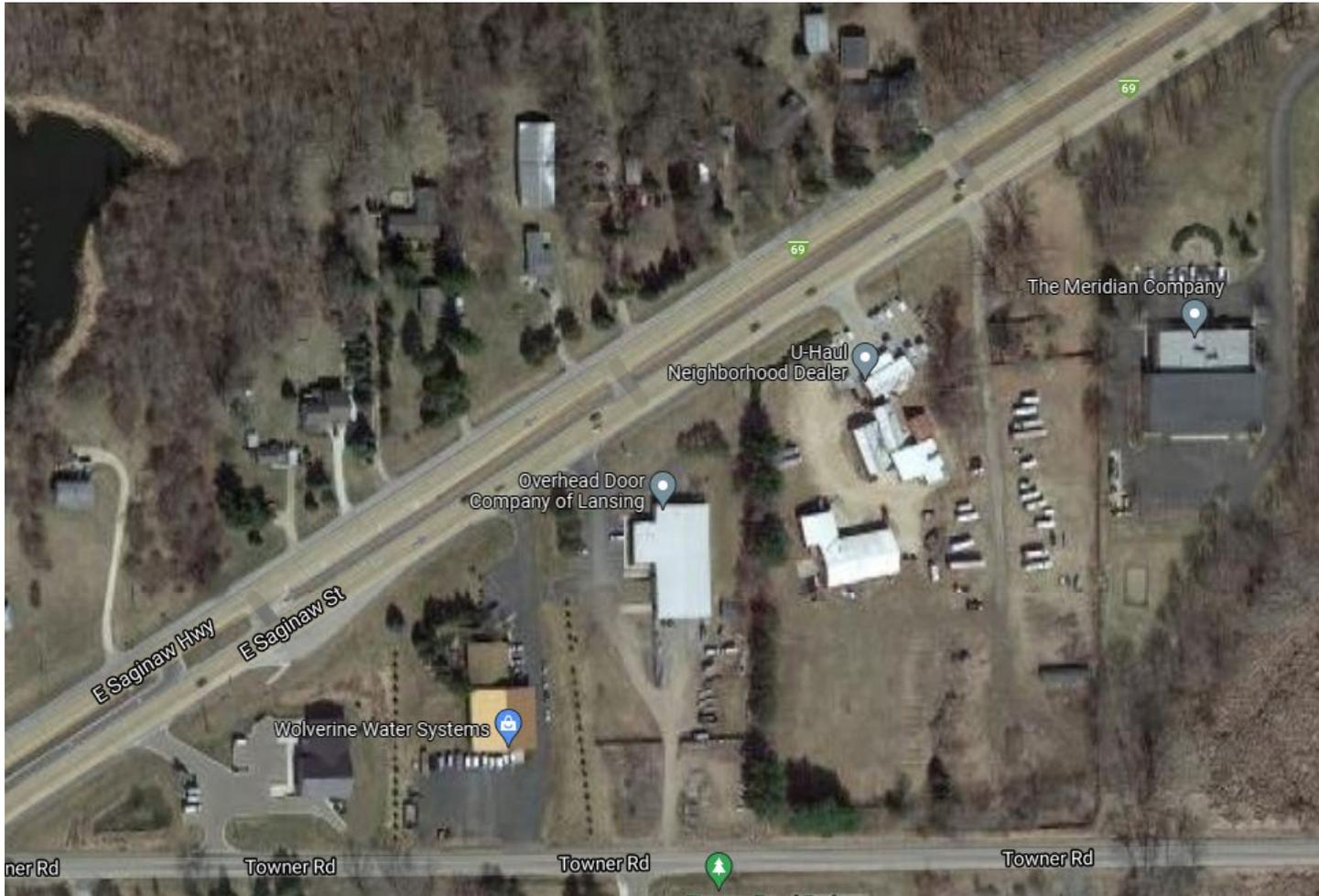
Proposed Area

- Dawn Ave- Grand River Ave
Currently the largest operators on Dawn Ave are Ellison Brewery, Consumers Energy, Superior Brass & Aluminum, Huntsman Advanced Materials and MSU Van Camp Incubator. Van Camp has seen tremendous success in the past few years with wet lab occupancy at 100%. Current office space in Van Camp is 50% a higher occupancy rate for office space during COVID. The decision to include the 10 parcels on Dawn Ave relate to the industrial zoned parcels, the typical business make up in the area and potential for development. Investments to these properties have started to see a small uptick in value, with one building making vast improvements to increase the taxable value to over six figures.



- Towner Ave- Saginaw Street 1-69

The local businesses that are established in this portion of our community are mostly contractor based businesses like Meridian Company. When speaking with developers and property owners on Towner Road, there is a desire to make improvements that allow for more innovation at their business. Knowing of the potential in redevelopment, we propose adding the parcels on Towner road, zoned industrial to the SmartZone.



RESOLUTION OF INTENT

Lansing Regional SmartZone Local
Development Finance Authority

RESOLUTION

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 21st day of September 2021, at 6:00 p.m., Local Time.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, the Meridian Township Board of Trustees at their September 21st, 2021 meeting approved a motion to adopt a resolution of intent to create and establish the Lansing Regional SmartZone Local Development Finance Authority in Meridian Township and begin the public notice process; and

WHEREAS, the Tax Increment Financing Act 57 (Public Act 57 of 2018) requires the governing body, by resolution, to set a date for a public hearing, and designate the boundary of the proposed "SmartZone" development area; and

WHEREAS, the Township Board has determined the proposed development area as depicted on the attached maps (Exhibit A) and associated legal description (Exhibit B) meets the criteria set forth by MCL 57 of 2018 ; and

WHEREAS, for the purposes of complying with State Act 57 of 2018 the Township Board designates as the proposed development area the real property as depicted on the attached map (Exhibit A) and associated legal descriptions (Exhibit B) as the Local Development Finance Authority "SmartZone" in Meridian Township.

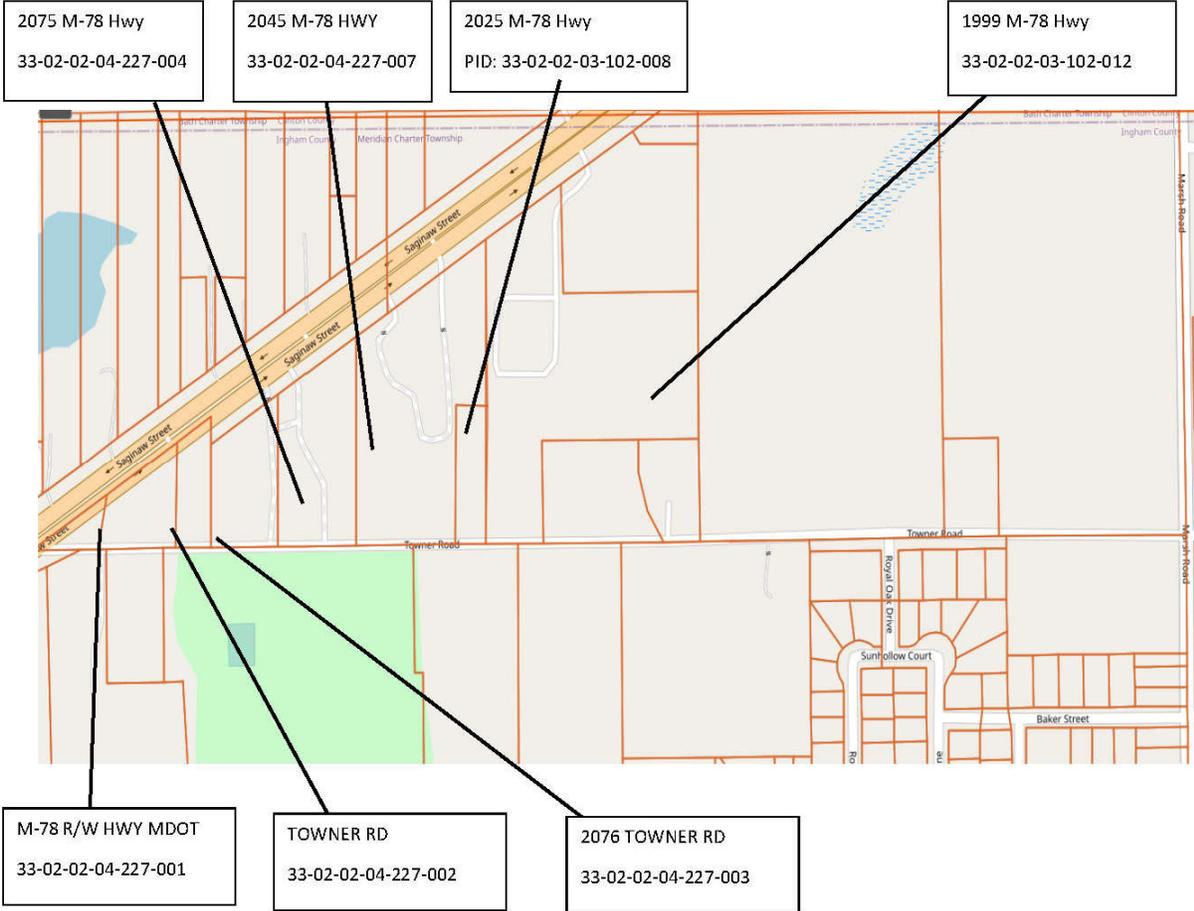
WHEREAS, a public hearing to discuss establishing a Local Development Finance Authority in Meridian Township and the associated parcels, must be held to meet the required noticing provisions/of State Act 57 of 2018; and

Meridian Township SmartZone Development Areas

Dawn Avenue Area



East Saginaw Highway (M-78) Area



Tax ID Number	Legal Description
33-20-02-18-426-008	E 1/2 OF FOLLOWING DESC PART OF LOTS 80 81 & 82 COM IN S'LY LN OF GRAND RIVER AVE AT PT N 69 ^ 28' W 1003.2 FT FROM ITS INTERSECTION WITH E LN OF SEC 18 N 69 ^ 28' W 144.8 FT S 13 ^ 42' W 231 FT TO N BANK OF RED CEDAR RIVER E'LY ALONG N BANK 126 FT M/L N 19 ^ 16' E 221.7 FT TO BEG SUPERVISOR'S PLAT NO 2 OF MERIDIAN TOWNSHIP
33-20-02-18-426-009	LOT 83 ENTIRE & PARTS OF LOTS 81 82 & 84 COM ON S LN OF GRAND RIVER AVE AT PT N 69 ^ 28' W 852.6 FT FROM ITS INT WITH E LN OF SEC 18 N 69 ^ 28' W 150.6 FT S 19 ^ 16' W 221.7 FT TO N BANK OF RED CEDAR RIVER E'LY ALONG N BANK 162 FT M/L N 16 ^ 19' E 222.3 FT TO BEG SUPERVISOR'S PLAT NO 2 OF MERIDIAN TOWNSHIP
33-20-02-18-426-010	COM AT INT OF C/L OF M 43 & E LN OF SEC 18 N 69 ^ 28' W ON CENTER OF HWY 705.6 FT TO POB S 16 ^ 19' W 279.8 FT TO RED CEDAR RIVER NW'LY ON RIVER 138.8 FT N 16 ^ 19' E 255.8 FT TO C/L OF HWY S 69 ^ 28' E 135 FT TO POB SEC 18 T4NR1W PART OF SUPERVISOR'S PLAT NO 2 OF MERIDIAN TOWNSHIP
33-20-02-18-426-012	COM IN THE CENTER OF GRAND RIVER AVE AT PT 428.9 FT NW'LY FROM ITS INTERSECTION WITH E LN OF SEC 18 T4NR1W S 6 ^ 45' W 289.0 FT TO N BANK OF RED CEDAR RIVER W ON N BANK OF RIVER 86.3 FT N 15 ^ 15' E 116.5 FT N 6 ^ 07' E 170 FT TO CENTER OF GRAND RIVER AVE SE'LY 70 FT TO BEG BEING PART OF LOTS 89, 90 & 91 SUPERVISOR'S PLAT NO 2 OF MERIDIAN TOWNSHIP EXC LAND TAKEN FOR US16 HWY
33-20-02-18-426-013	COM AT PT IN CENTER OF GRAND RIVER AVE 247.5 FT NW'LY FROM ITS INTERSECTION WITH E LN OF SEC 18 T4NR1W S PLL WITH E SEC LN 290.3 FT TO N BANK OF RED CEDAR RIVER W'LY ALONG N BANK OF RIVER 213.7 FT N 6 ^ 45' E 289 FT TO CENTER OF GRAND RIVER AVE SE'LY 181.4 FT TO BEG EXC HY RIGHTS BEING PARTS OF LOTS 90 & 91 & ALL OF LOTS 92 & 93 SUPERVISOR'S PLAT NO 2 OF MERIDIAN TOWNSHIP
33-20-02-18-426-014	LOTS 94 & 95 EXC E 53.5 FT OF LOT 95 SUPERVISOR'S PLAT NO 2 OF MERIDIAN TOWNSHIP

Note: These parcels reflect the original parcels at the time of adoption of the original LRSZ Tax Increment Financing and Development Plan. Any subsequent combinations or splits reflected in the addition of new parcels are not included herein but should be incorporated into calculations of taxable values, as necessary.

Meridian Township

Tax ID Number	Legal Description
33-02-02-03-102-008	M3-6-2 & M3-6-3 M4-19-3 M4-19-5-1 BEG @ A PT ON W LN SEC 3 @ A PT S 01 DEG 06'27"W 518.47 FT FROM NW COR SEC 3 -S 59 DEG 40'W ALG S'LY R/W LN M-78 281.3 FT -S 01 DEG 06'27"W 626.42 FT TO C/L TOWNER RD -S 88 DEG 37'E ON C/L 240 FT TO THE W LN OF SEC 3 -CON'T ALG C/L S 88 DEG 29'54"E 106.66 FT -N 01 DEG 06' 27"E 408.40 FT -S 88 DEG 29'54"E 106.66 FT -N 01 DEG 06'27"E 497.77 FT TO SL'Y R/W LN M-78 -S 59 DEG 40'W ALG R/W 250 FT TO POB SEC 3 & 4 T4NR1W 6.96 AC M/L

Tax ID Number	Legal Description
33-02-02-03-102-012	(M 3-6) PART OF NW 1/4 OF SEC 3 T4N R1W DESC AS: COM AT W 1/4 COR OF SEC 3 - N01D03'17"W ALNG W SEC LN 1297.86 FT TO S LN OF N 1/2 OF NW 1/4 & C/L OF TOWNER RD - N89D25'21"E ALNG SD S LN 213.32 FT TO POB - N01D03'17"W 986.13 FT TO EASTBOUND C/L OF HWY M-78 - N57D29'13"E ALNG SD C/L 306.26 FT - S01D03'17"E 403.28 FT - N89D25'21"E 472.12 FT TO W LN OF E 50 A OF N 1/2 OF NW 1/4 - S00D48'16"E ALNG SD W LN 444.83 FT - S89D25'21"W 550 FT - S00D48'16"E 300 FT TO S LN OF N 1/2 OF NW 1/4 - S89D25'14"W ALNG SD S LN 180.12 FT TO POB (10.66 A) (SPLIT/COMBINED ON 01/18/2019 FROM 33-02-02-03-102-006)
33-02-02-04-227-001	M 4-19-2 BEG AT INTER OF CEN LINE OF TOWNER RD & CEN LINE OF E BOUND RDWY OF M-78 STATE HWY N 59 DEG 40' E ALONG SAID E BOUND RDWY CEN LINE 300 FT S 20 DEG 49' 40" W 165.83 FT TO CEN LINE OF TOWNER RD -W ALONG SAID CEN LINE TO BEG., ON NE FRL 1/4 OF FRL SEC 4, T4N R1W.
33-02-02-04-227-002	M4-19-6 COM. IN CEN. OF TOWNER RD. 180 FT E OF E 1/8 LINE OF SEC. 4 FOR A PT. OF BEG, TH. N 20 DEG 49'40"E 165.83 FT TO THE S'LY R/W LN OF M-78 HWY -N 59 DEG 40'E 291.29 FT ALNG SD R/W LINE OF M-78 HWY -S 1 DEG 23'W 310.80 FT TO CEN LINE OF TOWNER RD -W'LY ALNG CEN LN OF SD ROAD 270 FT M/L TO PT OB BEG SEC 4 T4NR1W 1.38 AC M/L
33-02-02-04-227-003	M 4-19-1 COM IN CENTER OF TOWNER ROAD AT PT 503 FT E OF ITS INT WITH E'LY LINE OF M-78 HY-E 126 FT-N 388.67 FT TO S'LY LINE OF M-78 HY SW'LY ALONG HY 148.12 FT- S 310.8 FT TO BEG ON NE FRL 1/4 OF SEC 4, T4N R1W.
33-02-02-04-227-004	M4-19-4 PT OF E 1/2 OF NE 1/4 LYING S OF M-78 HWY BEG AT PT LYING 524.6 FT W OF INT OF CEN LI OF TOWNER RD & E SEC LI OF SEC 4 W 233 FT N 1 DEG 23' E APPROX 300 FT TO S'LY LI OF M-78 HWY N 59 DEG 40' E ALG S'LY LI OF M-78 HWY APPROX 276.8 FT S TO PT OF BEG SEC 4 T4N R1W 2 A M/L.
33-02-02-04-227-007	M4-19-5 COM AT NE COR OF SEC. 4 - S 01 DEG 06' 27" W ALONG E LINE OF SEC. 4, 518.47 FT TO PT ON S'LY R/W LINE OF HWY M-78 - S 59 DEG 40' 00" W ALONG S'LY R/W OF HWY M-78, 281.30 FT TO PT. OF BEG - S 59 DEG 40' 00" W ALONG SAID R/W, 333.57 FT - S 01 DEG 06' 27" W 451.06 FT TO PT ON CEN LINE OF TOWNER RD - S 88 DEG 37' 00" E ALONG CEN LINE OF TOWNER RD 284.6 FT - N 01 DEG 06' 27" E PLL TO E LINE OF SEC 4, 626.42 FT TO PT OF BEG, SEC. 4, T4N R1W
33-02-02-20-202-004	MP 651-656 631-1 TO 633-1-1 LOTS 21-26 INCL. & ALSO COM. 30 FT. N OF NW COR. OF LOT 26, TH W 82.5 FT, TH. S 420 FT. TH. E 82.5 FT, TH. N TO BEG. & ALSO THE W 183.5 FT. OF NORMANDY ST. (NOW VACATED) & ALSO COM. 25 FT. N OF NW COR. OF LOT 21, W 82.5 FT. S TO RED CEDAR RIVER, SE'LY ALONG RIVER TO SW COR. OF LOT 18, N 364 FT. TO BEG. ALSO S 30 FT. OF LOTS 1, 2 & 3 CEDAR RIVER HOMES.
33-02-02-20-202-007	MP 648 LOT 18 & N 112 FT OF LOT 17 CEDAR RIVER HOMES.
33-02-02-20-202-008	MP 647 LOT 17 EXC N 112 FEET CEDAR RIVER HOMES.
33-02-02-20-202-009	MP 649 & 650 LOTS 19 & 20 CEDAR RIVER HOMES
33-02-02-20-203-010	LOT 7 EXC N 22 FT & LOTS 8 & 9 ENTIRE. CEDAR RIVER HOMES SEC 20 T4NR1W

Tax ID Number	Legal Description
33-02-02-20-203-011	LOT 10 CEDAR RIVER HOMES. ALSO THE N 25 OF THE E 183.5 FT OF VACATED NORMANDY ST. R.O.W. SEC 20 T4NR1W.
33-02-02-20-204-003	MP 643 MP 644 LOTS 13 & 14 CEDAR RIVER HOMES
33-02-02-20-204-004	MP 645 LOT 15 CEDAR RIVER HOMES.
33-02-02-20-204-006	MP 641 & 642 LOTS 11 AND 12 CEDAR RIVER HOMES. ALSO THE SOUTH 25' OF THE E 183.5 FT OF VACATED NORMANDY ST. R.O.W.
33-02-02-20-204-007	(MP 646) LOT 16 CEDAR RIVER HOMES EXC COM AT NW COR OF SD LOT 16 - S00D 22'13"W 84.82 FT ALNG W LOT LN & E LN OF DAWN AVE - S89D 37'47"E 78.61 FT TO POB - N00D 22'13"E 20 FT - S89D 37'47"E 50 FT - S00D 22'13"W 50 FT - N89D 37'47"W 50 FT - N00D 22'13"E 30 FT TO POB SUBJ TO 12 T WIDE ESMT FOR INGRESS & EGRESS 31678 SQ FT (SPLIT/COMBINED ON 01/17/2018 FROM 33-02-02-20-204-005) (SPLIT ON 11/02/2020 WITH 33-02-02-20-204-008 INTO 33-02-02-20-204-009)
33-02-02-20-204-008	(MP 646) PART OF LOT 16 CEDAR RIVER HOMES DESC AS COM AT NW COR OF SD LOT 16 - S00D 22'13"W 84.82 FT ALNG W LOT LN & E LN OF DAWN AVE - S89D 37'47"E 78.61 FT TO POB - N00D 22'13"E 20 FT - S89D 37'47"E 50 FT - S00D 22'13"W 50 FT - N89D 37'47"W 50 FT - N00D 22'13"E 30 FT TO POB TOGETHER WITH 12 FT WIDE ESMT FOR INGRESS & EGRESS 2478 SQ FT (SPLIT/COMBINED ON 01/17/2018 FROM 33-02-02-20-204-005) (SPLIT ON 11/02/2020 WITH 33-02-02-20-204-007 INTO 33-02-02-20-204-009)
33-02-02-20-204-009	LOT 16 CEDAR RIVER HOMES (SPLIT/COMBINED ON 11/02/2020 FROM 33-02-02-20-204-007, 33-02-02-20-204-008)



TO: Township Board Members

**FROM: Derek N. Perry, Deputy Township Manager
Director of Public Works & Engineering
Younes Ishraidi, Chief Engineer**

RE: Daniels Drain Public Drain Improvement SAD #21

The Daniels Drain is a Chapter 20 drain that is located on Grand River Avenue between Central Park Drive/Dobie Road and Cornell road. The storm water system, including the retention pond, primarily serves all or some of the following neighborhoods: Chief Okemos, Navajo Ridge, Forest Hills, East and West Ponds, Cornell Woods North, Whispering Oaks and Cornell Woods

In 2015, the Board of Directors of the Ponds Cooperative Homes, Inc. formally requested that Meridian Township submit a petition under Chapter 20 of the Michigan Drain Code of 1956 to make needed improvements to the drain and retention pond, improve overall water quality and repair/replace broken pipes and appurtenances in the system. A presentation by the Ingham County Drain Commission (ICDC) that provided additional supporting justification material was also held on March 2, 2016.. Following several meetings and associated public hearings, the petition was filed with the Ingham County Drain Commissioner in the Spring of 2016 to proceed with design and engineering.

The Ingham County Drain Commissioner developed the plans to implement the necessary improvement to the Daniels Drain and has started constructing the improvement. As a Chapter 20 Drain, it is maintained by the Ingham County Drain Commissioner, but is fully funded by direct assessments on three public entities including Meridian Township, the Ingham County Road Department (ICRD) and the Michigan Department of Transportation (MDOT).

Bids were opened and approved resulting in our share of the Daniels Drain improvement costs at \$5,536,644 (81.44%). The remaining costs of the \$6,695,183.84 project will be assessed to the ICRD and MDOT. The initial revenue for the project will be provided by a 20-year bond sold publically by the ICDC.

The Township Board has indicated they will fund 50% of the Township's share of the Daniels Drain improvement cost of \$5,536,644 from the Meridian Township General Fund, and the assessment of the remaining cost of (\$2,768,322) will be apportioned to the special assessment district using the principles of "benefits derived", which will involve many factors including size of the parcel, land use type, amount of runoff, unique property characteristics, etc.



12. C.

The Township Board held an information meeting on Thursday, August 26, 2021 at 6:00 pm at the Meridian Municipal Building to discuss the Daniels Drain project, with notices mailed to owners in the proposed assessment district.

Attached is Resolutions #1 which calls for approval by the Township Board to fund 50% of the Township's share of the Daniels Drain improvement cost from the Meridian Township general fund and orders the Department of Public Works to use the plans developed by the Ingham County Drain Commission and prepare a special assessment district for the remaining cost.

Proposed Motion:

"Move to approve Daniels Drain Public Drain Improvement Special Assessment District No. 21 Resolution No. 1; approves the Township Board funding 50% of the Township's share of the Daniels Drain improvement cost from the General Fund, and orders the Department of Public Works to use the plans developed by the Ingham County Drain Commission and prepare a special assessment district for the remaining cost.

Attachments

**DANIELS DRAIN PUBLIC DRAIN IMPROVEMENT
SPECIAL ASSESSMENT DISTRICT NO. 21**

RESOLUTION NO. 1

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, held at the Meridian Township Municipal Building, 5151 Marsh Road, Okemos, MI 48864-1198, (517) 853-4000, on Tuesday, September 21, 2021 at 6:00 p.m.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____
and supported by _____.

WHEREAS, the Daniels Drain is a Chapter 20 drain that is located on Grand River Avenue, between Central Park Drive/Dobie Road and Cornell Road. The storm water system, including the retention pond primarily serves all or some of the following neighborhoods: Chief Okemos, Navajo Ridge, Forest Hills, East and West Ponds, Cornell Woods North, Whispering Oaks and Cornell Woods.

WHEREAS, in 2015, the Board of Directors of the Ponds Cooperative Homes, Inc. (PCH or The Ponds) formally requested that Meridian Township submit a petition under Chapter 20 of the Michigan Drain Code of 1956 to make needed improvements to the Daniels Drain, and retention pond. The primary purpose of the request was to reduce the frequency of flooding, remove sediments from the pond, improve overall water quality and repair/replace broken pipes and appurtenances in the system.

WHEREAS, a presentation from Eng. Engineering and Surveying was presented in 2016 by the Ingham County Drain Commissioner (ICDC) that provided additional supporting justification material. Following several meetings and associated public hearings, the petition was filed with the Ingham County Drain Commissioner in the Spring of 2016 to proceed with design and engineering.

WHEREAS, since filing of the petition in 2016, the Drain Commissioner has been developing plans to implement the necessary improvements to the Daniels Drain. As a Chapter 20 Drain, it is maintained by the Ingham County Drain Commissioner, but is fully funded by direct assessments on three public entities including Meridian Township, the Ingham County Road Department (ICRD) and the Michigan Department of Transportation (MDOT).

WHEREAS, bids were opened and approved in July 2021 resulting in Meridian Township's share of the Daniels Drain improvement costs at \$5,536,644 (81.44%). The remaining costs of the \$6,796,838 project will be assessed to the ICRD and MDOT. The initial revenue for the project will be provided by a 20-year bond sold publically by the ICDC.

WHEREAS, The Township Board did reserve the right to pass along the assessment to the benefiting property owners when the petition was filed in 2016.

**DANIELS DRAIN PUBLIC DRAIN IMPROVEMENT
SPECIAL ASSESSMENT DISTRICT NO. 21
RESOLUTION #1
Page 2**

WHEREAS, the Township Board has indicated they will fund 50% of the Township's share of the Daniels Drain improvement cost of \$5,536,644 from the Meridian Township General Fund, and the assessment of the remaining cost (\$2,768,322) will be apportioned to the special assessment district using the principles of "benefits derived", which will involve many factors including size of the parcel, land use type, amount of runoff, unique property characteristics, etc.

WHEREAS, the Township Board held an information meeting on Thursday, August 26, 2021 at 6:00 pm at the Meridian Municipal Building to discuss the Daniels Drain project, with notices mailed to all owners in the proposed assessment district.

WHEREAS, the Township Board desires to proceed on said assessments.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN, INGHAM COUNTY, MICHIGAN, as follows:

1. The Township will fund 50% of the Township's share of the Daniels Drain improvement cost from the general fund.
2. The Department of Public Works is hereby ordered to use the plans developed by the Ingham County Drain Commission and prepare a special assessment district defined by the Ingham County Drain Commissioner, for the Daniels Drain Drainage District, pursuant to the project as previously set forth in the in this resolution.

YEAS: _____

NAYS: _____

STATE OF MICHIGAN)

) ss.

COUNTY OF INGHAM

I, the undersigned, the duly qualified and acting Clerk of the Charter Township of Meridian, Ingham County, Michigan, **DO HEREBY CERTIFY** that the foregoing is a true and complete copy of proceedings taken by the Township Board at a regular meeting held on Tuesday, September 21, 2021.

Deborah Guthrie, Township Clerk



To: Township Board

**From: Timothy R. Schmitt, AICP
Community Planning and Development Director**

Date: September 16, 2021

Re: Special Use Permit #21-19-121 – Woodward Limited Dividend Housing Association, building greater than 25,000 square feet

The Woodward Limited Dividend Housing Association, has submitted a proposed revision to their previously approved special use permit (SUP) to construct a building greater than 25,000 square feet. The proposed construction, on 4.4 acres of land north of the Whole Foods grocery store, previously consisted of four buildings, with a total of 53,353 square feet. After some project modifications to accommodate for a cul-de-sac on the site meeting the Ingham County Road Department's design requirements, the new proposed development would be for two buildings with a total of 49,288 square feet. The buildings would still contain the same 49 dwelling units that were proposed previously and the height of the buildings has been slightly reduced.

The Planning Commission held a public hearing on the proposal at its meeting on September 13, 2021. There was no public comment at that time. The Planning Commission voted to suspend their rules and act upon the application at that meeting, citing the project being fundamentally similar to what was previously approved. The Planning Commission then voted unanimously to approve the Special Use Permit for the multiple-family use of the property and voted unanimously to recommend approval of the Special Use Permit for the buildings greater than 25,000 square feet. Copies of both resolutions of approval are attached for the Board's review, along with the Staff reports for the reviews.

At this time, given the reduction in the size of the buildings and the lack of substantive change to the overall use of the site, Staff would **recommend approval** of the Special Use Permit request for the proposed pair of buildings greater than 25,000 square feet in total.

Township Board Options

The Township Board may approve or deny the proposed Special Use Permit. If the Board amends the proposal, the request may be referred back to the Planning Commission for a recommendation. A resolution is attached for the Board's initial review.

Attachments

1. Draft resolution for approval
2. Staff memorandum for Special Use Permit #21-19-121 dated September 9, 2021 with attachments
3. Resolution recommending approval from the Planning Commission
4. Draft Planning Commission minutes dated September 13, 2021
5. Staff memorandum for Special Use Permit #21-19-111 dated September 9, 2021 with attachments
6. Communications

RESOLUTION TO APPROVE

**Special Use Permit #21-19-121
Woodward Limited Dividend Housing Association**

RESOLUTION

At a regular meeting of the Township Board of the Charter Township of Meridian, Ingham County, Michigan, held at 5151 Marsh Road, Okemos, MI 48864 on the 21st day of September 2021, at 7:00 p.m., Local Time.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, In 2019, Woodward Way Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031; and

WHEREAS, In 2021, the applicant has brought forward plan revisions to address concerns raised by the Ingham County Road Department, which required a modification to the original approved Special Use Permit; and

WHEREAS, the revised plans have the same number of units and two less buildings than the originally approved plans, but still contain 49,288 square feet between the buildings; and

WHEREAS, the Planning Commission held a public hearing at its regular meeting on September 13, 2021 and voted to recommend approval at the same meeting; and

WHEREAS, the Township Board discussed the proposal its regular meeting on September 21, 2021 and has reviewed staff material forwarded under a cover memorandums dated September 16, 2021 and September 9, 2021; and

WHEREAS, the proposed building larger than 25,000 square feet will not be adverse or damaging to public health, safety, or welfare; and

WHEREAS, the proposed project is consistent with the general standards for granting a special use permit found in Section 86-126 of the Code of Ordinances; and

NOW THEREFORE, BE IT RESOLVED THE TOWNSHIP BOARD OF THE CHARTER TOWNSHIP OF MERIDIAN hereby approves Special Use Permit #21-19-121, subject to the following conditions:

1. Approval is granted in general accordance with the plan set by Callen Engineering, Inc., cover sheet dated August 17, 2021. This plan set includes site, engineering, landscape, floorplans, elevations, and photometric plans.
2. Approval of the special use permit for buildings greater than 25,000 is subject to all conditions placed on Special Use Permit #21-19-111 by the Planning Commission.
3. Any future building additions or revisions to the site layout will require amendments to Special Use Permit #21-19-121.

ADOPTED: YEAS: _____

NAYS: _____

STATE OF MICHIGAN)

) ss

COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Clerk of the Township Board of the Charter Township Meridian, Ingham County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and a complete copy of a resolution adopted at a regular meeting of the Township Board on the 21st day of September, 2021.

Deborah Guthrie
Township Clerk



To: Planning Commission

From: Timothy R. Schmitt, AICP
Community Planning and Development Director

Date: September 9, 2021

Re: Special Use Permit #21-19121 - Woodward Limited Dividend Housing Association - Buildings over 25,000 feet Special Use Permit modification

In 2019, Woodward Limited Dividend Housing Association requested and received approval for a special use permit to construct a group of buildings greater than 25,000 square feet in size on the north 4.37 acres of Parcel Number 17-377-031. The approved plan was for a 49-unit townhouse and apartment complex comprised of four buildings totaling 53,353 square feet in size. A special use permit to construct the multiple-family housing development was reviewed under a separate heading.

As noted in the Staff memo for special use permit #21-19111, the applicant has changed the plans to accommodate changes necessary to get a cul-de-sac installed that meets the Ingham County Road Department's specifications. The plans still call for 49 dwelling units, but the number of buildings has been reduced from four to two. The unit mix has changed from townhouses and stacked flats to entirely stacked flats. And the overall size of the buildings has dropped from 53,353 square feet to 49,288.

Since the overall square footage continues to exceed 25,000 square feet, a special use permit modification is required. The special use permit is required due to the significant impact such buildings or development may have upon adjacent property owners, neighborhoods, and public infrastructure. The full analysis for the standards of special use permit review can be found in the Staff report for the overall review of the site, special use permit #21-19111.

Planning Commission Options

The Planning Commission may recommend approval, approval with conditions, or denial of the proposed special use permit. The Township Board makes a final decision on special use permit requests for buildings over 25,000 square feet. A draft resolution is attached for the Planning Commission's review.

Attachment

1. Draft resolution for approval
2. Special use permit application

RESOLUTION TO RECOMMEND APPROVAL

**Special Use Permit #21-19121
Woodward Limited Dividend Housing Association**

At a regular meeting of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 13th day of September, 2021, at 7:00 p.m., Local Time.

PRESENT: Chairperson Hendrickson, Commissioners McConnell, Shrewsbury, Cordill
Richards, Snyder, and Trezise

ABSENT: Commissioners Premoe and Blumer

The following resolution was offered by Commissioner Cordill and supported by Commissioner Trezise.

WHEREAS, In 2019, Woodward Way Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031; and

WHEREAS, In 2021, the applicant has brought forward plan revisions to address concerns raised by the Ingham County Road Department, which required a modification to the original approved Special Use Permit; and

WHEREAS, the revised plans have the same number of units and two less buildings than the originally approved plans, but still contain 49,288 square feet between the buildings; and

WHEREAS, the Planning Commission held a public hearing at its regular meeting on September 13, 2021 and has reviewed staff material forwarded under a cover memorandum dated September 9, 2021; and

WHEREAS, the subject site is appropriately zoned RC (Multiple Family), which permits the construction of a group of buildings greater than 25,000 square feet in floor area by special use permit; and

WHEREAS, the proposed project is consistent with the general standards for granting a special use permit found in Section 86-126 of the Code of Ordinances; and

WHEREAS, the proposed project provides adequate setbacks and screening from surrounding uses; and

WHEREAS, municipal water and sanitary sewer is available to serve the subject site; and

WHEREAS, the proposed housing project is consistent with Goal J of the 2019 Township Board Action Plan to explore housing options and alternatives to encourage diverse populations and targeted groups to live in the Township; and

**CHARTER TOWNSHIP OF MERIDIAN
PLANNING COMMISSION
REGULAR MEETING MINUTES**

DRAFT

**September 13, 2016
5151 Marsh Road, Okemos, MI 48864-1198
853-4000, Town Hall Room, 7:00 P.M.**

**PRESENT: Chair Hendrickson, Commissioners McConnell, Cordill, Shrewsbury Richards,
Snyder, Trezise
ABSENT: Commissioners Premoe, Blumer
STAFF: Director of Community Planning & Development Timothy Schmitt**

1. CALL MEETING TO ORDER

Chair Hendrickson called the regular meeting to order at 7:02 pm., and called the roll of the board.

2. PUBLIC REMARKS

Chair Hendrickson opened public remarks at 7:03 pm.

Craig Patterson 518 Lakeside Dr., Mackinaw City, MI spoke about the site plan at Woodward Way.

Chair Hendrickson closed public remarks at 7:04 pm.

3. APPROVAL OF AGENDA

**Commissioner Trezise moved to approve the agenda.
Seconded by Commissioner Cordill.**

VOICE VOTE: Motion approved unanimously.

4. APPROVAL OF MINUTES

A. July 12, 2021 Regular Meeting

Commissioner Cordill moved to approve the minutes of July 26, 2021 Planning Commission minutes. Seconded by Commissioner Trezise.

Commissioner Shrewsbury offered a friendly amendment to the minutes. On page 4, Commissioner Premoe's reports and announcements. Instead of Brownfield Redevelopment Authority, it reads an incorrect acronym BRE. This should be changed to Brownfield Redevelopment Authority.

Commissioner Cordill moved to approve the minutes of July 26, 2021 Planning Commission minutes as amended. Seconded by Commissioner Trezise.

VOICE VOTE: Motion approved unanimously.

5. COMMUNICATIONS - NONE

6. PUBLIC HEARINGS

- A. Special Use Permit #21-19-111 – Woodward Way, modification of plans to construct a multi-family housing development.

Chair Hendrickson opened the public hearing at 7:06 pm.

Director Schmitt outlined the case for discussion.

Craig Patterson, Senior Vice President of Woda Cooper Companies further outlined the case for discussion.

Chair Hendrickson opened public remarks at 7:14 pm.

Hearing no one, Chair Hendrickson closed public remarks at 7:14 pm.

The Planning Commission Discussed a number of topics with Applicant Craig Patterson, Engineer Bruce Callen, and Director Schmitt including:

- Building elevations
- Siding material
- The difference between a townhome unit and a stacked flat
- Storm water management and treatment
- Future parking spots
- Pedestrian access to the end of Greencliff Dr.
- Fence height and type
- Trees and landscaping
- Sidewalk and water main connections
- Public storm drain and utility easement

Craig Patterson stated that he would pay to install sidewalk to connect to the Greencliff path in the future if called upon to do so.

Commissioner Trezise moved to suspend by-law 6.4A and allow action tonight on Special Use Permit #21-19-111. Seconded by Commissioner Richards.

ROLL CALL VOTE: YEAS: Commissioners McConnell, Cordill, Shrewsbury, Richards, Snyder, Trezise

NAYS: Chair Hendrickson

Motion carried: 6-1

Commissioner McConnell moved to approve the resolution for approval of Special Use Permit #21-19-111. Seconded by Commissioner Richards.

ROLL CALL VOTE: YEAS: Commissioners McConnell, Cordill, Shrewsbury, Richards, Snyder, Trezise, Chair Hendrickson

NAYS: None

Motion carried: 7-0

Chair Hendrickson closed the public hearing at 7:55 pm.

- B. Special Use Permit #21-19-121 - Woodward Way, modification of plans to construct a group of buildings greater than 25,000 square feet in size.

Chair Hendrickson opened the public hearing at 7:55 pm.

Director Schmitt outlined the case for discussion.

Applicant Craig Patterson further outlined the case for discussion.

Chair Hendrickson opened public remarks at 7:57 pm.

Hearing no one, Chair Hendrickson closed public remarks at 7:57 pm.

Commissioner Trezise moved to suspend by-law 6.4A and allow action tonight on the Special Use Permit #21-19-111. Seconded by Commissioner Shrewsbury.

ROLL CALL VOTE: YEAS: Commissioners McConnell, Cordill, Shrewsbury, Richards, Snyder, Trezise, Chair Hendrickson

NAYS:

Motion carried: 7-0

Commissioner Cordill moved to recommend approval for Special Use Permit #21-19-121. Seconded by Commissioner Trezise.

ROLL CALL VOTE: YEAS: Commissioners McConnell, Cordill, Shrewsbury, Richards, Snyder, Trezise, Chair Hendrickson

NAYS:

Motion carried: 7-0

Chair Hendrickson closed the public hearing at 7:58 pm.

7. UNFINISHED BUSINESS - NONE

8. OTHER BUSINESS - NONE

9. REPORTS AND ANNOUNCEMENTS



To: Planning Commission

From: Timothy R. Schmitt, AICP
Community Planning and Development Director

Date: September 9, 2021

Re: Special Use Permit #21-19111 - Woodward Limited Dividend Housing Association - Special Use Permit modification

In 2019, Woodward Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex, comprised of four buildings totaling approximately 53,353 square feet in size on the north 4.37 acres of Parcel Number 17-377-031. The applicant continued progressing towards construction, but was slowed by the Covid-19 Pandemic. In Summer of 2021, the project started moving towards construction again, but ran into a right-of-way issue with the Ingham County Road Department (ICRD).

After several months of discussion and redesign, the applicant determined that the best course of action to restart the project and provide the needed road frontage for the site was to redesign the project to have two buildings, instead of the previously approved four buildings, and include a cul-de-sac on Sirhal Drive. Previously, there was no cul-de-sac, which did not meet ICRD standards.

The proposed new design would include the same number of dwelling units, forty-nine, as previously approved. The number of buildings would be reduced to two from four, but would still be limited to two stories tall and the same height in feet that was previously approved. The total square footage of the buildings would be slightly reduced from 52,861 square feet to 49,288. The main change driving the redesign is the cul-de-sac for Sirhal Drive and the condition of Rezoning 19-010 that 100 feet of public road frontage be provided. That is now being done by building a cul-de-sac on the property, as extending the road through the site was not permitted by the ICRD. No connection to Greencliff Drive is permitted by the ICRD, so the applicant is simply showing their future parking expansion area where previously there was an emergency access connection.

The plans currently under review require modification to both Special Use Permits that were previously approved, one by the Planning Commission for the multi-family use of the site and one by the Township Board for the total size of the buildings being in excess of 25,000 square feet. The special use permits are being processed concurrently.

The following table summarizes the number and type of unit located within each building:

	Building size	No. of units	1-bedroom units	2-bedroom units	3-bedroom units
Building 1	13,172	26	4	16	6
Building 2	11,599	23	4	18	1

All of the units would be stacked flats at this time, eliminating the townhouse units shown in the originally approved plans. A Community Room is proposed in Building B for the residents of the complex, accounting for the odd number of units in that building.

In June 2019 the project site was rezoned (Rezoning #19010) to RC with conditions voluntarily offered by the applicant, which included the following:

- The property will only be developed as an affordable housing development using Michigan State Housing and Development Authority (MSHDA) programs and resources.
- The development will not exceed two stories in height.
- Sirhal Drive will be extended to create one hundred feet of public road frontage and be dedicated to the appropriate public utility.
- The remainder parcel created by the land division will be combined with an adjacent parcel to the west so the division of the property does not create an island parcel.
- The number of units will not exceed 49 allowing for one ingress and egress.

These conditions of the rezoning, which were voluntarily offered by the applicant, are being met with the proposed redesign.

Staff Analysis

The applicant is requesting a modification to the previously approved special use permit to allow construction of a 49-unit apartment complex with two buildings. All multiple family housing projects with more than two units must receive special use permit approval from the Planning Commission. Special use permits for multiple family housing are evaluated using the nine general special use permit criteria listed in Section 86-126 of the zoning ordinance, along with the site plan standards that are listed throughout Section 86-376. The site plan will be reviewed separately by Staff.

Section 86-126 Review Criteria.

- 1) The project is consistent with the intent and purposes of this chapter.
The Multiple Family Residential district is intended for multiple-family residential projects. The proposed development is well within the intent and purpose of this zoning district.
- 2) The project is consistent with applicable land use policies contained in the Township's comprehensive development plan of current adoption.
The proposal meets Objective 1.A, Maintain a Community of Desirable, Attractive Residential Neighborhoods (specifically subsection 5), Objective 5, Maintain Essential Public Services (specifically 5.A.1 and 5.D.1), and Objective 7, Promote Efficient and Sustainable Growth Practices (specifically 7.D.1).
- 3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
The applicant has designed the project previously in such a way that was considered harmonious and appropriate to the general vicinity. The proposed changes would not substantially alter the height or design of the buildings.
- 4) The project will not adversely affect or be hazardous to existing neighboring uses.
The building and use will not adversely affect the surrounding uses. The area is residential in the north, east, and west and the proposed development acts as an effective transition from the higher density commercial development in the south.

- 5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
The use is consistent with the surrounding uses, so no negative economic impact would be expected from the project.
- 6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
The project is adequately served by roads, utilities, and other such public services that will be needed by the project.
- 7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and stormwater are proposed, they shall be properly designed and capable of handling the long term needs of the proposed project.
Public sanitation facilities are adequate for the project, as are public water facilities.
- 8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
Residential uses are generally not uses that cause negative externalities on a broad scale to the neighboring uses. Although there are individual code enforcement cases, overall with residential uses, this proposal should not cause issues with traffic, noise, smoke, fumes, glare, or odors.
- 9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.
The site is one that has already been developed and therefore a prime candidate for redevelopment, while not impacting the important natural features of the Township.

In reviewing the proposed to the Special Use Permit, Staff has identified no major concerns that would negatively change the previous analysis of the site the Planning Commission went through and ultimately approved. The changes proposed changes would consolidate the development into two buildings that are very similar to the buildings that were previously approved. The density of the project has not increased and the proposed circulation is substantially improved by the construction of the cul-de-sac on the property. All in all, this is a positive change for the project that will hopefully allow it to move forward in the near future and Staff would **recommend approval** of the proposed modified Special Use Permit to allow a multiple-family dwelling project on the site.

Planning Commission Options

The Planning Commission may approve, approve with conditions, or deny the special use permit. A draft resolution for approval has been provided for the Planning Commission's initial review.

Attachments

1. Draft Resolution for approval
2. Revised application information and Revised plan sets
3. August 27, 2019 approval letter for original request



RESOLUTION TO APPROVE

**Special Use Permit #21-19111
Woodward Limited Dividend Housing Association**

At a regular meeting of the Planning Commission of the Charter Township of Meridian, Ingham County, Michigan, held at the Meridian Municipal Building, in said Township on the 13th day of September, 2021, at 7:00 p.m., Local Time.

PRESENT: _____

ABSENT: _____

The following resolution was offered by _____ and supported by _____.

WHEREAS, In 2019, Woodward Way Limited Dividend Housing Association requested and received approval for a special use permit to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031; and

WHEREAS, In 2021, the applicant has brought forward plan revisions to address concerns raised by the Ingham County Road Department, which required a modification to the original approved Special Use Permit; and

WHEREAS, the revised plans have the same number of units, slightly less square footage, and two less buildings than the originally approved plans; and

WHEREAS, the Planning Commission held a public hearing at its regular meeting on September 13, 2021 and has reviewed staff material forwarded under a cover memorandum dated September 9, 2021; and

WHEREAS, the subject site is appropriately zoned RC (Multiple Family, maximum 14 units per acre), which allows multiple family housing projects with three or more units by special use permit; and

WHEREAS, the proposed project is consistent with the conditions established in Rezoning #19010; and

WHEREAS, the proposed project is consistent with the general standards for granting a special use permit found in Section 86-126 of the Code of Ordinances; and

WHEREAS, the proposed project provides adequate setbacks and screening from surrounding uses; and

WHEREAS, municipal water and sanitary sewer is available to serve the subject site; and

WHEREAS, the proposed housing project is consistent with Goal J of the 2019 Township Board Action Plan to explore housing options and alternatives to encourage diverse populations and targeted groups to live in the Township; and

NOW THEREFORE, BE IT RESOLVED THE PLANNING COMMISSION OF THE CHARTER TOWNSHIP OF MERIDIAN hereby approves Special Use Permit #21-19111 to construct a 49-unit townhouse and apartment complex on the north 4.37 acres of an undeveloped parcel identified by Parcel Number 17-377-031, subject to the following conditions:

1. Approval is granted in general accordance with the plan set by Callen Engineering, Inc., cover sheet dated August 17, 2021. This plan set includes site, engineering, landscape, floorplans, elevations, and photometric plans.
2. Approval of Special Use Permit #21-19111 is contingent on the approval of Special Use Permit #21-19121 by the Township Board.
3. Approval of the special use permit is subject to all voluntary conditions placed on Rezoning #19010 by the applicant.
4. The applicant shall apply for a land division to split the project site from the parent parcel prior to building permits being issued.
5. The applicant shall construct a five-foot wide concrete sidewalk to connect to the existing sidewalk along the north side of Sirhal Drive.
6. Site plan review approval is required to construct the housing project. No construction, including grading or land clearing, can begin on the property until the site plan has been approved by the Director of Community Planning and Development.
7. The applicant shall obtain all necessary permits, licenses, and approvals from the Ingham County Road Department, Ingham County Drain Commissioner, Michigan Department of Environment, Great Lakes, and Energy, and the Township, as applicable. Copies of all permits, licenses, and approval letters shall be submitted to the Department of Community Planning and Development.
8. All utility service distribution lines shall be installed underground.
9. Any future building additions or revisions to the site layout will require amendments to Special Use Permit #19111.

ADOPTED: YEAS: _____

NAYS: _____

STATE OF MICHIGAN)

) ss

COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Chair of the Planning Commission of the Charter Township Meridian, Ingham County, Michigan, DO HEREBY CERTIFY that the foregoing is a true and a complete copy of a resolution adopted at a regular meeting of the Planning Commission on the 13th day of September, 2021.

Scott Hendrickson, Chair
Meridian Township Planning Commission

**CHARTER TOWNSHIP OF MERIDIAN
DEPARTMENT OF COMMUNITY PLANNING AND DEVELOPMENT
5151 MARSH ROAD, OKEMOS, MI 48864
PLANNING DIVISION PHONE: (517) 853-4560, FAX: (517) 853-4095**

SPECIAL USE PERMIT APPLICATION

Before submitting this application for review, an applicant may meet with the Director of Community Planning and Development to discuss the requirements for a special use permit and/or submit a conceptual plan for review to have preliminary technical deficiencies addressed prior to submittal of the application. If the property or land use is located in the following zoning districts RD, RC, RCC, RN then the applicant must meet with the Planning Director to discuss technical difficulties before filing a formal application.

Part I

- A. Applicant Woodward Way Limited Dividend Housing Association
 Address of Applicant 500 S. Front St.10th Floor Columbus, OH 43215
 Telephone - Work 6143963200 Home 6144062931 Fax _____ Email ffugate@wodagoup.com
 Interest in property (circle one): **Owner** Tenant Option Other
 (Please attach a list of all persons with an ownership interest in the property.)
- B. Site address / location / parcel number East of 2790 Sirhall Drive, East Lansing 48823
 Legal description (please attach if necessary) Attached
 Current zoning R.C. Multi family
 Use for which permit is requested / project name Woodward Way Limited Dividend Housing Association Limited Partnership
 Corresponding ordinance number _____
- C. Developer (if different than applicant) Woda Cooper Companies
 Address 500 S. Front St. 10th Floor Columbus, OH 43215
 Telephone – Work 6143963200 Home 6144962931 Fax _____
- D. **Architect**, Engineer Planner or Surveyor responsible for design of project if different from applicant:
 Name Hooker DeJong Inc.
 Address 316 Morris Ave Suite 410 Muskegon, MI 49440
 Telephone – Work 2317223407 Home 2312202388 Fax _____
- E. Acreage of all parcels in the project: Gross 4.37 Net 3.85
- F. Explain the project and development phases: Two (2) 2-stroy buildings,constructed with 2x6 wood framing, lowslope wood trusses,slab on grade. one phase. Site, grading and paving completed in conjunction with building construction.
- G. Total number of:
 Existing: structures N/A bedrooms 0 offices _____ parking spaces _____ carports _____ garages _____
 Proposed: structures 2 bedrooms 97 offices 1 parking spaces 98/25 carports _____ garages _____
- H. Square footage: existing buildings 0 proposed buildings 49,288 sf
 Usable Floor area: existing buildings 0 proposed buildings 45,056 sf
- I. If employees will work on the site, state the number of full time and part time employees working per shift and hours of operation:
- J. Existing Recreation: Type None Acreage _____
 Proposed Recreation: Type Greenspace and tot lot Acreage _____
 Existing Open Space: Type Vacant site Acreage _____
 Proposed Open Space: Type Along perimeters of the property Acreage _____

K. If Multiple Housing:

Total acres of property	<u>4.37 Acres</u>		
Acres in floodplain	<u>0</u>	Percent of total	<u>0</u>
Acres in wetland (not in floodplain)	<u>0</u>	Percent of total	<u>0</u>
Total dwelling units	<u>49</u>		
Dwelling unit mix:			
Number of single family detached:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of duplexes:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of townhouses:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of garden style apartments:		for Rent	<u>n/a</u> Condo <u>n/a</u>
Number of other dwellings:		for Rent	<u>49</u> Condo <u>n/a</u>

L. The following support materials must be submitted with the application:

1. Nonrefundable Fee.
2. Legal Description of the property.
3. Evidence of fee or other ownership of the property.
4. Site Plan containing the information listed in the attachment to this application.
5. Architectural sketches showing all sides and elevations of the proposed buildings or structures, including the project entrance, as they will appear upon completion. The sketches should be accompanied by material samples or a display board of the proposed exterior materials and colors.
6. A Traffic Study, prepared by a qualified traffic engineer, based on the most current edition of *Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities*, published by the State Department of Transportation.
 - a. A traffic assessment will be required for the following:
 - 1) New special uses which could, or expansion or change of an existing special use where increase in intensity would, generate between 50 to 99 directional trips during a peak hour of traffic.
 - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
 - b. A traffic impact study will be required for the following:
 - 1) New special uses which would, or expansion or change of an existing special use where increase in intensity would, generate over 100 directional trips or more during a peak hour of traffic, or over 750 trips on an average day.
 - 2) All other special uses requiring a traffic assessment as specified in the Township Code of Ordinances, Chapter 86, Article IV, Division 2.
7. Natural features assessment which includes a written description of the anticipated impacts on the natural features at each phase and at project completion that contains the following:
 - a. An inventory of natural features proposed to be retained, removed, or modified. Natural features shall include, but are not limited to, wetlands, significant stands of trees or individual trees greater than 12 inches dbh, floodways, floodplains, waterbodies, identified groundwater vulnerable areas, slopes greater than 20 percent, ravines, and vegetative cover types with potential to sustain significant or endangered wildlife.
 - b. Description of the impacts on natural features.
 - c. Description of any proposed efforts to mitigate any negative impacts.

The natural features assessment may be waived by the Director of Community Planning and Development in certain circumstances.

- M. Any other information specified by the Director of Community Planning and Development which is deemed necessary to evaluate the application.
- N. In addition to the above requirements, for zoning districts, **RD, RC, RCC, RN, and CV** and **Group Housing Residential Developments** the following is required:
1. Existing and proposed contours of the property at two foot intervals based on United States Geological Survey (USGS) data.
 2. Preliminary engineering reports in accordance with the adopted Township water and sewer standards, together with a letter of review from the Township Engineer.
 3. Ten copies of a report on the intent and scope of the project including, but not limited to: Number, size, volume, and dimensions of buildings; number and size of living units; basis of calculations of floor area and density and required parking; number, size, and type of parking spaces; architectural sketches of proposed buildings.
 4. Seven copies of the project plans which the Township shall submit to local agencies for review and comments.
- O. In addition to the above requirements, a special use application in zoning district **RP** requires the following material as part of the site plan:
1. A description of the operations proposed in sufficient detail to indicate the effects of those operations in producing traffic congestion, noise, glare, air pollution, water pollution, fire hazards or safety hazards or the emission of any potentially harmful or obnoxious matter or radiation.
 2. Engineering and architectural plans for the treatment and disposal of sewerage and industrial waste tailings, or unusable by-products.
 3. Engineering and architectural plans for the handling of any excessive traffic congestion, noise, glare, air pollution, or the emission of any potentially harmful or obnoxious matter or radiation.
- P. In addition to the above requirements, a special use application for a use in the Floodway Fringe of zoning district **CV** requires the following:
1. A letter of approval from the State Department of Environmental Quality.
 2. A location map including existing topographic data at two-foot interval contours at a scale of one inch representing 100 feet.
 3. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits, extent, and elevations of the proposed fill, excavation, and occupation.
 4. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- Q. In addition to the above requirements, a special use application for a use in the Groundwater Recharge area or zoning district **CV** requires the following:
1. A location map including existing topographic data at two-foot interval contours.
 2. A map showing proposed grading and drainage plans including the location of all public drainage easements, the limits and extent of the proposed fill, excavation, and occupation.
 3. A statement from the County Drain Commissioner, County Health Department, and Director of Public Works and Engineering indicating that they have reviewed and approved the proposal.
- R. In addition to the above requirements, the Township Code of Ordinances, Article VI, should be reviewed for the following special uses: group housing residential developments, mobile home parks, nonresidential structures and uses in residential districts, planned community and regional shopping center developments, sand or gravel pits and quarries, sod farms, junk yards, sewage treatment and disposal installations, camps and clubs for outdoor sports and buildings greater than 25,000 square feet in gross floor area.

Part II

SUP REQUEST STANDARDS
Township Code of Ordinances, Section 86-126

Applications for Special Land Uses will be reviewed with the standards stated below. An application that complies with the standards stated in the Township Ordinance, conditions imposed pursuant to the Ordinance, other applicable Ordinances, and State and Federal statutes will be approved. Your responses to the questions below will assist the Planning Commission in its review of your application.

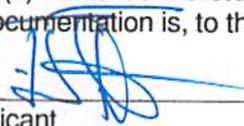
- (1) The project is consistent with the intent and purposes of this chapter.
- (2) The project is consistent with applicable land use policies contained in the Township's Master Plan of current adoption.
- (3) The project is designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of the same area.
- (4) The project will not adversely affect or be hazardous to existing neighboring uses.
- (5) The project will not be detrimental to the economic welfare of surrounding properties or the community.
- (6) The project is adequately served by public facilities, such as existing roads, schools, stormwater drainage, public safety, public transportation, and public recreation, or that the persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.
- (7) The project is adequately served by public sanitation facilities if so designed. If on-site sanitation facilities for sewage disposal, potable water supply, and storm water are proposed, they shall be properly designed and capable of handling the longterm needs of the proposed project.
- (8) The project will not involve uses, activities, processes, materials, and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare, or odors.
- (9) The project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including, but not limited to, prime agricultural soils, water recharge areas, lakes, rivers, streams, major forests, wetlands, and wildlife areas.

Part III

I (we) hereby grant permission for members of the Charter Township of Meridian's Boards and/or Commissions, Township staff member(s) and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purpose of gathering information including but not limited to the taking and the use of photographs.

Yes No (Please check one)

By the signature(s) attached hereto, I (we) certify that the information provided within this application and accompanying documentation is, to the best of my (our) knowledge, true and accurate

Frank Fugate 
Signature of Applicant

August 16, 2021
Date

Frank Fugate
Type/Print Name

Fee: _____

Received by/Date: _____

Special Use Permit Application Attachment
Site Plan Requirements Per Section 86-124(c)(4)

A site plan, drawn to a legible scale, containing the following information where applicable:

- a. Boundaries of the subject property.
- b. Total area of the subject property.
- c. Location of all existing and proposed structures.
- d. Approximate location and distance of all structures within 100 feet of the subject property.
- e. Uses of existing and proposed buildings, on the subject site.
- f. Proposed means of vehicular and pedestrian ingress and egress to the subject property.
- g. Public and private roads and streets, rights-of-way, and easements, indicating names and widths, which abut or cross the site.
- h. Existing and proposed parking spaces, and vehicular and pedestrian circulation patterns.
- i. The buildable area of the subject property indicating all required setbacks, yards and open space.
- j. Zoning classification of the subject and adjacent properties.
- k. Existing and proposed fencing, screening, landscaping, and buffers.
- l. Location and sizes of existing utilities including power lines and towers, both above and below the ground.
- m. Amount and location of all impervious surfaces.
- n. The verified boundaries of all natural water features and required setback lines.



WODA COOPER COMPANIES

August 12, 2021

Part II SUP Request Standards -Section 86-126

Applications for Special Land Uses will be reviewed with the standard stated below:

1. Project is consistent with the intent and purpose of this chapter:

The use of this development creates a special use in that it is over 25,000 sq. feet the development is 53,294 square feet. Because of zoning conditions set forth: height will be only two stories with a single entrance from Sirhal and conditioned to 49 units. The design will not have negative on adjacent land, affect the health, safety and general welfare of the community. The development is below the allowable 14 units per acre and the traffic will be minimally impacted.

2. Project is consistent with applicable land use policies contained in the Townships Master Plan.

The general architectural standards that are encouraged in the master plan we will incorporate many of these and others in our designs. Exterior finishes include brick, stone cementitious siding and other natural materials. Our architects will use primary natural colors with accent colors and roof slope and shingle color to meet the plan.

The master plan has seven goals as we outlined in the rezoning and this development will meet these criteria being a LEED Green Development

- a. **Preserve and Strengthen residential neighborhoods:** Creating a cluster development, removing blight, in a walkable area creating housing diversity with of moderate density.
- b. **Preserve Open Space:** The design is to cluster the units towards the front allowing a natural buffer/ greenspace and distance to the existing homes.
- c. **Enhance The viability of Township Business:** The resident make-up of work force housing to create employees for the local's businesses located in proximity to public transportation with high walkable score.
- d. **Maintain and Expand a Diverse Park System:** Our development will provide outdoor space gazebo, grilling areas tot lot and greenspace with proximity to parks and the farmers market.
- e. **Maintain Essential Public Services:** Attract families with school age students to benefit opening the closed school. Be walkable/ utilize the public transportation and design /build LEED green (LEED Silver) efficient designed to not tax public services.
- f. **Provide and support an Efficient safe Environmental Multi-modal Transportation:** Provide bike racks, management will promote public transportation, and encourage the high walkability score.
- g. **Promote Efficient Sustainable Growth Practices:** This will be a LEED Green Development, is an Ideal infill redevelopment recycling existing material located on the site. (Concrete and trees) Discuss tax incentives for LEED certified or equivalent developments.

- h. **Community Profile; Demographics:** Walkable Communities, suited for growing families, housing diversity and the need for Work force housing.

3. Project is designed, constructed, operated and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such use will change the essential character of the same area.

As we have moved through the process in the past years, the two story walk up with low slope roof trusses with 2x6 walls-built slab on grade to create a harmonious transition from commercial use and the three-story senior development to the single family along the north and eastern property lines. Boundary healthy trees will be maintained.

4. Project will not adversely affect or be hazardous to existing neighboring uses.

The development will not adversely affect the area. In our meetings with the neighbors the main concern has been traffic in the neighborhood. Traffic memo showed minimal impact of 54 units and one entrance eliminating through traffic. The main objective it will clean up a blighted area.

5. Project will not be detrimental to the economic welfare of surrounding properties or the community.

The development will provide needed work force housing to be a benefit to local business. The property is within 1/10 of a mile to a bus stop and is walkable to many businesses along Grand River Blvd. The development is a proposed 12.5 million investment utilizing local trades that will be replacing an underutilized abandoned trailer park. Woodward Way will be an economic benefit to the area, providing work force housing with energy efficient units allowing residents to save on energy costs.

6. Project is adequately served by public facilities such as existing roads, schools, storm water drainage, public safety, public transportation and public recreation or that persons or agencies responsible for the establishment of the proposed use shall be able to provide any such service.

This project will be very adequately served by the community. The design will enhance Sirhal with a cul-de-sac, the storm water will be retained on site and released per drain commission standards. Woda management will always work with public safety and agencies and encourage public transportation and to visit and enjoy the community's public parks.

7. Project is adequately served by public sanitation facilities is so designed. There will be no on-site water or sewage system. Please refer to Site Utility Availability Special Use



The area is served by local water and sewer to the property. No on-site utilities

8. Project will not involve uses activities processes materials and equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare\by reason of excessive production of traffic noise smoke or fumes, glare or odors.

9.

The development will not create any detrimental or adverse conditions. Construction will be less than 9 months. Traffic will not be in Warwick residential neighborhood. Once built the traffic memo shows low traffic at peak times and access to public transportation.

10. Project will not directly or indirectly have a substantial adverse impact on the natural resources of the Township, including but not limited to prime agricultural soils water recharge areas lakes, rivers, streams, major forests wetlands and wildlife areas

The development is not impacting any of the above-mentioned features and isn't in a flood plain or have any wetlands. Development of the site will clean up the area and ensure underground utilities are terminated.

Part III

On application





To: Mr. Frank Fugate
Woda Cooper Companies, Inc.

Re: The Woodward Multi-Family-Meridian Twp, MI
Trip Generation Study

From: Timothy J. Likens, PE, PTOE
Transportation Engineer

Date: April 1, 2019

In August, 2018 Bergmann provided a memorandum to outline the traffic generation potential for the proposed Woodward multi-family residential development in Meridian Township, Ingham County, Michigan. The project site is located on the north side of Grand River Avenue, directly north of Whole Foods and was previously occupied by the Mobile Home Manor trailer park. The proposed development plans currently include construction of a new two-story, 53-unit multi-family residential development with site access provided via connection to Sirhal Drive and emergency only connection to Greencliff Drive.

Bergmann received input from the Township Planning Department regarding the scope of the original traffic evaluation. Subsequently, the Township requested additional information as outlined in a March 7, 2019 email from the Planning Department to Woda Cooper. The current requirements principally include the following, which are addressed in this memorandum:

- Comparison of trip generation for the existing versus proposed zoning maximum densities; and
- Potential impacts on the adjacent residential streets, specifically considering cut-thru traffic to/from Park Lake Road.

The subject site is approximately 4.6 acres, and is currently zoned RX (Duplex). Under existing zoning, maximum density allowed is 2 units per lot, with a minimum lot size of 11,000 SF, resulting in a maximum density of 36 units for this site. The proposed zoning is RC, allowing for up to 14 units per acre, or a maximum density of 64 units for this site. The site was also formerly occupied by a mobile home park. Aerial imagery from 2005 shows that the density included approximately 50 lots and mobile home trailers on this site.

The potential number of peak hour and daily vehicle trips generated by this site were forecast based on the rates and equations published by the Institute of Transportation Engineers in *Trip Generation, 10th Edition*. The Planning Department has noted some discrepancy in their review of previous trip generation calculations. Although these discrepancies are presumed to be minor based on the size and potential density on the subject parcel, Bergmann cautions against reference to previous versions of *Trip Generation*. According to the current *10th Edition*, "In prior editions [of the manual] multifamily housing sites were further divided into rental and condominium categories. An investigation of vehicle trip data found no clear differences in trip making patterns within the ITE database." Accordingly, the data have been reorganized and should not be compared directly between editions.

ITE publishes average trip generation rates for a wide variety of land uses, as well as regression equations for some. For all of the residential land uses evaluated for this study, the regression equation was determined to be most appropriate based on ITE methodologies outlined in the *ITE Trip Generation Manual*. For Multi-Family Housing, "Low-Rise" (Land Use #220) and "Mid-Rise" (Land Use #221) are most appropriate to the proposed development and relative RC zoning. For the existing RX zoning, there is not an ITE land use that exactly fits two-unit duplexes; whereas the Single Family (Land Use #210) and



multi-family land use categories both have similarities and differences to duplexes. Therefore, both were referenced. The former site use is described by Mobile Home Park (Land Use #240).

The site trip generation forecast is summarized in **Table 1**. As shown in the upper section, the original study referenced 4-story development (mid-rise); whereas the current proposal is for 2-story development (low-rise). Examination of the trip generation data indicate that low-rise uses are actually forecast to generate slightly conservative forecasts; therefore, the low-rise use was referenced for the comparison of existing versus proposed zoning.

Typically, traffic studies are completed based on the peak hour of adjacent street traffic, when the potential interaction between development ingress / egress and existing adjacent street traffic is greatest. In some instances, the peak hour of the generator is of particular interest, where the use would generate more intense volumes during a time period when adjacent street traffic is below peak. Examples include schools and industrial facilities with shift changes. For residential uses, the peak hour of the generator is typically consistent with the peak hour of adjacent street traffic, associated with normal commuting patterns to/from home and work. For this study, the Township has indicated that the most conservative estimates should be referenced. In this case, the calculated forecasts show no significant difference between the peak hour of the generator and the peak hour of adjacent street traffic.

Table 1: Site Trip Generation

Condition	Land Use	ITE			Average Daily	AM Peak Hour			PM Peak Hour		
		Code	Amount	Units		In	Out	Total	In	Out	Total
Original Study (4-story)	Multi-Family Housing - Mid Rise	221	64	Dwellings	347	6	16	22	18	11	29
Compare (2-story)	Multi-Family Housing - Low Rise	220	64	Dwellings	443	7	24	31	25	15	40

Zoning	Land Use	ITE			Average Daily	AM Peak Hour			PM Peak Hour		
		Code	Amount	Units		In	Out	Total	In	Out	Total
Existing RX Zoning (Max Density)	Duplex	220	36	Dwellings	231	4	14	18	15	9	24
Existing RX Zoning (Max Density)	Single Family	210	36	Dwellings	406	8	22	30	24	14	38
Existing RX Zoning (Former Use)	Mobile Home Park	240	50	Dwellings	434	6	26	32	19	12	31
Proposed RC (Development)	Multi-Family Housing - Low Rise	220	53	Dwellings	360	6	20	26	21	13	34
Proposed RC (Max Density)	Multi-Family Housing - Low Rise	220	64	Dwellings	443	7	24	31	25	15	40
Peak Hour of Generator	Multi-Family Housing - Low Rise	220	64	Dwellings	443	10	27	37	26	18	44

According to Township Ordinance and *Evaluating Traffic Impact Studies, A Recommended Practice for Michigan Communities*, the forecast number of site-generated vehicle trips does not meet the thresholds to require traffic impact analysis or further study, under any of the above scenarios. Site trip generation potential of the site under the existing and proposed zoning classifications is similar. Furthermore, the former occupancy of this site exhibits a slightly higher trip daily generation potential than the maximum allowable density under the proposed zoning and respective development. These results indicate that the proposed project would not fundamentally increase the trip generation characteristics of this site.

Regarding potential increases in adjacent street and neighborhood traffic, the forecast volume of traffic for this site on a daily and peak hour basis is consistent with the trip generation characteristics of the surrounding neighborhoods and land uses. Peak hour directional traffic volumes with this development would be relative to approximately 1 vehicle every 3 minutes, and less during off-peak hours. There is no



compelling evidence from this study that would indicate discernable difference in the volume of traffic on the local road network would materialize as a result of this project.

Although the trip generation potential of this site is not significant, concern has been raised regarding the potential impacts of traffic cutting through the adjacent neighborhoods, particularly to the east. A direct connection of Sirhal Drive and Greencliff Drive would provide an alternate route between Grand River Avenue and Park Lake Road. This route is circuitous and professional experience indicates that vehicle delays and queues on the arterial system would have to be significant to cause cut-through overflow into the local road network. Notwithstanding, a direct connection is not proposed; whereas the connection will pass around a building and through a parking lot within the site. Furthermore, the fire department is amenable to emergency access only to Greencliff Drive. Therefore, traffic will not be able to pass through these neighborhoods between Grand River Avenue and Park Lake Road. There will be no changes to the connectivity with the adjacent road network as compared to existing conditions.

Please direct any questions regarding this memorandum to Bergmann.

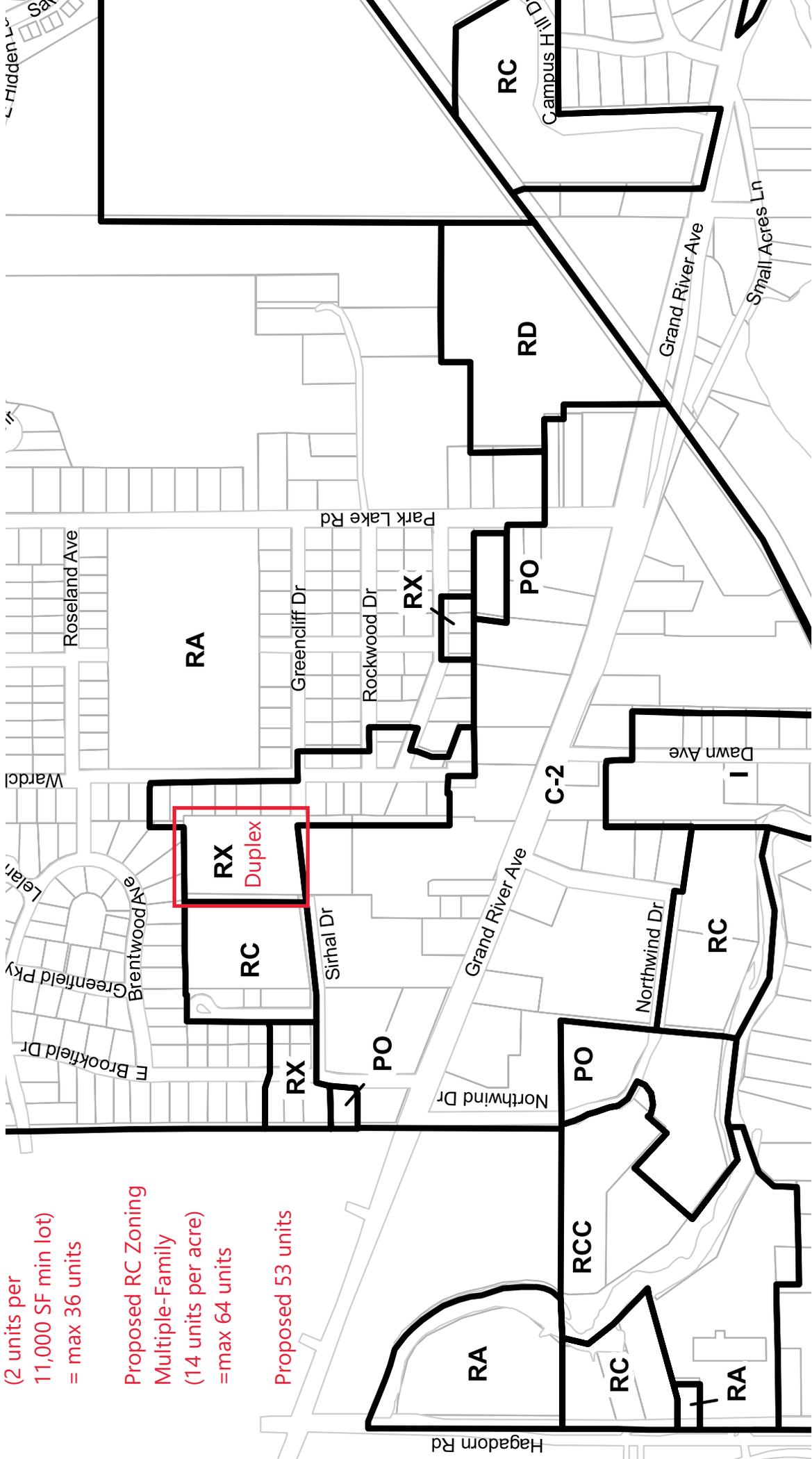
Attached: Zoning Map / Density Calculations
 2005 Aerial Imagery

Site = 4.6 acres
or 200,376 SF +/-

Existing RX Zoning
(2 units per
11,000 SF min lot)
= max 36 units

Proposed RC Zoning
Multiple-Family
(14 units per acre)
= max 64 units

Proposed 53 units



Legend

Woodward Site

2005 Aerial Image
Mobile Home Park



600 ft



CERTIFIED SURVEY MAP

RECORDING INFORMATION

THIS IS ATTACHED TO AND MADE PART OF THE SKETCH TO FOLLOW.

Scope of Survey

Monument Engineering Group Associates, Inc. (MEGA) was contracted to perform a land division and parcel combination survey of the properties located in the SW 1/4 of Section 17, Township 4 North, Range 1 West, Meridian Township, Ingham County, Michigan. Tax IDs: 33-02-02-17-377-030 & 33-02-02-17-377-031

Bearing Reference

Bearings are based on Project Coordinate System:
Michigan State Plane Coordinate System, NAD83 (Conus) (Mol) (GRS80), South Zone 2113, International Feet, Ground (Lat: N42°43'40.80", Lon: W84°27'14.40", Elev: 851, Scale Factor: 1.00012476).

Legal Description (As Provided)

(Per Tax Descriptions as recorded with Ingham County)

Tax Id: 33-02-02-17-377-030

(M 17-24) PART OF SW 1/4 OF SEC 17 T4N R1W DESC AS: COM AT S 1/4 COR OF SEC 17 - N00D 20'47"E ALNG NS 1/4 LN 174.22 FT TO C/L OF GRAND RIVER AVE - N67D 56'W ALNG SD C/L 635.01 FT TO POB - N67D 56'W ALNG SD C/L 154.58 FT - N00D 15'22"E 610.75 FT - N84D 22'18"E ALNG S LN OF SIRHAL DR 408.32 FT - S00D 20'47"W 258.63 FT - W 100 FT - S00D 20'47"W 218.11 FT - N89D 44'38"W 161.9 FT - S00D 15'22"W 231.79 FT TO POB 4.427 A.

Tax Id: 33-02-02-17-377-031

(M 17-20-1, 17-21, 17-23) PART OF S 1/2 OF SEC 17 T4NR1W & PART OF LOTS 64 THRU 67 EASTWOOD ACRES SUBD DESC AS: BEG ON NS 1/4 LN AT PT 990 FT S OF CENTER OF SEC 17 - E 20FT - S ALNG W LN OF PLAT OF IRWIN PARK TO N LN OF EASTWOOD ACRES - W 20 FT - S ALNG NS 1/4 LN TO PT 173.56 FT FROM SD CEN OF SEC - S89D 46'10"W 327.98 FT - N00D 28'09"E TO PT ON S LN OF PLAT OF EAST BROOKFIELD - E 324.15 FT TO POB. ALSO THAT PART W 22.3 FT OF LOTS 64 THRU 66 LYING N OF LN BEG ON NS 1/4 LN AT PT 1735.6 FT FROM SD CEN OF SEC - N89D 46'06"E 21.53 FT TO POB & ALSO W 20 FT OF LOT 67 EASTWOOD ACRES 5.9 A.

Sections corner Witnesses

S 1/4 corner Section 17, T4N-R1W

Found 1" iron pipe in monument box, as described and recorded in Book 14, Page 290, Ingham County Records.

Center of Section 17, T4N-R1W

Found 1" iron pipe, as described and recorded in Book 14, Page 290, Ingham County Records.

Certification

I, Allan W. Pruss, P.S., 44284 being a Licensed Professional Surveyor, hereby certify to the client named hereon that I have surveyed and mapped the parcel(s) hereon described and that the relative positional precision of each corner is within the limits accepted by the practice of professional surveying and that all the requirements of P.A. 132 of 1970, as amended, have been complied with.

This plat was prepared for the exclusive use of the person, persons, or entity named in the certification hereon. Said certificate does not extend to any unnamed person without an express recertification by the surveyor naming said person.

DRAFT

	<p>INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS</p> <p>298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512 monumentengineering.com</p> <p><small>SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOSB)</small></p>	<p>CLIENT: WODA</p>
	<p>LAST REVISION:</p>	<p>SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP.</p> <p>(M) – Measured Dist. (R) – Recorded Dist. ● MON – Found Concrete Monument ● FIR/P – Found Iron Rod/Pipe ○ SIR – Set Iron Rod ▲ MAG – Set Magnetic Nail P.O.B./E. – Point of Beginning/Ending ● – Soil Evaluation Dig *-*-* – Fence</p>
	<p>DATE: 3/15/2019</p>	<p>DR. BY: DC/MA CHK BY: AP</p>
<p>SCALE: N/A</p>	<p>SHEET: 1 of 6</p>	<p>FILE : 19-022_Bndy</p>
		<p>JOB No. 19-022</p>

CERTIFIED SURVEY MAP

(REFERENCES & TRANSFER PARCEL DESCRIPTION)

References

Surveys

- A & G Associates, LLC, Job No.: S140-2013, Dated: August 10, 2013
- KEBS, Inc., Job No.: 89624.ALT, Dated: 10/26/2015
- KEBS, Inc., Job No.: 03-B-72383, Dated: 12/17/2003

Land Corner Recordation Certificate (LCRC)

- Property Controlling Corners as recorded in Book 14, Page 287
Station 119 + 36.03
Station 167 + 97.09

Subdivision Plats

- East Brookfield, Liber 15, Pages 33-35 of Ingham County Register of Deeds
- Irwin Park, Liber 25, Page 45 of Ingham County Register of Deeds
- Eastwood Acres Subdivision, Liber 17, Page 37 of Ingham County Register of Deeds

Legal Description Transfer Parcel

A part of the Southwest 1/4 of Section 17, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:

Commencing at the South 1/4 corner of said Section 17, thence along the North-South 1/4 line of said Section 17, N00°11'46"W, 173.52 feet to the centerline of Grand River Avenue (Variable - Width - Public - Right-of-Way);
 thence along said centerline Grand River Avenue, N68°23'44"E, 636.81 feet;
 thence N00°05'59"W, 230.77 feet;
 thence N89°54'01"E, 161.90 feet;
 thence N00°00'34"W, 218.05 feet;
 thence N89°36'34"E, 100.00 feet;
 thence N00°00'34"W, 88.37 feet to the POINT OF BEGINNING of the Transfer Parcel to be described;
 thence continuing N00°00'34"W, 172.59 feet to the Southwest corner of Sirhal Drive (66 Foot - Wide - Public - Right-of-Way);
 thence, N83°55'29"E, 328.27 feet;
 thence, N89°47'43"E, 22.30 feet into Lot 66 of the Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of Ingham County Records;
 thence S00°13'47"E thru Lot 66, 65 and part of 64 of said Eastwood Acres Subdivision, 205.91 feet;
 thence, S89°45'14"W, 349.52 feet to the POINT OF BEGINNING containing 1.525 acers.

DRAFT

	INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS 298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512 monumentengineering.com <small>SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOSB)</small>	CLIENT: WODA SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP. (M) – Measured Dist. (R) – Recorded Dist. ● MON – Found Concrete Monument ● FIR/P – Found Iron Rod/Pipe ○ SIR – Set Iron Rod ▲ MAG – Set Magnetic Nail P.O.B./E. – Point of Beginning/Ending ● – Soil Evaluation Dig *-*-* – Fence
	LAST REVISION:	DATE: 3/15/2019 DR. BY: DC/MA CHK BY: AP
	SCALE: N/A SHEET: 2 of 6 FILE : 19-022_Bndy	JOB No. 19-022

CERTIFIED SURVEY MAP

(RESULTANT PARCEL DESCRIPTIONS)

Legal Description Resultant Parcel A (As Surveyed)

A part of the South 1/2 of Section 7, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:

Commencing at the South 1/4 corner of said Section 17, thence along the North-South 1/4 line of said Section 17, N00°11'46"W, 1693.16 feet to the POINT OF BEGINNING of the Parcel to be described, said point also being S00°11'46"E, 991.94 feet from the Center of said Section 17;
 proceeding thence from said POINT OF BEGINNING, N89°44'12"E, 18.59 feet to the West line of Lot 4 of Irwin Park Plat as recorded in Liber 25, Page 45 of the Ingham County Records;
 thence along said West line of Irwin Park to the Southwest corner of Lot 1, S00°15'54"E, 332.69 feet;
 thence S00°13'23"E, 141.00 feet over Lot 67 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records;
 thence S89°47'43"W, 19.98 feet;
 thence, S00°13'47"E, 66.00 feet;
 thence, S83°55'29"W, 328.27 feet;
 thence, N00°00'34"W, 571.87 feet;
 thence N89°33'08"E, 325.56 feet to the POINT OF BEGINNING containing 4.368 acers, also subject to any other easements or restrictions of records.

Legal Description Resultant Parcel B (As Surveyed)

A part of the Southwest 1/4 of Section 17, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:

Commencing at the South 1/4 corner of said Section 17, thence along the North-South 1/4 line of said Section 17, N00°11'46"W, 173.52 feet to the centerline of Grand River Avenue (Variable - Width - Public - Right-of-Way);
 thence along said centerline Grand River Avenue, N68°23'44"E, 636.81 feet to the POINT OF BEGINNING of the Parcel to be described;
 thence continuing along said centerline Grand River Avenue, N68°23'44"W, 149.73 feet;
 thence, N00°25'10"W, 611.77 feet to the South Right-of-Way line for Sirhal Drive (66 Foot - Wide - Public - Right-of-Way);
 thence along said South Right-of-Way line for Sirhal Drive, N83°49'18"E, 407.48 feet to the Southeast corner of said Sirhal Drive;
 thence N83°55'29"E, 328.27 feet;
 thence N89°47'43"E, 22.30 feet;
 thence S00°13'47"E, 205.91 feet over Lots 66, 65 and part of 64 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records;
 thence, S89°45'14"W, 349.52 feet;
 thence, S00°00'34"E, 88.37 feet;
 thence, S89°36'34"W, 100.00 feet;
 thence, S00°00'34"E, 218.05 feet;
 thence, S89°54'01"W, 161.90 feet;
 thence S00°05'59"E, 230.77 feet to the POINT OF BEGINNING containing 5.918 acers, also subject to the rights of the public over Grand River Avenue (Variable - Width - Public - Right-of-Way), also subject to any other easements or restrictions of record.

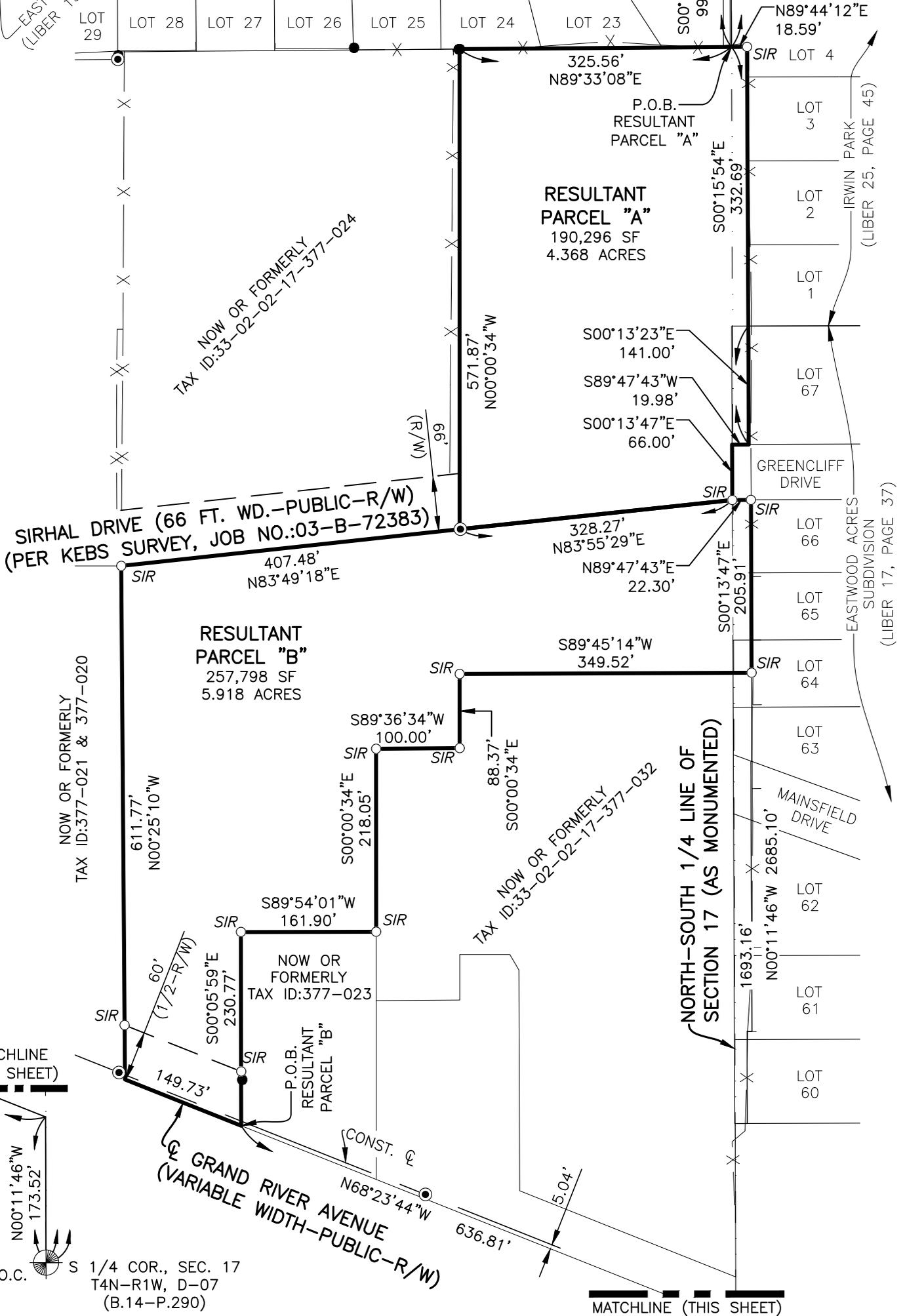
DRAFT

	INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS 298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512 monumentengineering.com <small>SERVICE DISABLED VETERAN OWNED SMALL BUSINESS (SDVOSB)</small>	CLIENT: WODA SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP. <small>(M) - Measured Dist. (R) - Recorded Dist.</small> ● MON - Found Concrete Monument ● FIR/P - Found Iron Rod/Pipe ○ SIR - Set Iron Rod ▲ MAG - Set Magnetic Nail P.O.B./E. - Point of Beginning/Ending ● - Soil Evaluation Dig *-*-* - Fence
	LAST REVISION:	DATE: 3/15/2019 DR. BY: DC/MA CHK BY: AP
SCALE: N/A	SHEET: 3 of 6	FILE : 19-022_Bndy JOB No. 19-022

CERTIFIED SURVEY MAP

C.O.S., SEC. 17
T4N-R1W, D-06
(B.14-P.290)

(RESULTANT PARCELS)



DRAFT

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

298 VETERANS DRIVE
FOWLerville,
MICHIGAN 48836
(OFFICE) 517-223-3512
monumentengineering.com

SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOB)

CLIENT: **WODA**

SW 1/4, SEC. 17, T4N-R1W, MERIDIAN TWP.

(M) - Measured Dist. (R) - Recorded Dist.

- MON - Found Concrete Monument
- FIR/P - Found Iron Rod/Pipe
- SIR - Set Iron Rod
- ▲ MAG - Set Magnetic Nail
- P.O.B./E. - Point of Beginning/Ending
- ⊙ - Soil Evaluation Dig
- * * * - Fence

SCALE: 1"=150'	SHEET: 6 of 6	FILE : 19-022_Bndy	DATE: 3/15/2019	DR. BY: DC/MA	CHK BY: AP
LAST REVISION:			JOB No. 19-022		



WOODWARD WAY LDHA, LP

2720 - 2780 SIRHAL DRIVE

MERIDIAN TOWNSHIP

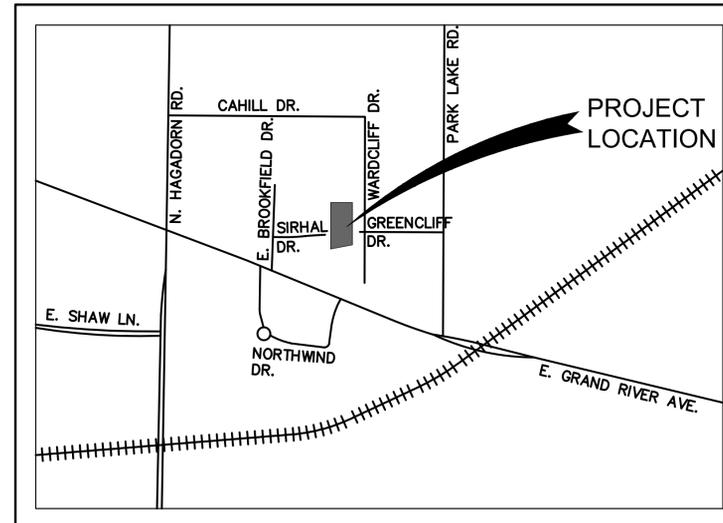
INGHAM COUNTY, MICHIGAN

INDEX OF SHEETS

CS	COVER SHEET
ATL 1	ALTA / NSPS LAND TITLE SURVEY
ALT 2	ALTA / NSPS LAND TITLE SURVEY
V-1.0	EXISTING TREE SURVEY
C0.1	EXISTING CONDITIONS & REMOVALS PLAN
C1.0	SITE PLAN
C1.1	SIRHAL DRIVE CUL-DE-SAC PLAN & PROFILE
C2.0	GRADING & DRAINAGE PLAN
C3.0	UTILITY PLAN
C4.0	X-SECTIONS, NOTES, AND DETAILS
C4.1	X-SECTIONS, NOTES, AND DETAILS
C4.2	SIDEWALK & PATHWAY DETAIL SHEET
C4.3	WATER DISTRIBUTION SYSTEM DETAIL SHEET
C4.4	SANITARY SEWER DETAIL SHEET
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE PLAN
A0-1	OVERALL PLANS - BUILDING 1
A0-2	OVERALL PLANS - BUILDING 2
A4-1	EXTERIOR ELEVATIONS - BUILDING 1
A4-2	EXTERIOR ELEVATIONS - BUILDING 2
E0.0	SITE PHOTOMETRIC PLAN

STANDARD CONSTRUCTION NOTES

- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering, ph# 517-853-4440, a minimum of 72 hours prior to the start of construction of public utilities or of construction within the public right-of-way.
- All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
- After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
- The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
- The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
- The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Meridian Charter Township, upon four hours notice, reserves the right to perform the work and deduct the cost therefore from the money due the contractor.
- A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments disturbed or destroyed by the contractor's operations.
- Contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
- Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
- Trees and shrubs are to be protected during construction and bored where necessary.
- Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
- Driveways, culverts, ditches, drain tile, tile fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
- All established lawn areas disturbed by the contractor's operations shall be resodded with matching sod. All other areas shall be seeded and mulched. Seeding and mulching shall be done in accordance with the General Specifications.
- All ditch slopes shall have established vegetation and be protected from erosion.
- All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
- Prior to acceptance of the public utility, one complete set of acceptable sealed as-built mylars, minimum 3 mills thick, and one diskette (AutoCAD format) of the site plans shall be submitted to the Office of Engineering.
- Onsite parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.



Know what's below.
Call before you dig.

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

BENCH MARKS:

BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD.
Elevation: 852.38 (NAVD 88)

BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS.
Elevation: 853.46 (NAVD 88)

OWNER

WOODWARD WAY LDHA, LP
500 S. FRONT STREET, 10TH FLOOR
COLUMBUS, OHIO 43215
PHONE: 614-396-3200

PROJECT LOCATION

SECTION 17, T4N, R1W,
MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:

Bruce A. Callen, P.E.
Callen Engineering, Inc.
108 E. Savidge St.
Spring Lake, Michigan 49456

Tel: 616-414-5260
email: bcallen@callenengineering.com

DATE OF PLAN: 08-17-21

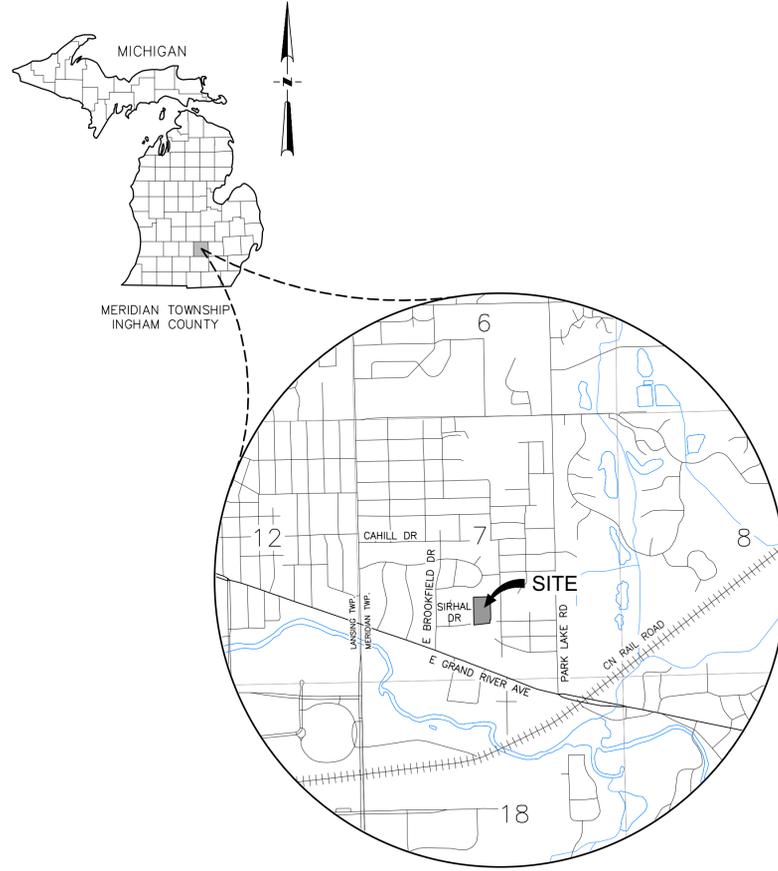
ISSUANCES	
TOWNSHIP REVIEW	02-16-21
TOWNSHIP REVIEW / RFI #12	02-16-21
SIRHAL CUL-DE-SAC REVISIONS	06-29-21
SITE PLAN AND SLU REVIEW	08-17-21
REVISIONS	
DESIGNED BY:	
Callen Engineering, Inc. <i>municipal - commercial - residential</i> 108 E. Savidge Street Spring Lake, Michigan 49456 Tel: 616-414-5260 Web: callenengineering.com	
Drawn by	J.W.C.
Engineer	A.J.B. Check B.A.C.
Callen Engineering Project No.	Sheet No.
020 WODA COOPER - WOODWARD WAY	CS



SCHEDULE B-SECTION II EXCEPTIONS

TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
TITLE COMMITMENT NO: 18-1165
EFFECTIVE DATE: NOVEMBER 04, 2020

- 10. RIGHT OF WAY FOR HIGHWAY PURPOSES GRANTED TO THE STATE HIGHWAY COMMISSION OF THE STATE OF MICHIGAN DATED MARCH 11, 1926, AND RECORDED MARCH 20, 1926, IN LIBER 11, PAGE 307, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 11. RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1956, AND RECORDED NOVEMBER 9, 1956, IN LIBER 68, PAGE 476, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 12. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 820, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 13. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 822, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN, DESCRIPTION IS SAME AS EXCEPTION 12)
- 14. EASEMENT FOR STORM AND/OR SANITARY SEWERS, AND/OR WATERLINE PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED DECEMBER 28, 1962, AND RECORDED FEBRUARY 21, 1963, IN LIBER 843, PAGE 824, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 15. TERMS AND CONDITIONS OF THE EASEMENT FOR RIGHT OF WAY DATED DECEMBER 22, 1964, AND RECORDED JANUARY 12, 1965, IN LIBER 886, PAGE 1213, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 16. RIGHT OF WAY GRANTED TO CONSUMERS POWER COMPANY DATED MARCH 29, 1967, AND RECORDED FEBRUARY 27, 1968, IN LIBER 961, PAGE 1044, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 17. EASEMENT AGREEMENT FOR SURFACE DRAINAGE AS EVIDENCED BY THE AFFIDAVIT MADE BY THOMAS S. KATALENICH ON BEHALF OF MODERN MOTELS TRAILER COURT, INC., DATED APRIL 27, 1970, AND RECORDED MAY 14, 1970, IN LIBER 1013, PAGE 1097, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 18. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1969, AND RECORDED OCTOBER 8, 1970, IN LIBER 1025, PAGE 477, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 19. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 5, 1969, AND RECORDED OCTOBER 8, 1970, IN LIBER 1025, PAGE 481, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 20. EASEMENT GRANTED TO CONSUMERS POWER COMPANY DATED NOVEMBER 1, 1971, AND RECORDED AUGUST 21, 1972, IN LIBER 1081, PAGE 960, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 21. EASEMENT GRANTED TO CONSUMERS POWER COMPANY, DATED JANUARY 26, 1980, AND RECORDED JULY 29, 1980, IN LIBER 1336, PAGE 936, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION CANNOT BE DETERMINED FROM THE RECORD DOCUMENT)
- 22. FENCE MAINTENANCE AGREEMENT DATED JUNE 17, 1988, AND RECORDED JULY 1, 1991, IN LIBER 1888, PAGE 403, INGHAM COUNTY REGISTER OF DEEDS. (IT IS NOT ON, DOES NOT TOUCH, AND/OR-BASED ON THE DESCRIPTION CONTAINED IN THE RECORD DOCUMENT - DOES NOT AFFECT, THE SURVEYED PROPERTY)
- 23. EASEMENT GRANTED TO COMCAST OF MICHIGAN, LLC DATED FEBRUARY 21, 2003, AND RECORDED MAY 21, 2003, IN LIBER 3031, PAGE 104, INGHAM COUNTY REGISTER OF DEEDS. (IT APPEARS TO BE A BLANKET EASEMENT OVER SUBJECT PARCEL)
- 24. RESTRICTIVE COVENANTS AND PROHIBITED USES DESCRIBED IN THE LEASE AGREEMENT BY AND BETWEEN G & A ASSOCIATES LLC, A MICHIGAN LIMITED LIABILITY COMPANY, LANDLORD, AND WHOLE FOODS MARKET GROUP, INC., A DELAWARE CORPORATION, TENANT, AS EVIDENCED BY THE MEMORANDUM OF LEASE DATED EFFECTIVE AS OF JULY 24, 2013, AND RECORDED NOVEMBER 20, 2014, IN DOCUMENT NO. 2014-044026, INGHAM COUNTY REGISTER OF DEEDS. (THE SUBJECT PARCEL IS A PORTION OF THE PARCEL DESCRIBED IN EXHIBIT "A")
- 25. EASEMENT FOR WATER MAIN PURPOSES GRANTED TO THE CHARTER TOWNSHIP OF MERIDIAN DATED MARCH 24, 2016, AND RECORDED SEPTEMBER 2, 2016, IN DOCUMENT NO. 2016-031940, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 26. PROCTOR DRAIN AND 50' UTILITY EASEMENT APPEARING ON THE PLAT OF EASTWOOD ACRES SUBDIVISION, OF RECORD IN LIBER 17 OF PLATS, PAGE 37, INGHAM COUNTY REGISTER OF DEEDS. (ITS LOCATION IS SHOWN)
- 27. EASEMENT FOR UNDERGROUND ELECTRIC FACILITIES GRANTED TO THE CITY OF LANSING, BOARD OF WATER AND LIGHT, DATED JANUARY 12, 2018, AND RECORDED JANUARY 26, 2018, IN DOCUMENT NO. 2018-002867, INGHAM COUNTY REGISTER OF DEEDS. (NOTE: THIS INSTRUMENT STATES THE NAME OF THE GRANTOR AS "A&G ASSOCIATES, THE RECORD TITLE HOLDER IS "G & A ASSOCIATES LLC.") (ITS LOCATION IS SHOWN)
- 28. FOR INFORMATION ONLY: AFFIDAVIT OF FACTS RELATING TO THE DEED RECORDED IN DOCUMENT NO. 2014-000973, DATED JUNE 19, 2014, AND RECORDED JUNE 23, 2014, IN DOCUMENT NO. 2014-024464, INGHAM COUNTY REGISTER OF DEEDS. (NOT SURVEY RELATED)
- 29. FOR INFORMATION ONLY: AFFIDAVIT OF SCRIVENER ERROR RELATING TO THE DEED RECORDED IN DOCUMENT NO. 2014-000973, DATED MAY 1, 2015 AND RECORDED MAY 11, 2015, IN DOCUMENT NO. 2015-018766, INGHAM COUNTY REGISTER OF DEEDS. (NOT SURVEY RELATED)



LOCATION MAP

LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 18-1165, EFFECTIVE DATE: NOVEMBER 04, 2020)

SCHEDULE A, EXHIBIT "A" DESCRIPTION:

A PART OF THE SOUTH 1/2 OF SECTION 7, TOWN 4 NORTH - RANGE 1 WEST, MERIDIAN TOWNSHIP, INGHAM COUNTY, STATE OF MICHIGAN MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 17, THENCE ALONG THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 17, N00°11'46"W, 1693.16 FEET TO THE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED, SAID POINT BEING S00°11'46"E, 991.94 FEET FROM THE CENTER OF SAID SECTION 17; PROCEEDING THENCE FROM SAID POINT OF BEGINNING ALONG THE SOUTH LINE OF LOT 4 OF IRWIN PARK AS RECORDED IN LIBER 25, PAGE 45 OF INGHAM COUNTY RECORDS, N89°44'12"E, 18.59 FEET TO THE WEST LINE OF SAID LOT 4;
 THENCE ALONG SAID WEST LINE OF IRWIN PARK TO THE SOUTHWEST CORNER OF LOT 1 OF SAID IRWIN PARK, S00°15'54"E, 332.69 FEET;
 THENCE S00°13'23"E, 141.00 FEET THRU LOT 67 OF EASTWOOD ACRES SUBDIVISION AS RECORDED IN LIBER 17, PAGE 37 OF THE INGHAM COUNTY RECORDS TO THE NORTH LINE OF GREENCLIFF DRIVE;
 THENCE ALONG SAID NORTH LINE OF GREENCLIFF DRIVE, S89°47'43"W, 19.98 FEET TO THE WEST LINE OF SAID GREENCLIFF DRIVE;
 THENCE ALONG SAID WEST LINE OF GREENCLIFF DRIVE, S00°13'47"E, 66.00 FEET;
 THENCE S83°55'29"W, 328.27 FEET TO THE SOUTHEAST CORNER OF SIRHAL DRIVE (66 FOOT WIDE - PUBLIC - RIGHT-OF-WAY);
 THENCE N00°00'34"W, 571.87 FEET TO A POINT ON THE SOUTH LINE OF EAST BROOKFIELD;
 THENCE ALONG SAID SOUTH LINE OF EAST BROOKFIELD, N89°33'08"E, 325.56 FEET TO THE POINT OF BEGINNING CONTAINING 4.368 ACRES, ALSO SUBJECT TO ANY OTHER EASEMENTS OR RESTRICTIONS OF RECORDS.

WOODWADR WAY ALTA/NSPS LAND TITLE SURVEY

TABLE A ITEM NOTES

- ITEM 1: 1, 4, 7(a), 7(b)(1), 8 & 13.
(SEE PLAN VIEW ON ALT-2 SHEET FOR MORE INFORMATION)
- ITEM 2: THERE IS NO POSTED ADDRESS ON SITE; NO BUILDINGS WERE OBSERVED, SUBJECT PROPERTY IS VACANT LAND.
- ITEM 3: FLOOD ZONE
FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN ARE APPROXIMATE.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF INGHAM, COMMUNITY PANEL NO. (26065C0152D), EFFECTIVE DATE AUGUST 16, 2011.
- ITEM 9: EXISTING PARKING
THERE ARE NO STRIPED PARKING SPACES ON THE SUBJECT PROPERTY.
- ITEM 16: AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED SURFACE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- ITEM 17: AT THE TIME OF THIS SURVEY, THERE WAS NO OBSERVED EVIDENCE OF ANY RECENT CHANGES IN STREET RIGHT-OF-WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION.

SHEET INDEX

- ALT-1 = ALTA COVER
- ALT-2 = ALTA SURVEY

SURVEY REFERENCE

- 1. GEODETIC DESIGNS, INC., JOB NO.: S140-2013, DATED: AUGUST 10, 2013.

EXISTING LEGEND

MISCELLANEOUS NOTES

- 1. THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA SIRHAL DRIVE, A PUBLIC RIGHT-OF-WAY. GREENCLIFF DRIVE IS NOT MAINTAINED AT THIS TIME, BUT PER CONVERSATION WITH THE INGHAM COUNTY ROAD COMMISSION, IT IS STILL A PUBLIC RIGHT OF WAY.
- 2. THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN SCHEDULE A OF TITLE AGENCY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 18-1165, EFFECTIVE DATE: NOVEMBER 04, 2020.

UTILITY NOTES

- 1. THE SITE WAS ONCE A TRAILER PARK AND MULTIPLE TYPES OF UTILITY LINES THAT SERVICED THE INDIVIDUAL SITES MAY STILL BE IN THE GROUND.
- 2. ALL FRANCHISE UTILITIES (GAS, FIBER, CABLE, UG ELEC., TELE.) SHOW ARE BASED ON MISS DIG MARKINGS LOCATED AT TIME OF SURVEY UNLESS NOTED OTHERWISE.
- 3. THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

UTILITY REFERENCE

WM:	MERIDIAN TOWNSHIP ~ LANSING BOARD WATER & LIGHT
RECEIVED:	12/3/20
SAN:	MERIDIAN TOWNSHIP
RECEIVED:	NO RESPONSE
STORM:	MERIDIAN TOWNSHIP ~ INGHAM CO. DRAIN COMMISSION
RECEIVED:	NO RESPONSE
GAS:	CONSUMERS ENERGY
RECEIVED:	12/3/20
ELEC:	CONSUMERS ENERGY
RECEIVED:	N/A
PHONE/CABLE:	AT&T ~ COMCAST ~ SPECTRUM BROAD BAND ~ METRO FIBERNET
RECEIVED:	12/8/20 ~ NO RESPONSE ~ NO RESPONSE ~ 12/4/20

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
 MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: N42°43'40.80", LON: W84°27'14.40", ELEV: 851, SCALE FACTOR: 1.00012476).

CERTIFICATION

TO: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(a), 7(b)(1), 8, 9, 13, 16 & 17 OF TABLE A THEREOF.

THE FIELD WORK WAS COMPLETED ON 12/9/2020.

MARC E. BUDZINSKI, PS
 PROFESSIONAL SURVEYOR NO. 4001053492

12/10/2020
 DATE OF PLAT OR MAP:

THIS SURVEY PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATION HEREON. SAID CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED THIRD PERSON WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID THIRD PERSON.



Call MISS DIG
 3 full working days before you dig.

Utility Notification Organization
 1-800-482-7171
 www.missdig.org

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CLIENT :
WODA COOPER COMPANIES, INC.
 500 S. FRONT ST.,
 10TH FLOOR
 COLUMBUS, OH 43215

ALTA/NSPS LAND TITLE SURVEY
 WOODWARD WAY
 SIRHAL DRIVE, EAST LANSING
 PART OF SW 1/4, SEC. 17, T4N-R1W
 MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

DATE	
PLAN SUBMITTALS/REVISIONS	

ORIGINAL ISSUE DATE:
 12/4/2020

PROJECT NO: 19-022

SCALE: N/A

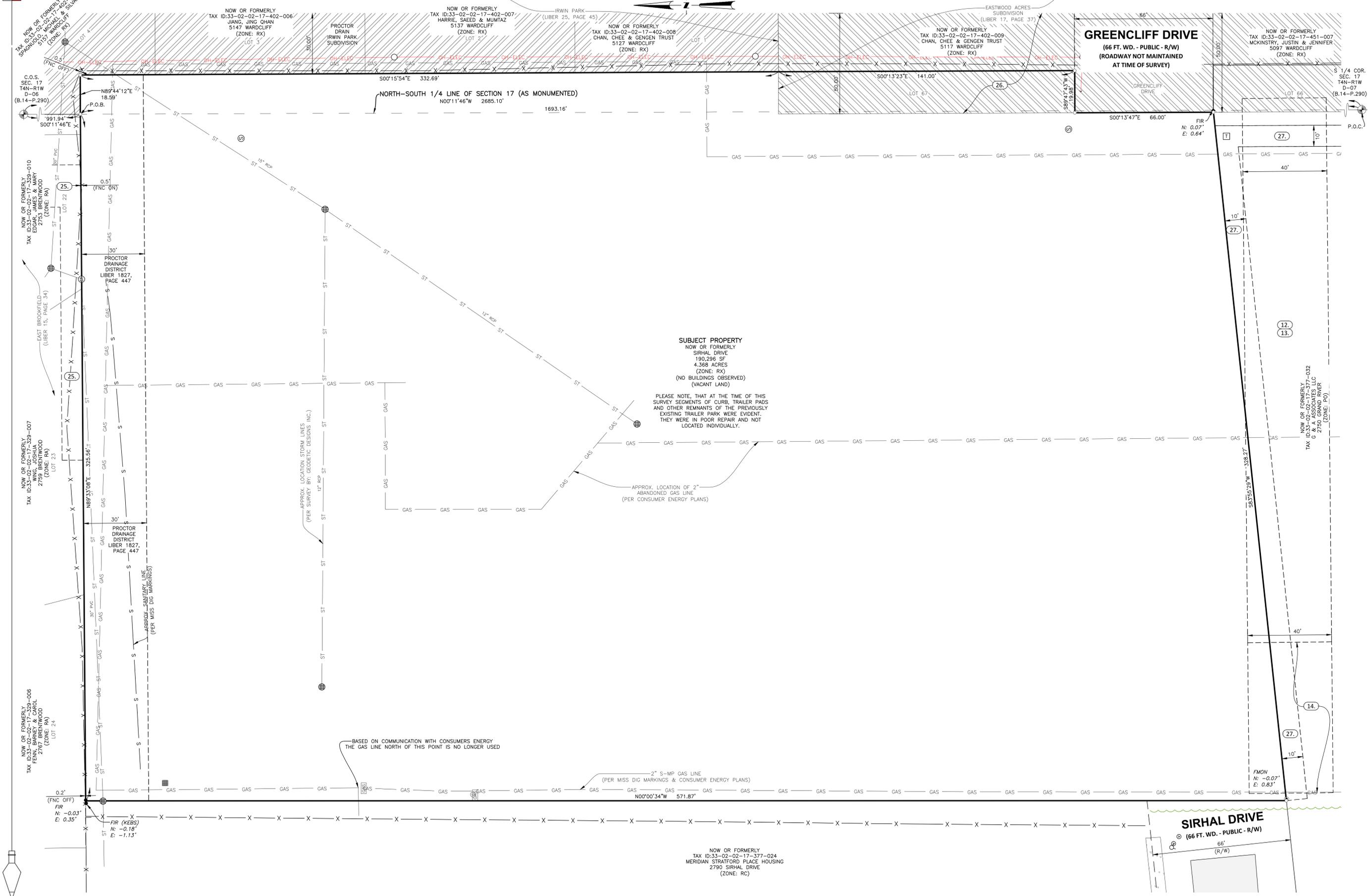
FIELD:
 DRAWN BY: DC
 DESIGN BY: N/A
 CHECK BY: MB

ALT-1

NOT FOR CONSTRUCTION



WOODWARD WAY ALTA/NSPS LAND TITLE SURVEY



SUBJECT PROPERTY
NOW OR FORMERLY
SIRHAL DRIVE
190,296 SF
4.368 ACRES
(ZONE: RX)
(NO BUILDINGS OBSERVED)
(VACANT LAND)

PLEASE NOTE, THAT AT THE TIME OF THIS SURVEY SEGMENTS OF CURB, TRAILER PADS AND OTHER REMNANTS OF THE PREVIOUSLY EXISTING TRAILER PARK WERE EVIDENT. THEY WERE IN POOR REPAIR AND NOT LOCATED INDIVIDUALLY.

APPROX. LOCATION OF 2" ABANDONED GAS LINE (PER CONSUMER ENERGY PLANS)

BASED ON COMMUNICATION WITH CONSUMERS ENERGY THE GAS LINE NORTH OF THIS POINT IS NO LONGER USED

2" S-MP GAS LINE (PER MISS DIG MARKINGS & CONSUMER ENERGY PLANS)

ENGINEERS - SURVEYORS
CONSULTANTS - LAND PLANNERS

298 VETERANS DRIVE
FOWLERVILLE,
MICHIGAN 48836
(OFFICE) 517-223-3512
MONUMENTENGINEERING.COM
SERVICE DISABLED VETERAN OWNED
SMALL BUSINESS (SDVOSB)

DRAFT

Call MISS DIG
3 full working days before you dig:

Michigan's Utility Notification Organization
1-800-482-7171
www.missdig.org

CLIENT :

WODA COOPER COMPANIES, INC.
500 S. FRONT ST.,
10TH FLOOR
COLUMBUS, OH 43215

ALTA/NSPS LAND TITLE SURVEY

WOODWARD WAY
SIRHAL DRIVE, EAST LANSING
PART OF SW 1/4, SEC. 17, T4N-R1W
MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN

PLAN SUBMITTALS/REVISIONS	DATE

ORIGINAL ISSUE DATE: 12/4/2020

PROJECT NO: 19-022

SCALE: N/A
0 1/2" 1"

FIELD:
DRAWN BY: DC
DESIGN BY: N/A
CHECK BY: MB

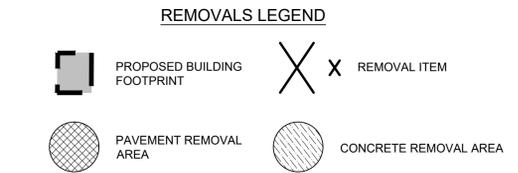
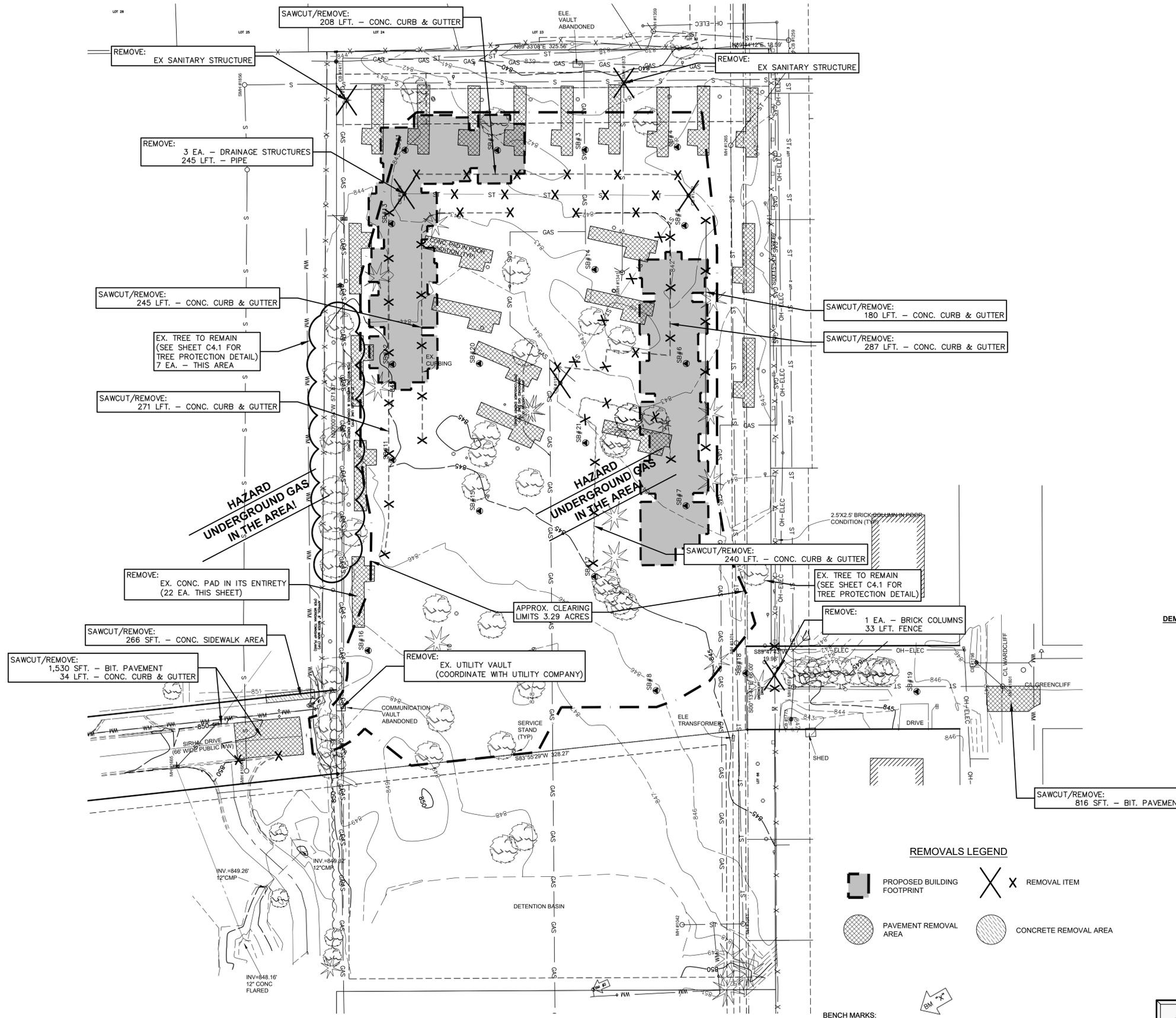
ALT-2

NOT FOR CONSTRUCTION

NO.	ISSUANCE / REVISION	DATE
1	TOWNSHIP REVIEW / RFI #12	09/22/21
2	SIRHAL CUL-DE-SAC REVISION	09/29/21
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/06/21
4	PRELIMINARY DRAIN COMMISSION REVIEW	08/17/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 EXISTING CONDITIONS & REMOVALS PLAN

PROJECT	DATE
020 WOODWARD WAY	DEC '20
AS NOTED	DEC '20
SCALE	AUG '21
DRAWING	1:1
PROJECT	020 WOODWARD WAY
SHEET NO.	C0.1



BENCH MARKS:
 BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD. Elevation: 852.38 (NAVD 88)
 BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS. Elevation: 853.46 (NAVD 88)



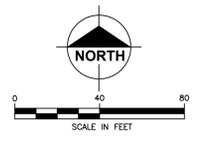
Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

811
 Know what's below.
 Call before you dig.
 DATE OF PLAN: 08-17-21

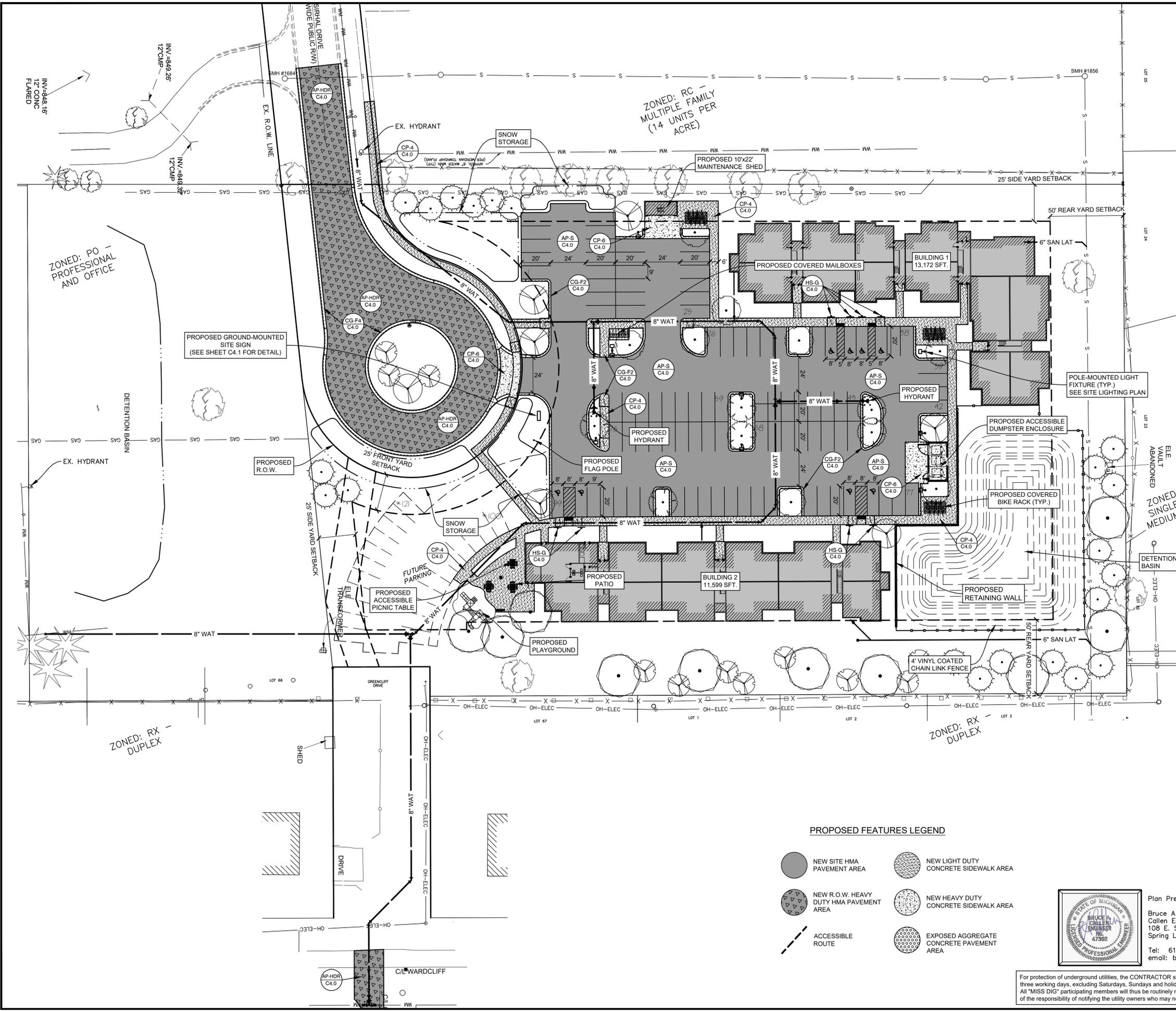
Lake Michigan Surveying LLC
 Lake Michigan Surveying, LLC
 108 E. Savidge Street
 Spring Lake, Michigan 49456
 Tel: (616)-843-7599

TOPOGRAPHIC SURVEY PERFORMED BY LAKE MICHIGAN SURVEYING, LLC.
 BOUNDARY ALTA SURVEY PERFORMED BY MONUMENT ENGINEERING GROUP ASSOCIATES, INC. (MEGA)

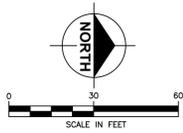


Property Address: 0 Sirhal Drive
 Parcel Number: 33-02-02-17-377-031
 Property Description:
 A part of the South 1/2 of Section 7, Town 4 North - Range 1 West, Meridian Township, Ingham County, State of Michigan more particularly described as follows:
 Commencing at the South 1/4 corner of said Section 17, then along the North-South 1/4 line of said Section 17, N00°11'46"W, 1693.16 feet to the POINT OF BEGINNING of the Parcel to be described, said point being S00°11'46"E, 991.94 feet from the Center of said Section 17;
 proceeding thence from said POINT OF BEGINNING along the South line of Lot 4 of Irwin Park as recorded in Liber 25, Page 45 of Ingham County Records, N89°44'12"E, 18.59 feet to the West line of said Lot 4;
 thence along said West line of Irwin Park to the Southwest corner of Lot 1 of said Irwin Park, S00°15'54"E, 332.69 feet;
 thence S00°13'23"E, 141.00 feet thru Lot 67 of Eastwood Acres Subdivision as recorded in Liber 17, Page 37 of the Ingham County Records to the North line of Greenciff Drive;
 thence along said North line of Greenciff Drive, S89°47'43"W, 19.98 feet to the West line of said Greenciff Drive;
 thence along said West line of Greenciff Drive, S00°13'47"E, 66.00 feet;
 thence S83°55'29"W, 328.27 feet to the Southeast corner of Sirhal Drive (66 Foot Wide - Public - Right-of-Way);
 thence N00°00'34"W, 571.87 feet to a point on the South line of East Brookfield;
 thence along said South line of East Brookfield, N89°33'08"E, 325.56 feet to the POINT OF BEGINNING containing 4.368 acres, also subject to any other easements or restrictions of records.
 Total Acreage: 4.37 Acres (190,268 sq. ft.)
 Property Zoning: RC - MULTIPLE FAMILY (14 UNITS PER ACRE)
 Setbacks:
 Front: 50 ft.
 Side: 50 ft. East Side, 25 ft. West side
 Rear: 25 ft.
 Maximum Allowable Building Height: 3 Stories or 40 ft.

DEMOLITION NOTES
 CONCRETE SLABS SHOWN ARE THOSE THAT WERE VISIBLE AT THE TIME OF THE TOPOGRAPHICAL SURVEY. ADDITIONAL CONCRETE SLABS AND OTHER REMNANTS OF THE MOBILE HOME PARK MAY EXIST THAT WERE NOT VISIBLE/IDENTIFIED DURING THE TOPOGRAPHICAL SURVEY FIELD WORK. CONTRACTOR SHALL CONTACT THE OWNER AND/OR ENGINEER TO REVIEW HISTORICAL RECORDS THAT MAY REVEAL ADDITIONAL FEATURES THAT MAY OR MAY NO LONGER EXIST.
 REMOVE AND CAP ALL EXISTING WATER SERVICES, GAS AND ELECTRIC SERVICE LEADS AT R.O.W. COORDINATE REMOVAL WITH RESPECTIVE UTILITY COMPANIES.
 CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY DEMOLITION PERMITS AND PAYING FOR ANY ASSOCIATED PERMIT FEES.
 NOTIFY ARCHITECT/ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THE DRAWING(S).
 WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH. REMOVE TO THE NEAREST JOINT, IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. VERIFY REMOVAL LIMITS WITH ENGINEER PRIOR TO BEGINNING WORK.



- GENERAL NOTES**
- PROJECT INCLUDES CONSTRUCTION OF A NEW DEVELOPMENT CONSISTING OF 49 RESIDENTIAL UNITS IN 2 - TWO STORY BUILDINGS AND RELATED PARKING, SIRHAL DRIVE CUL-DE-SAC, LANDSCAPING, SIGNAGE, LIGHTING, UTILITIES, AND STORM WATER DRAINAGE FACILITIES.
 - THE DEVELOPMENT SHALL BE SERVED BY PUBLIC WATER MAIN AND PUBLIC SANITARY SEWER.
 - ACCESS TO THE DEVELOPMENT SHALL BE VIA AN EXTENSION OF SIRHAL DRIVE.
 - STORM DRAINAGE SHALL BE DETAINED ON SITE, AND DISCHARGED TO THE PROCTOR DRAIN AT A CONTROLLED RATE, MEETING THE REQUIREMENTS OF INGHAM COUNTY GUIDELINES FOR STORM WATER MANAGEMENT.
 - PARKING AND DRIVE AREAS SHALL BE PAVED WITH BITUMINOUS AND CONCRETE PAVEMENTS.
 - PARKING: REQUIRED: 2 SPACES PER DWELLING UNIT, PLUS EXPANSION CAPACITY OF 25%.
 - DWELLING UNITS = 49 APARTMENT UNITS (49*2) = 98 PARKING SPACES
TOTAL = 98 SPACES
 - EXPANSION CAPACITY = 25% (98*0.25) = 25 PARKING SPACES
TOTAL = 25 SPACES
 - PROVIDED: 99 SPACES, INCLUDING EIGHT (8) BARRIER FREE SPACES.
 - 22 EXPANSION AREA SPACES
24 BICYCLE SPACES
 - TOTAL = 145 SPACES, INCLUDING EIGHT (8) BARRIER FREE SPACES, AND 24 BICYCLE SPACES.**
 - NEW SIGNAGE SHALL CONFORM TO THE REQUIREMENTS OF THE MERIDIAN TOWNSHIP ZONING ORDINANCE.
 - PROPOSED SITE LIGHTING SHALL CONSIST OF POLE-MOUNTED FIXTURES, DIRECTED TO INHIBIT LIGHTING BEYOND PROPERTY LIMITS, MEETING THE REQUIREMENTS OF APPLICABLE SECTIONS OF THE MERIDIAN TOWNSHIP ZONING ORDINANCE.
 - LANDSCAPING AND SCREENING SHALL MEET THE INTENT OF MERIDIAN TOWNSHIP ZONING ORDINANCE.
 - ALL PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.



Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.



Know what's below.
Call before you dig.
 DATE OF PLAN: 08-17-21

Callen Engineering, Inc.
 municipal - commercial - residential
 108 E. Savidge Street
 Spring Lake, Michigan 49456
 Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY APARTMENTS
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

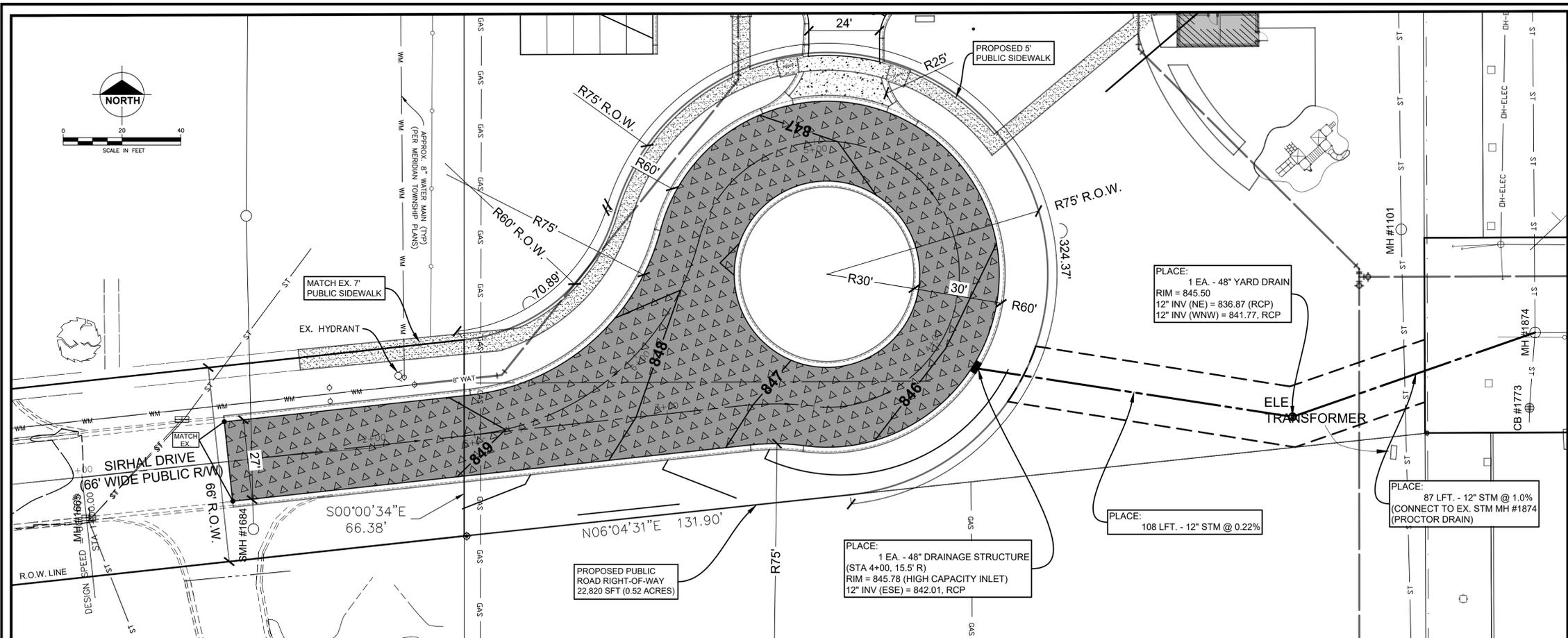
NO.	ISSUANCE / REVISION	DATE	BY
1.	SIRHAL DRIVE-SAC REVISIONS	06/29/21	B.A.C.
2.	SITE PLAN REVIEW	08/05/21	B.A.C.
3.	PRELIMINARY DRAIN COMMISSION REVIEW	08/06/21	B.A.C.
4.	SITE PLAN AND SUJ REVIEW	09/17/21	B.A.C.

REVISED IN ACCORDANCE WITH CONSTRUCTION RECORDS

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
SITE PLAN

DRAWN BY	J.W.C.	DATE	DEC '20
ENGINEER	A.J.B.	DATE	DEC '20
EDIT	J.W.C.	DATE	AUG '21
SCALE	DRAWING PLOT SCALE		
AS NOTED	1:1		
PROJECT	020 WOODWARD WAY		
SHEET NO.	C1.0		

PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

PRELIMINARY - NOT FOR CONSTRUCTION

PROPOSED SPOT ELEVATION
 EX. SPOT ELEVATION

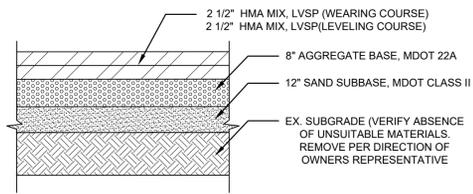
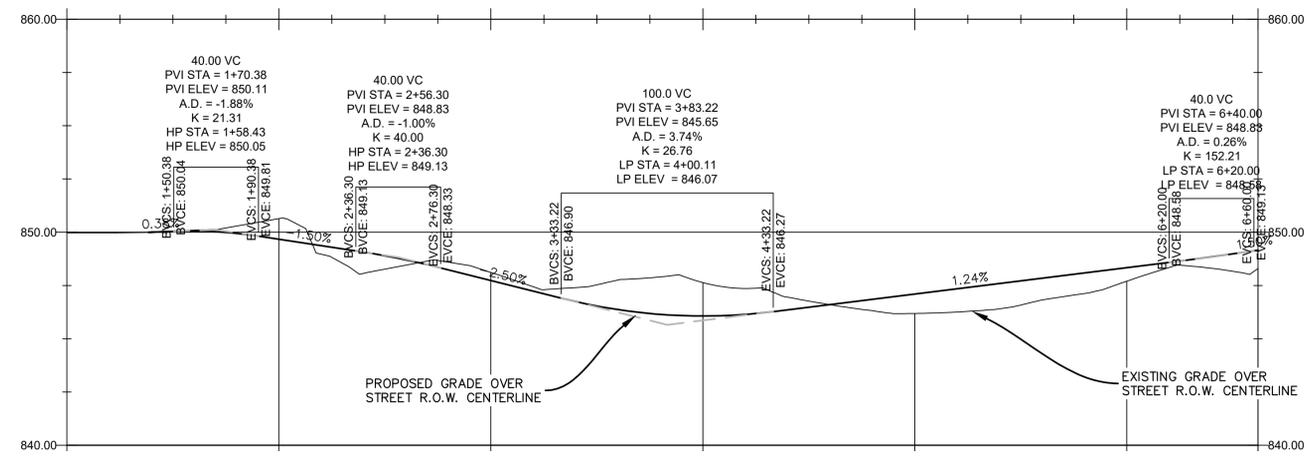
PROPOSED FEATURES LEGEND

- NEW SITE HMA PAVEMENT AREA
- NEW R.O.W. HEAVY DUTY HMA PAVEMENT AREA



W2-6

SIRHAL DRIVE

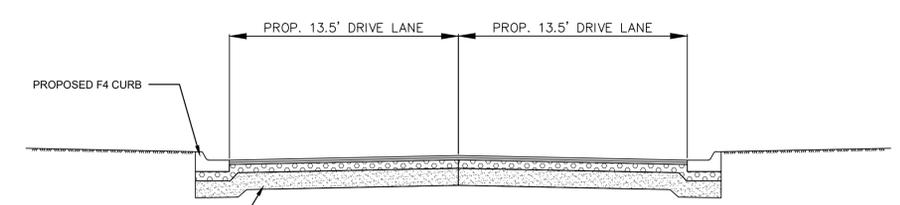


HMA R.O.W. HEAVY DUTY PAVEMENT SECTION AP-HDR
 NO SCALE

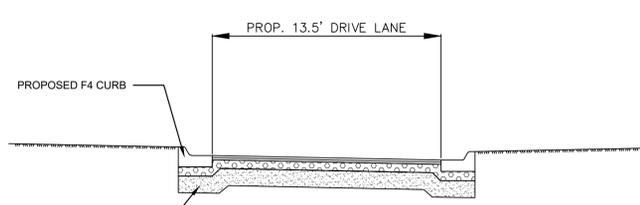
PATHWAY / SIDEWALK NOTES

1. Sidewalk - 5' (minimum) wide concrete 4" thick, 6" thick through single family residential driveways, 7" thick through multi-family residential and commercial driveways on 3" compacted sand backfill. To maintain continuity, all 4" wide concrete sidewalks shall be replaced with new 4" wide concrete sidewalk when appropriate.
2. Pathways - (adjacent to roadways) - 7' (minimum) (8' when next to a wall or other object) wide concrete, 4" thick, 6" thick through residential driveways, 7" thick through commercial driveways on 3" compacted sand backfill.
3. Pathways - (off-road) - 8' (minimum) wide concrete, 6" thick concrete on 3" compacted sand backfill or 8' (minimum) wide asphalt 3" thick (Bituminous Mixture 1500T/L) on 6" of 21AA crushed limestone (minimum 9' wide).
4. Sidewalks and pathways shall generally be placed 1 (one) foot from the ultimate right-of-way as identified on the "Street and Highway Plan". Contact the Department of Planning and Community Development for a current copy of the plan.
5. A boardwalk may be required to be installed instead of a standard concrete sidewalk/pathway if regulations do not allow their installation.
6. Pathways and sidewalks shall be constructed so as to promote proper positive surface drainage. Where ever possible the sidewalk/pathway shall be constructed 0.5' higher than the curb.
7. Retaining walls shall only be installed where all other efforts (offsite grading easements, tree relocation, etc.) to mitigate the need for such wall have been evaluated for cost effectiveness and dismissed.
8. Guardrails and handrails shall be installed where the slopes adjacent to the pathway/sidewalk cannot be constructed to 1" vertical for every 3' horizontal. The depth to the toe of the slope area will be considered when implementing this requirement.
9. Pathways or sidewalks that do not connect to an existing pathway/sidewalk shall provide a gradual transition to existing ground. A "path ends" sign shall be posted at all pathway/sidewalk termini.
10. Maximum slope of sidewalk is 5%. Cross slope is 2%.
11. All existing bituminous and concrete to be removed shall be sawcut.
12. Expansion joint to be placed at 100' intervals.
13. All lumber to be pressure treated (Osmose 33 or equal) to 0.4 retention.

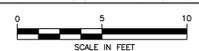
STATION	EXIST. CENTERLINE ELEV'S. (TYP.)	PROP. CENTERLINE ELEV'S. (TYP.)
1+00	849.97	
1+20	850.03	
1+40	850.04	
1+60	850.20	
1+80	849.99	
2+00	850.64	
2+20	849.67	
2+40	848.81	
2+60	848.30	
2+80	848.76	
3+00	848.50	
3+20	848.67	
3+40	848.36	
3+60	848.11	
3+80	847.73	
4+00	847.30	
4+20	847.11	
4+40	847.53	
4+60	846.54	
4+80	847.86	
5+00	846.18	
5+20	847.63	
5+40	846.07	
5+60	847.37	
5+80	846.16	
6+00	846.77	
6+20	846.48	
6+40	846.38	
6+60	846.79	
6+80	846.19	
7+00	847.10	
7+20	846.28	
7+40	847.41	
7+60	846.58	
7+80	847.72	
8+00	847.05	
8+20	846.03	
8+40	847.70	
8+60	848.33	
8+80	848.45	
9+00	848.64	
9+20	848.17	
9+40	848.98	
9+60	848.30	
9+80	849.16	



SIRHAL DRIVE TYPICAL X-SECTION



SIRHAL DRIVE CUL-DE-SAC X-SECTION



Callen Engineering, Inc.
 municipal - commercial - residential
 108 E. Savidge Street
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 Web: callenengineering.com

WOODWARD WAY LDHA, LP
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW / RFI #2	B.A.C.	09/29/21
2	SIRHAL DRIVE CUL-DE-SAC	B.A.C.	09/29/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	09/29/21
4	SITE PLANNING SLU REVIEW	B.A.C.	09/29/21
5	REVISION IN ACCORDANCE WITH CONSTRUCTION RECORDS	B.A.C.	09/17/21

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 SIRHAL DR CUL-DE-SAC PLAN & PROFILE



Know what's below.
 Call before you dig.

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PROJECT	SCALE
020 WOODWARD WAY	AS NOTED
PROJECT SHEET NO.	1:1

DATE OF PLAN: 08-17-21
C2.3

PRELIMINARY - NOT FOR CONSTRUCTION

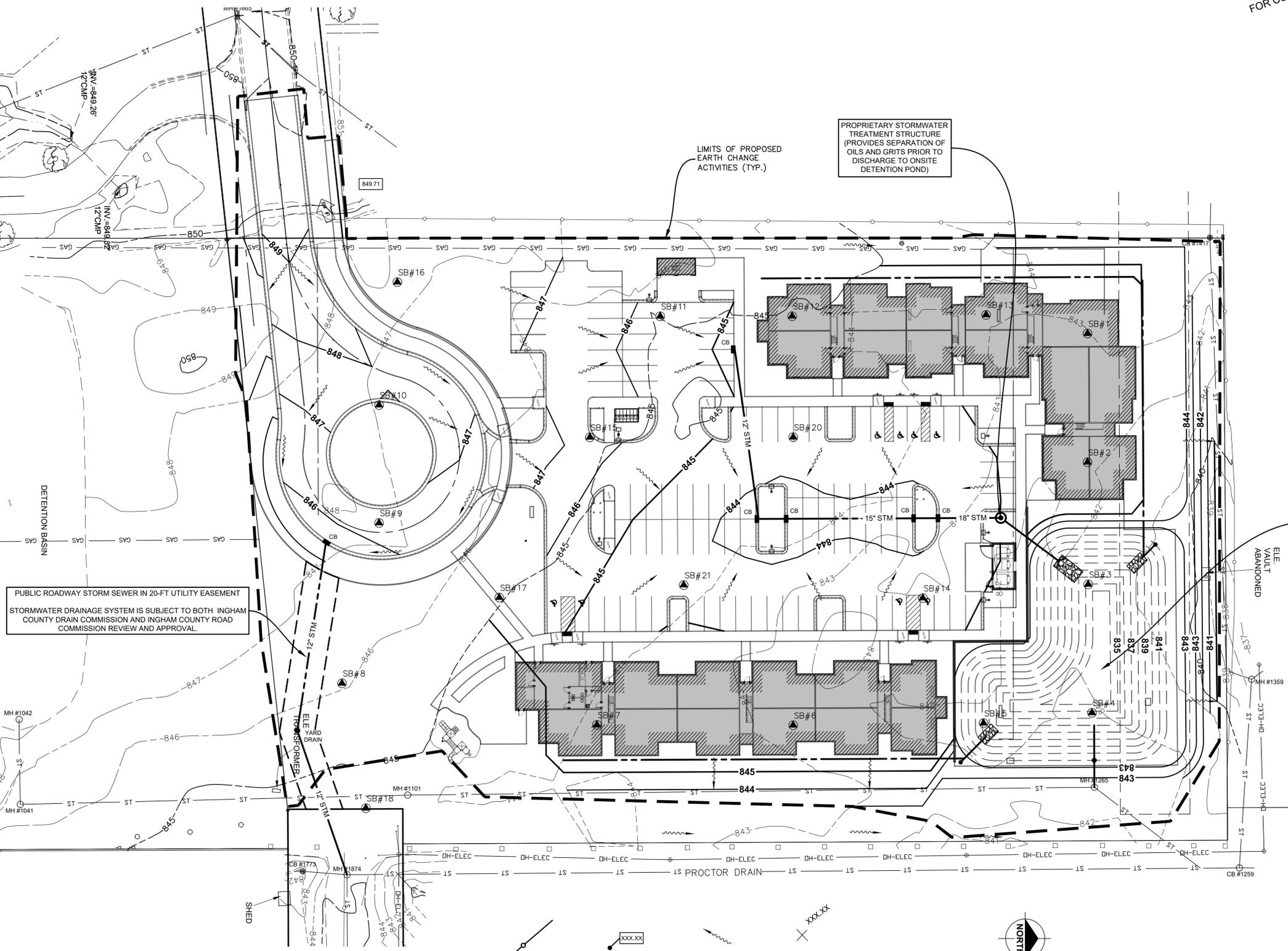


Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
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 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

STORMWATER DRAINAGE SYSTEM SHALL COMPLY WITH RULES OF THE INGHAM COUNTY DRAIN COMMISSIONER 2005 EDITION, AS AMENDED.

PROPRIETARY STORMWATER TREATMENT STRUCTURE (PROVIDES SEPARATION OF OILS AND GRITS PRIOR TO DISCHARGE TO ONSITE DETENTION POND)

STORMWATER DETENTION POND w/ PERMANENT POOL (PROVIDES ONSITE DETENTION OF STORMWATER PRIOR TO CONTROLLED-RATE DISCHARGE TO THE PROCTOR COUNTY DRAIN)
 STORMWATER DRAINAGE SYSTEM IS SUBJECT TO INGHAM COUNTY DRAIN COMMISSION REVIEW AND APPROVAL.



PUBLIC ROADWAY STORM SEWER IN 20-FT UTILITY EASEMENT
 STORMWATER DRAINAGE SYSTEM IS SUBJECT TO BOTH INGHAM COUNTY DRAIN COMMISSION AND INGHAM COUNTY ROAD COMMISSION REVIEW AND APPROVAL.



BENCH MARKS:
 BM 1 TOP OF MAIN PUMPING VALVE ON HYDRANT ON NORTH SIDE OF SIRHAL DR. AT END OF ROAD. Elevation: 852.38 (NAVD 88)
 BM 2 TOP OF MAIN PUMPING VALVE ON HYDRANT AT NORTH SIDE OF REAR PARKING LOT OF WHOLE FOODS. Elevation: 853.46 (NAVD 88)

SUBSURFACE CONDITIONS
 Contractor(s) shall familiarize themselves with the information and findings presented in the Geotechnical Evaluation Report prepared by SME dated Feb. 22, 2021. SME Project No. 085947.00

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WOODWARD WAY LDHA, LP
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1.	TOWNSHIP REVIEW	B.A.C.	02/12/21
4.	TOWNSHIP REVIEW / INT #12	B.A.C.	05/25/21
5.	SERIAL CD-DE-SAC REVISIONS	B.A.C.	06/29/21
6.	SITE PLAN AND SUJ REVIEW	B.A.C.	08/17/21

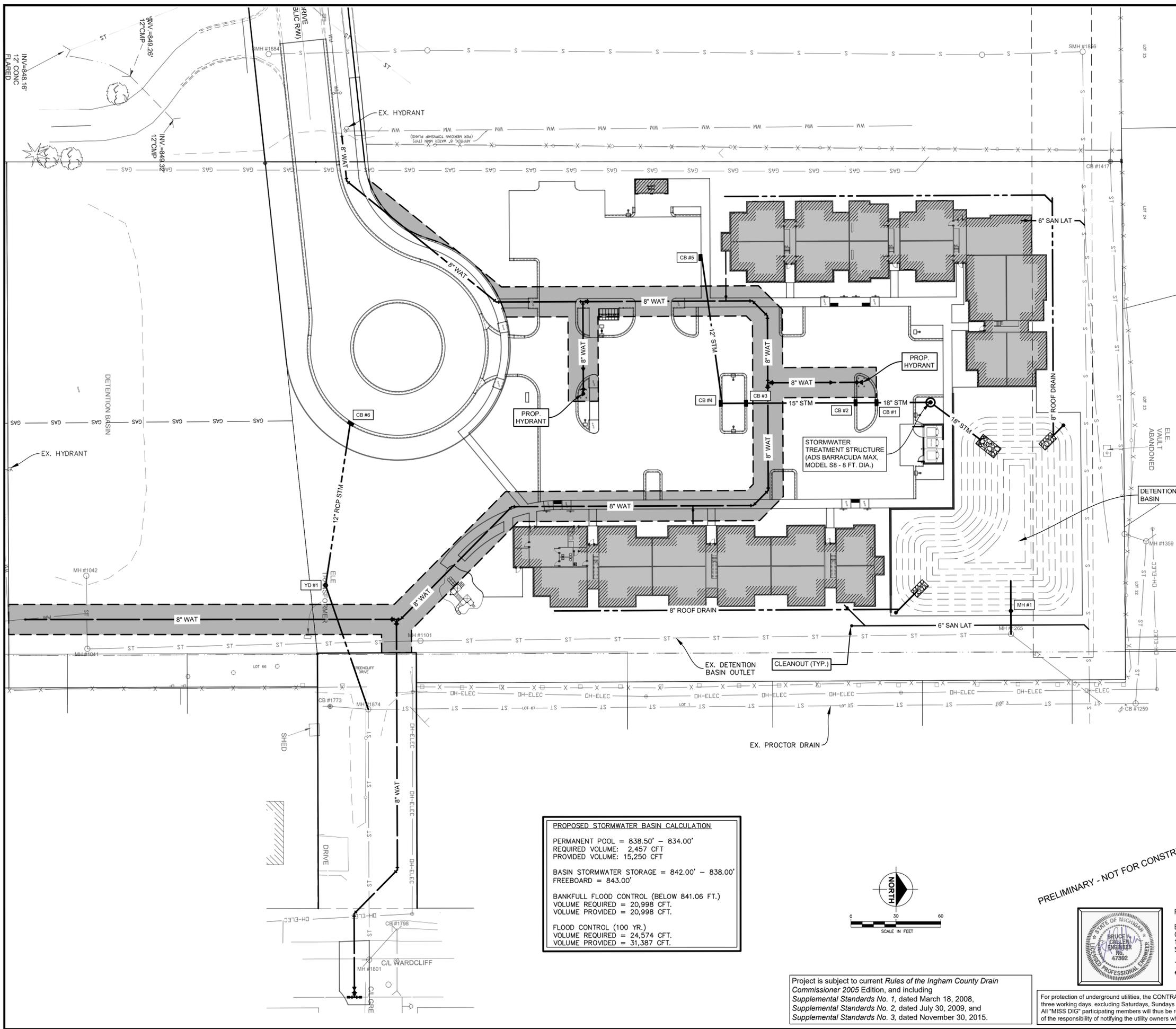
WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 GRADING & DRAINAGE PLAN

DRAWN BY	DATE
J.W.C.	DEC '20
A.J.B.	DEC '20
J.W.C.	AUG '21

PROJECT 020 WOODWARD WAY
 SHEET NO. **C2.0**



Know what's below.
 Call before you dig.
 DATE OF PLAN: 08-17-21



**STORM STRUCTURE SCHEDULE
(THIS SHEET)**

- MH #1 (4' DIA W/ PARTITION WALL) RIM = 844.00 FT
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)
12" INV (E) = 838.40 FT (SOLID WALL HDPE @ 0.22%)
12" INV (W) = 838.60 FT (SOLID WALL HDPE @ 0.22%)
TOP OF WALL = 842.00 FT
2" ORIFICE = 838.50 FT (WATER QUALITY)
4" ORIFICE = 841.06 FT (BANKFULL / FLOOD CONTROL)
- EX. MH #1265 RIM = 844.25 (ADJUST)
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)
EX. 14" INV (N) = 837.70 FT
EX. 12" INV (S) = 838.00 FT
12" INV (W) = 837.80 FT (SOLID WALL HDPE @ 0.22%)
- EX. MH #1874 (4' DIA) RIM = 844.88 FT
(COVER: EJIW 1046 Z SERIES W/ M2 GRATE OR A.E.)
EX. 12" INV (S) = 833.28 FT
EX. 12" INV (N) = 833.28 FT
EX. 12" INV (E) = 834.68 FT
12" INV (SW) = 836.00 FT (RCP STM @ 0.22%)
- CB#1 (4' DIA) RIM = 844.30 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
18" INV (N) = 839.51 FT (SOLID WALL HDPE @ 0.22%)
15" INV (S) = 839.61 FT (SOLID WALL HDPE @ 0.22%)
- CB#2 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
15" INV (N) = 839.64 FT (SOLID WALL HDPE @ 0.22%)
15" INV (S) = 839.74 FT (SOLID WALL HDPE @ 0.22%)
- CB#3 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (N) = 839.90 FT (SOLID WALL HDPE @ 0.22%)
12" INV (S) = 840.00 FT (SOLID WALL HDPE @ 0.22%)
- CB#4 (4' DIA) RIM = 843.57 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (N) = 840.03 FT (SOLID WALL HDPE @ 0.22%)
12" INV (WSW) = 841.03 FT (SOLID WALL HDPE @ 0.22%)
- CB#5 (2' DIA) RIM = 844.75 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (ENE) = 841.25 FT (SOLID WALL HDPE @ 0.22%)
- CB#6 (4' DIA) RIM = 845.78 FT (COVER: EJIW 7066 Z SERIES
W/ 7060 T1 HOOD OR A.E.)
12" INV (ESE) = 842.01 FT (RCP STM @ 0.22%)
- YD#1 (4' DIA) RIM = 845.50 FT (COVER: EJIW 1000
02 GRATE OR A.E.)
12" INV (NE) = 836.87 FT (SOLID WALL HDPE @ 1.00%)
12" INV (WNW) = 841.77 FT (SOLID WALL HDPE @ 0.22%)

STORM STRUCTURE NOTES

- STORM SEWER LENGTHS PROVIDED ARE MEASURED FROM CENTER OF STRUCTURE. RIM ELEVATIONS ARE MEASURED AT EDGE OF METAL.
- STORM SEWER SHALL BE WATER-TIGHT, SOLID-WALL HDPE OR APPROVED EQUAL, UNLESS INDICATED ON THE PLANS.
- MANHOLES AND CATCH BASINS SHALL BE IN ACCORDANCE WITH MDOT STANDARD SPECIFICATIONS. CATCH BASINS SHALL INCLUDE 2-FT SUMP.
- CONNECTIONS TO MANHOLES SHALL BE MADE WITH A RESILIENT CONNECTOR FOR PIPE DIAMETERS 24 INCHES OR LESS.
- MANHOLE RIM ELEVATIONS SHALL BE SET 1/4" BELOW PLAN GRADE. CATCH BASIN RIM ELEVATIONS SHALL BE SET 1 3/8" BELOW PLAN GRADE.
- ALL CURB DIMENSIONS ARE MEASURED FROM EDGE OF METAL.
- THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADES SHALL BE REPORTED TO ENGINEER AND ADJUSTMENTS SHALL BE MADE AT NO ADDITIONAL COST TO OWNER.

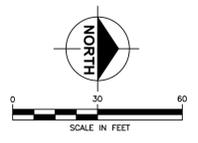
PROPOSED STORMWATER BASIN CALCULATION

PERMANENT POOL = 838.50' - 834.00'
REQUIRED VOLUME = 2,457 CFT
PROVIDED VOLUME = 15,250 CFT

BASIN STORMWATER STORAGE = 842.00' - 838.00'
FREEBOARD = 843.00'

BANKFULL FLOOD CONTROL (BELOW 841.06 FT.)
VOLUME REQUIRED = 20,998 CFT.
VOLUME PROVIDED = 20,998 CFT.

FLOOD CONTROL (100 YR.)
VOLUME REQUIRED = 24,574 CFT.
VOLUME PROVIDED = 31,387 CFT.



PRELIMINARY - NOT FOR CONSTRUCTION



Plan Prepared By:
Bruce A. Callen, P.E.
Callen Engineering, Inc.
108 E. Savidge St.
Spring Lake, Michigan 49456
Tel: 616-414-5260
email: bcallen@callenengineering.com

Project is subject to current *Rules of the Ingham County Drain Commissioner 2005 Edition*, and including *Supplemental Standards No. 1*, dated March 18, 2008, *Supplemental Standards No. 2*, dated July 30, 2009, and *Supplemental Standards No. 3*, dated November 30, 2015.

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DATE OF PLAN: 08-17-21

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municipal - commercial - residential
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Spring Lake, Michigan 49456
Tel: 616-414-5260 Web: callenengineering.com

WOODWARD WAY LDHA, LP
500 S. FRONT STREET, 10TH FLOOR
COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	DATE
1	SERIAL DUE-DE-SAP REVISIONS	06/29/21
2	SITE PLAN REVIEW	08/04/21
3	PRELIMINARY DRAIN COMMISSION REVIEW	08/09/21
4	SITE PLAN AND SUJ REVIEW	08/17/21

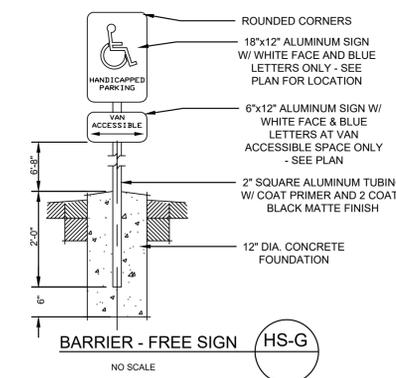
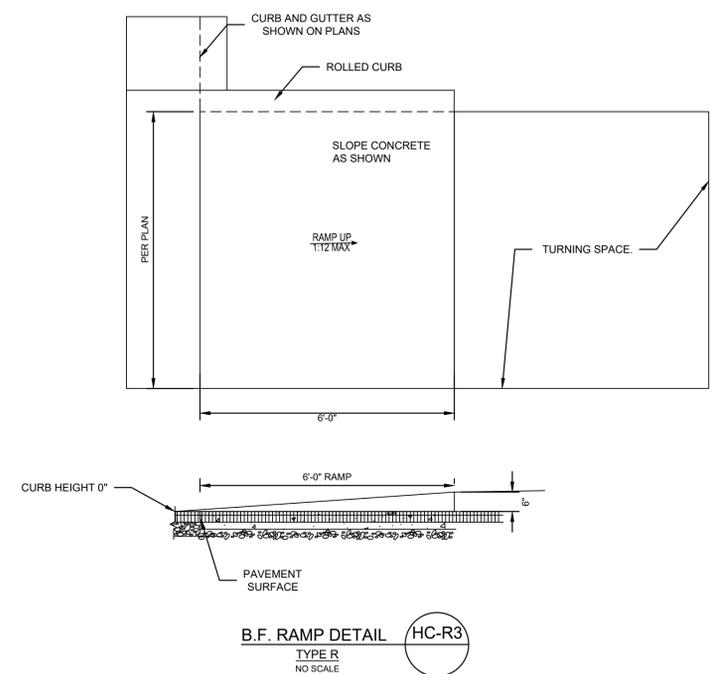
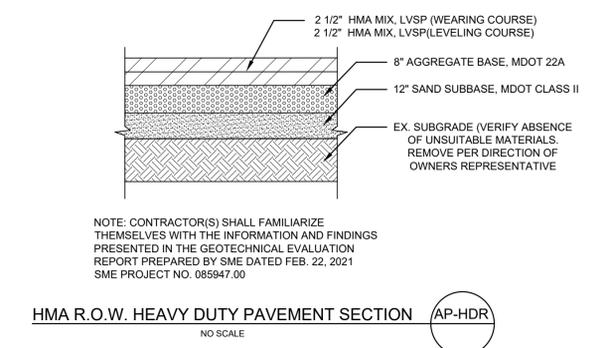
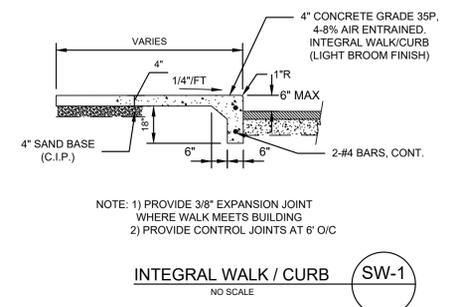
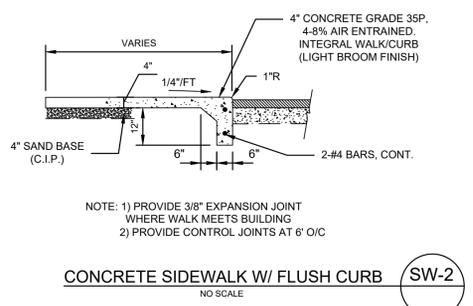
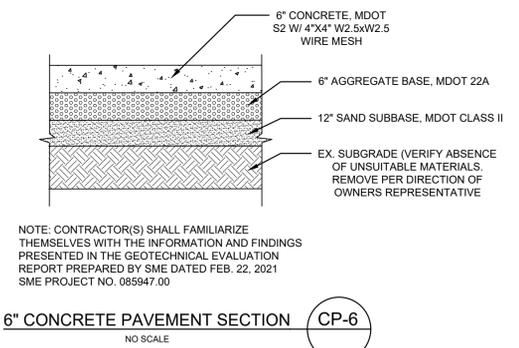
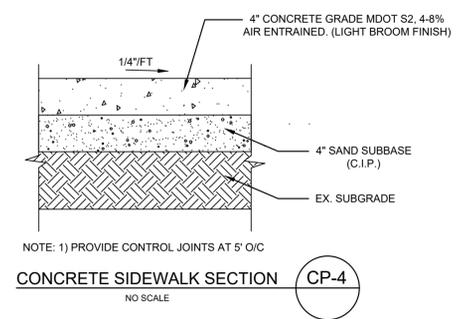
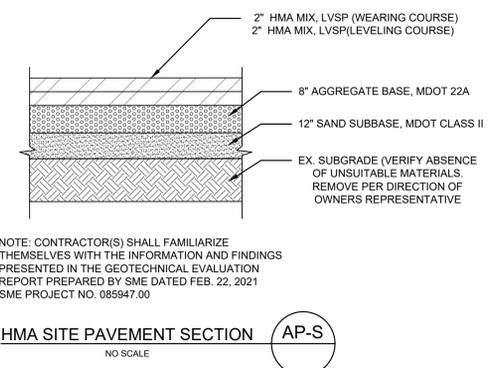
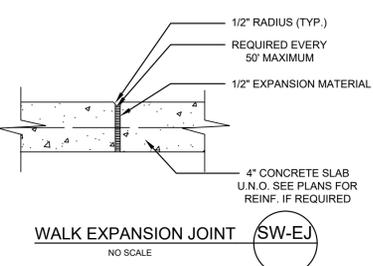
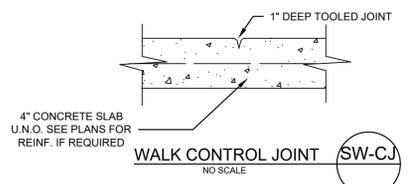
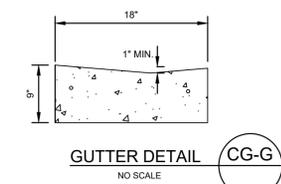
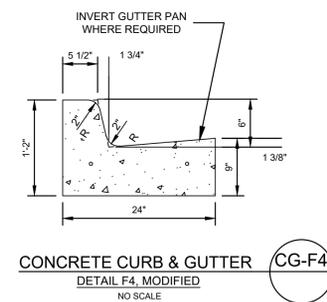
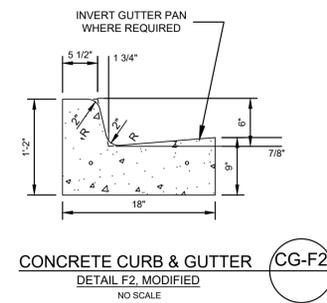
WOODWARD WAY APARTMENTS
2720 - 2780 SIRHAL DRIVE
MERIDIAN TOWNSHIP
INGHAM COUNTY, MICHIGAN
UTILITY PLAN

DRAWN BY: J.W.C. DATE: DEC '20
ENGINEER: A.J.B. DATE: DEC '20
EDIT: J.W.C. DATE: AUG '21
SCALE: AS NOTED
PROJECT: 020 WOODWARD WAY
SHEET NO: C3.0

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
2	TOWNSHIP REVIEW / RT #12	B.A.C.	02/19/21
3	SERIAL CUL-DE-SAC REVISIONS	B.A.C.	02/23/21
4	SITE PLAN AND SUJ REVIEW	B.A.C.	09/17/21

WOODWARD WAY APARTMENTS
 2720 - 2780 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 X-SECTIONS, NOTES, AND DETAILS

DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
B.A.C.	DEC '20
EDIT	DATE
J.W.C.	AUG '21
SCALE	PILOT SCALE
DRAWING	AS NOTED
AS NOTED	1:1
PROJECT	020 WOODWARD WAY
SHEET NO.	C4.0



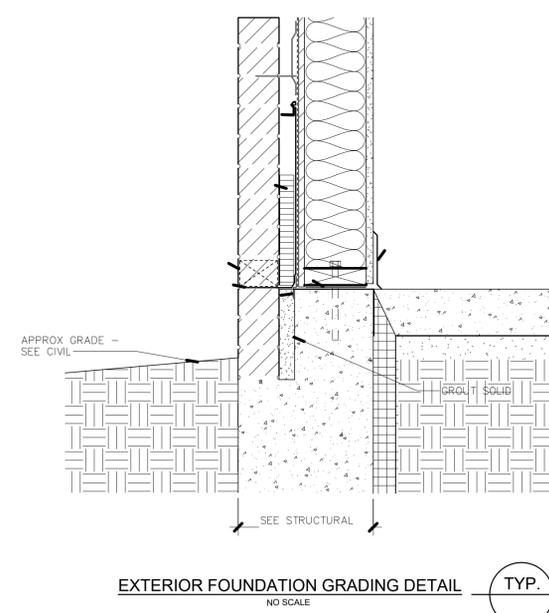
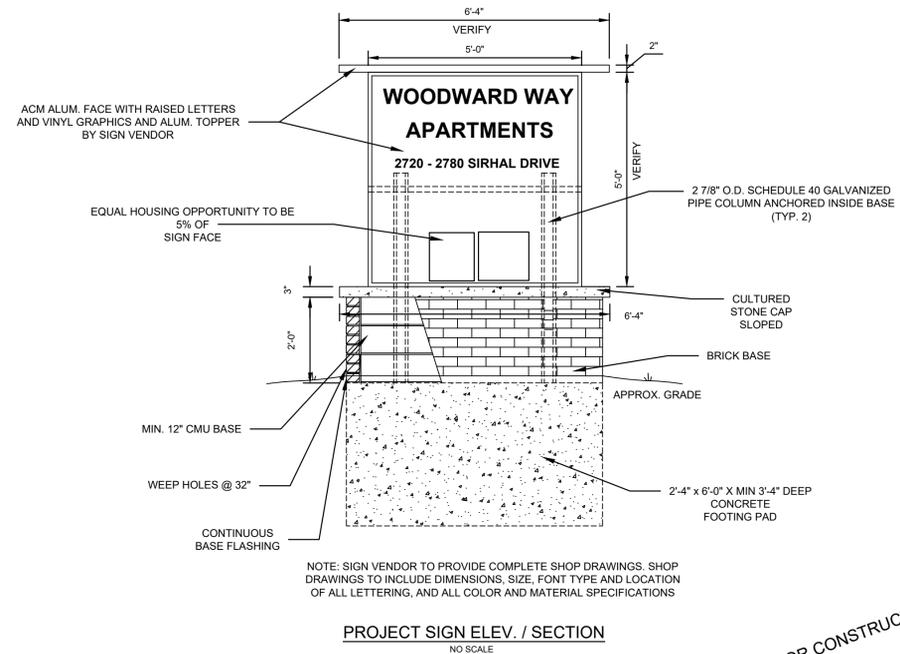
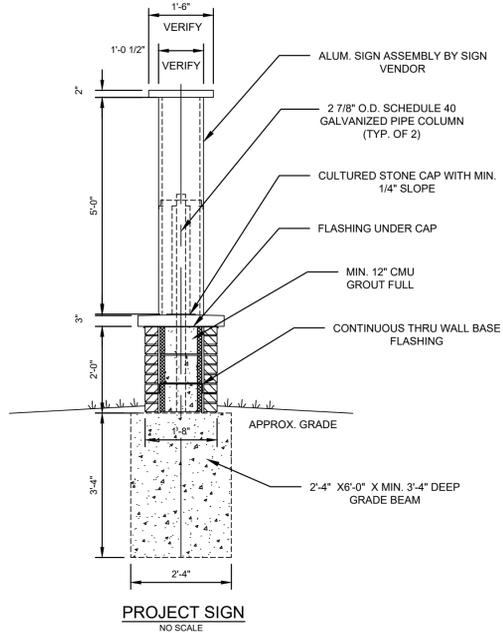
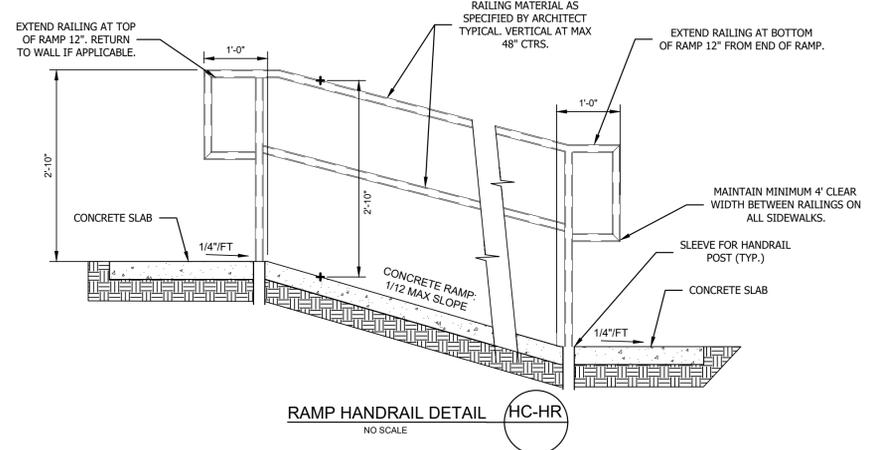
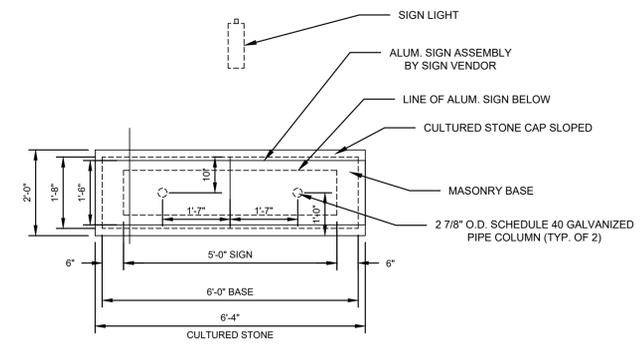
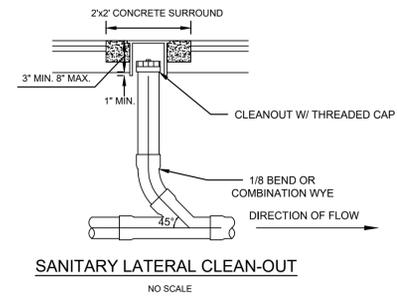
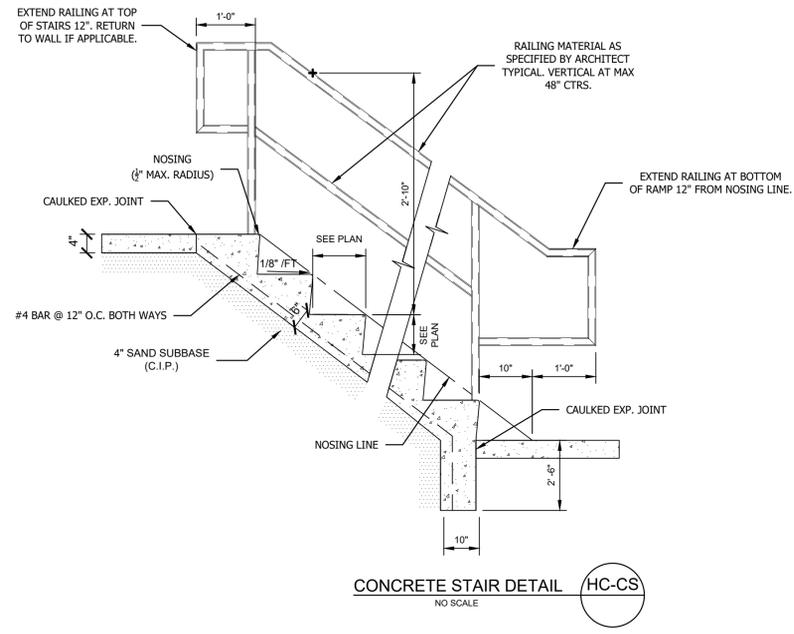
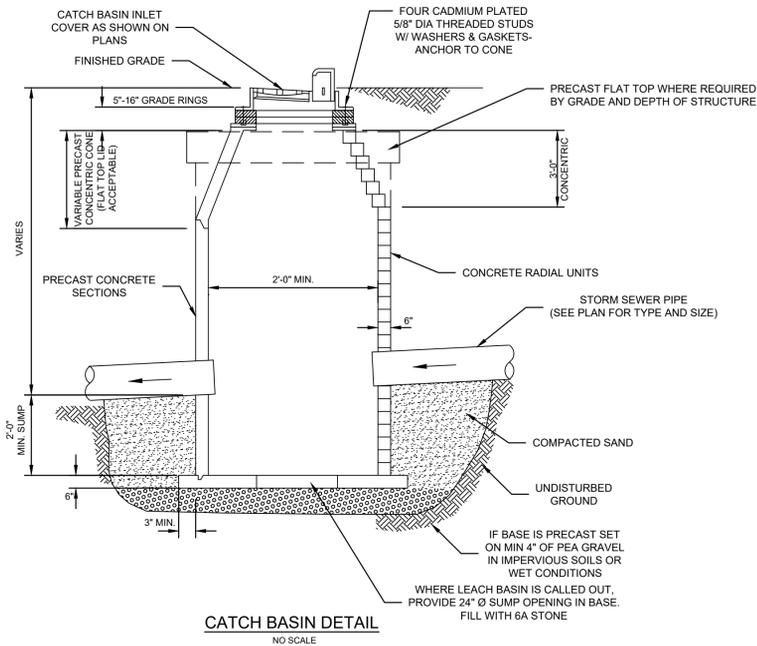
Plan Prepared By:
 Bruce A. Callen, P.E.
 Callen Engineering, Inc.
 108 E. Savidge St.
 Spring Lake, Michigan 49456
 Tel: 616-414-5260
 email: bcallen@callenengineering.com

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PRELIMINARY - NOT FOR CONSTRUCTION



Know what's below.
 Call before you dig.
 DATE OF PLAN: 08-17-21



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WOODWARD WAY LDHA, LP
 500 S. FRONT STREET, 10TH FLOOR
 COLUMBUS, OHIO 43215

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/17/21
2	TOWNSHIP REVIEW / RT #12	B.A.C.	02/25/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
4	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
5	SITE PLAN AND SUJ REVIEW	B.A.C.	08/17/21

WOODWARD WAY DEVELOPMENT
 0 SIRHAL DRIVE
 MERIDIAN TOWNSHIP
 INGHAM COUNTY, MICHIGAN
 X-SECTIONS, NOTES, AND DETAILS

PROJECT	SCALE
020 WOODWARD WAY	AS NOTED
SHEET NO.	1:1

C4.1

PRELIMINARY - NOT FOR CONSTRUCTION

NO.	ISSUANCE / REVISION	BY	DATE
1	TOWNSHIP REVIEW	B.A.C.	02/16/21
2	TOWNSHIP REVIEW / RT #2	B.A.C.	02/25/21
3	SIRHAL CUL-DE-SAC REVISIONS	B.A.C.	06/29/21
4	SITE PLAN AND SUJ REVIEW	B.A.C.	09/17/21

DRAWN BY	DATE
J.W.C.	DEC '20
ENGINEER	DATE
A.J.B.	DEC '20
EDIT	DATE
J.W.C.	AUG '21
SCALE	SCALE
DRAWING	AS NOTED
AS NOTED	1:1
PROJECT	020 WOODWARD WAY
SHEET NO.	L1.1



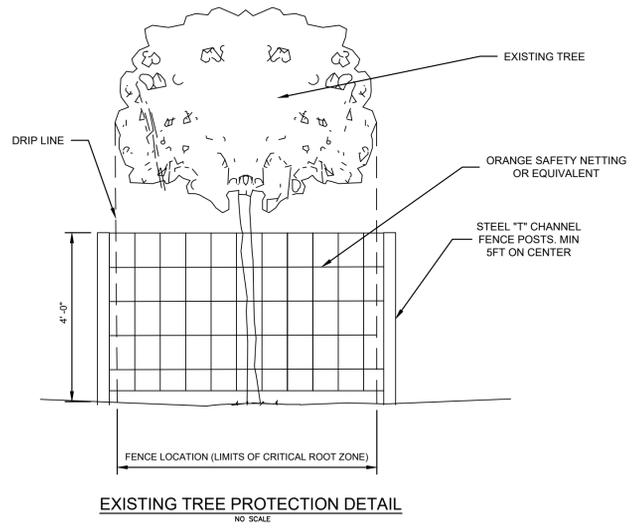
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 email: bcallen@callenengineering.com

For protection of underground utilities, the CONTRACTOR shall dial 1-800-482-7171 OR 811 a minimum of three working days, excluding Saturdays, Sundays and holidays, prior to excavation in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the CONTRACTOR of the responsibility of notifying the utility owners who may not be part of the "MISS DIG" alert system.

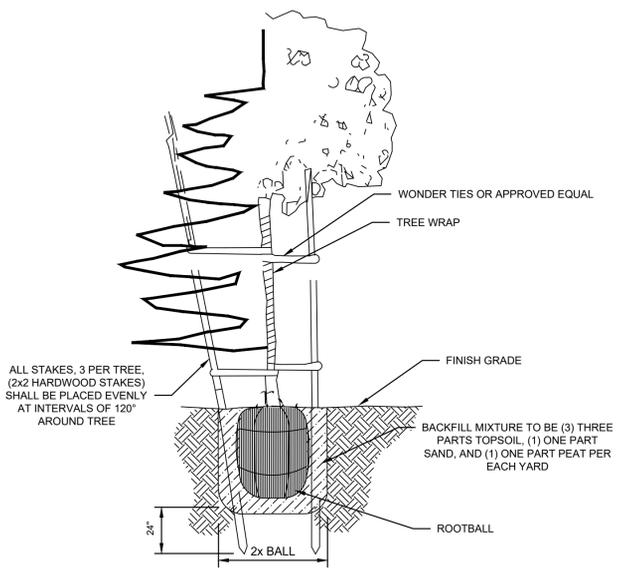


Know what's below.
 Call before you dig.
 DATE OF PLAN: 07-17-21

TREES	CODE	BOTANICAL / COMMON NAME	CONT	GAL	SIZE	QTY
	AR	Acer rubrum / Red Maple	B & B	2"Gal		10
	AC	Amelanchier canadensis / Shadblow Serviceberry Multitrunk	B & B	2"Gal		14
	CO	Celtis occidentalis 'Magnifica' / Ultra Common Hackberry	B & B	2"Gal		7
	GB	Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo	B & B	2"Gal		7
	GT	Gleditsia triacanthos inermis 'Draves' TM / Street Keeper Honey Locust	B & B	2"Gal		7
	PG	Picea glauca / White Spruce	B & B		Min 8' Ht	21

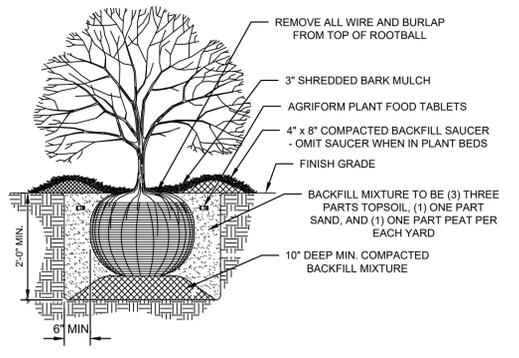


EXISTING TREE PROTECTION DETAIL
 NO SCALE

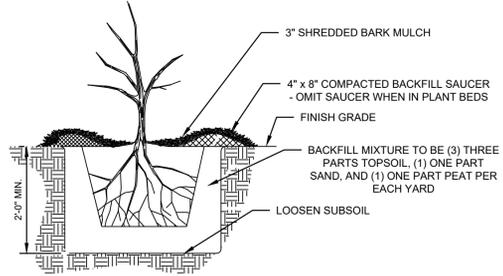


21 GRAM "AGRIFORM" PLANTING TABLETS AS FOLLOWS:
 2 TABLETS PER 1 GAL. PLANT
 3 TABLETS PER 5 GAL. PLANT
 4 TABLETS PER 15 GAL. PLANT
 LARGER PLANTS (2) TWO TABLETS PER 1/2" DIAM. OF TRUNK CALIPER

TYPICAL - TREE STAKING
 NO SCALE



SHRUB INSTALLATION
 NO SCALE

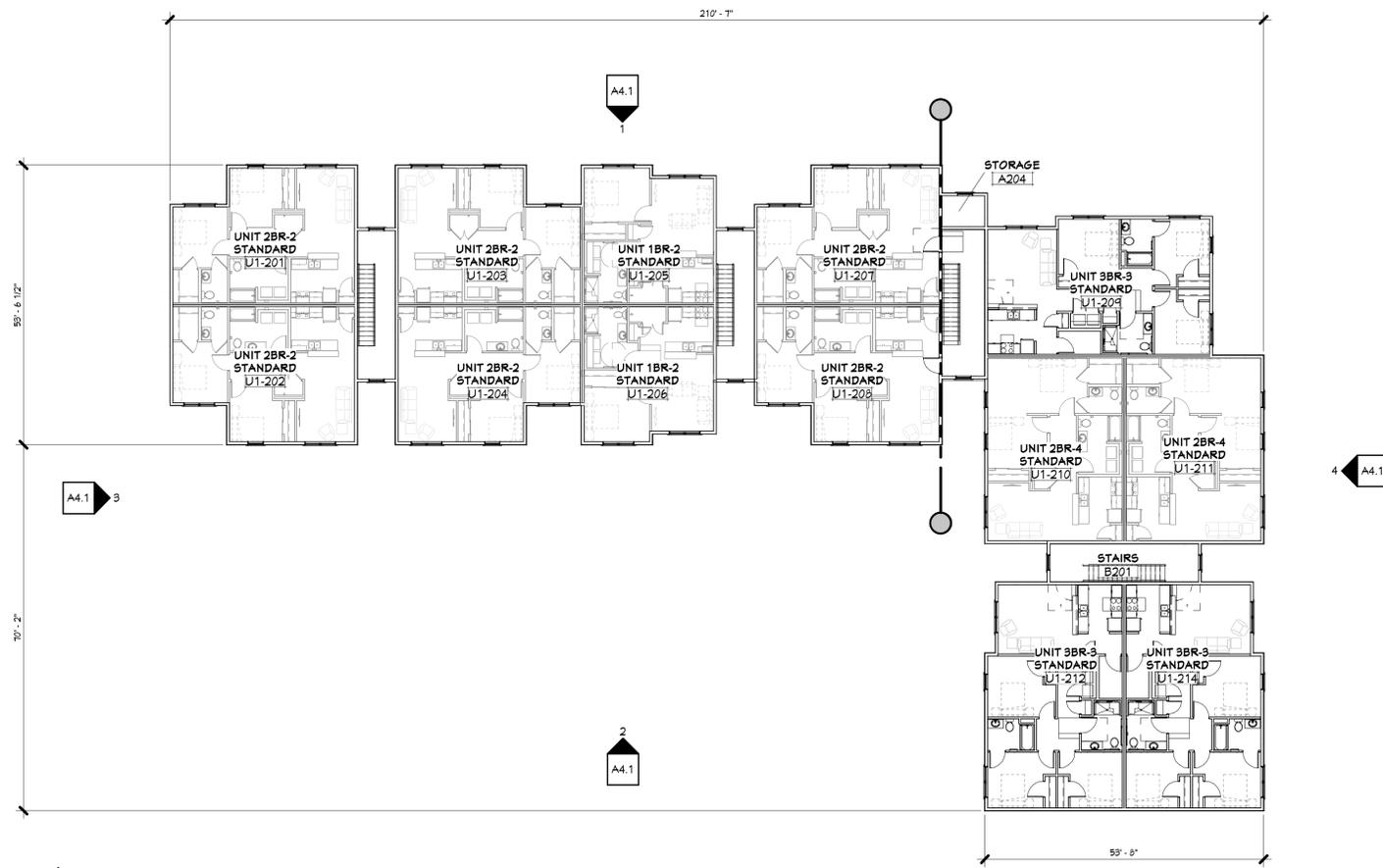


PERENNIAL INSTALLATION
 NO SCALE

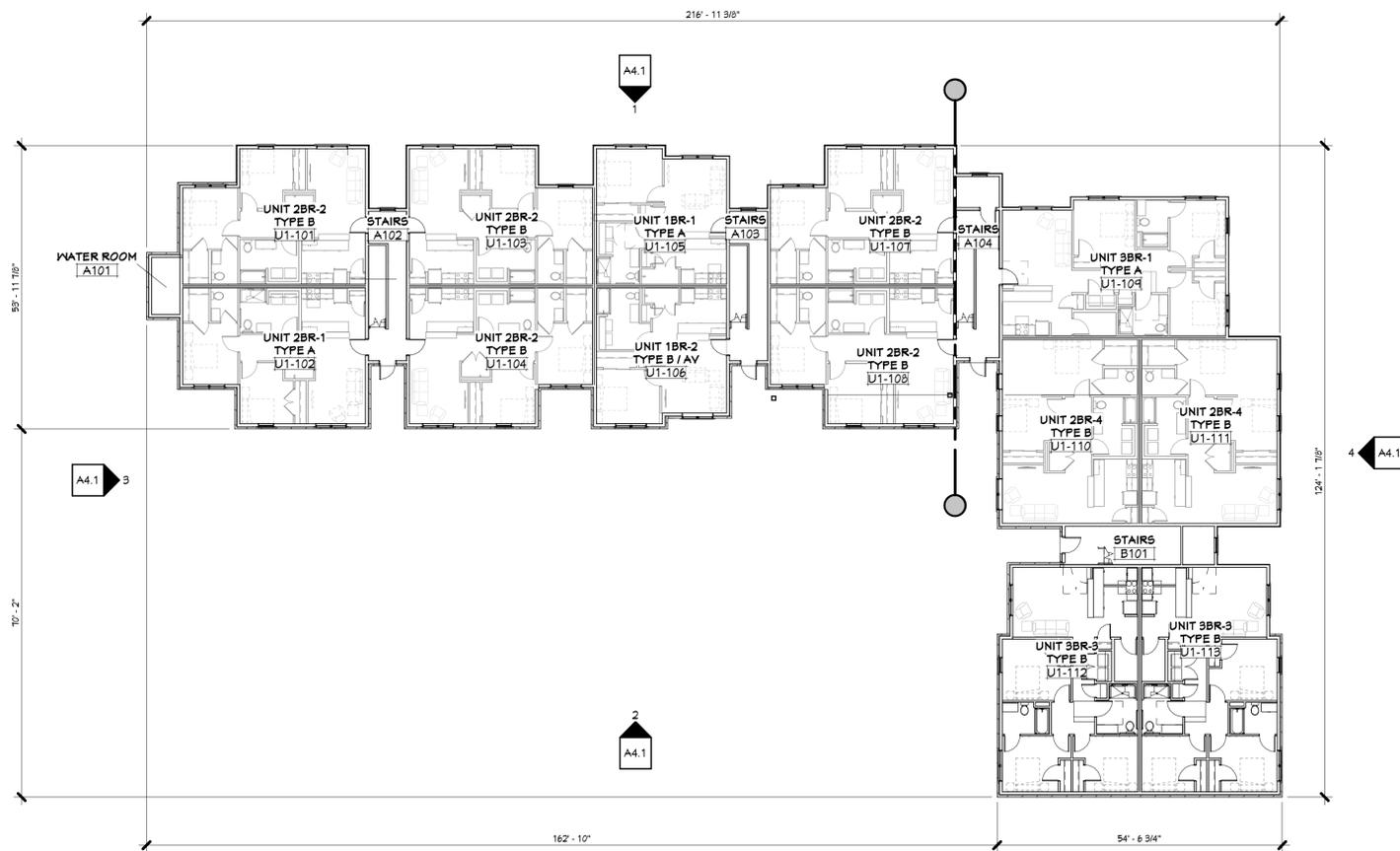
LANDSCAPE NOTES

- ALL PLANTING BEDS SHALL RECEIVE 4" OF EVENLY SPREAD SHREDDED HARDWOOD BARK MULCH OVER 4" OF TOPSOIL. MULCH SHALL BE PLACED AT ALL LOCATIONS WITH SLOPES 1:3 OR STEEPER. NO MULCH SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA.
- CONTRACTOR SHALL NOTIFY "MISS DIG" TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- CONTRACTOR SHALL PROVIDE SPECIFIED SHRUBS, GROUNDCOVERS AND OTHER PLANT MATERIALS THAT COMPLY WITH ALL RECOMMENDATIONS AND REQUIREMENTS OF ANSI 280.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE CERTIFIED TO BE HARDY TO INGHAM COUNTY, FREE OF DISEASE AND INSECTS AND BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. ALL LANDSCAPING SHALL BE MAINTAINED IN A HEALTHY, NEAT AND ORDERLY STATE, FREE FROM REFUSE AND DEBRIS. ANY DEAD OR DISEASED PLANTS SHALL BE REPLACED.
- ALL LANDSCAPE BEDS AND MULCH BORDERS ADJACENT TO LAWN AREAS SHALL HAVE A METAL EDGE UNLESS SPECIFIED OTHERWISE.
- SEED SHALL BE PLACED OVER 4" OF TOPSOIL IN ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION WITH SLOPES LESS THAN 1:3. NO TOPSOIL OR SEED SHALL BE PLACED IN DETENTION / RETENTION BASIN BOTTOM AREA. SEED MIXES SHALL BE AS FOLLOWS:
 10% TALL FESCUE
 20% PERENNIAL RYE GRASS
 30% CREEPING RED FESCUE
 40% KENTUCKY BLUEGRASS
 @ 6 LBS PER 1000 SFT.
 SEED MIXES SHALL BE DROUGHT TOLERANT @ 6 LBS PER 1,000 SFT.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH LOCAL ZONING REQUIREMENTS.
- ALL BUILDINGS WILL HAVE A 2-FOOT MAINTENANCE STRIP IN NON-LANDSCAPED AREAS ALONG THE BUILDING PERIMETER.

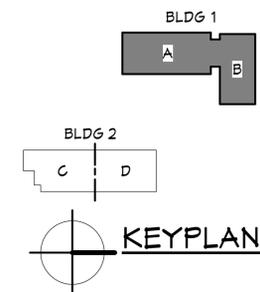
PRELIMINARY - NOT FOR CONSTRUCTION



2 OVERALL SECOND FLOOR PLAN - BUILDING 1
 A0.1 1/16" = 1'-0"



1 OVERALL FIRST FLOOR PLAN - BUILDING 1
 A0.1 1/16" = 1'-0"



Project Number	2020-0418	
ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

NOT FOR CONSTRUCTION

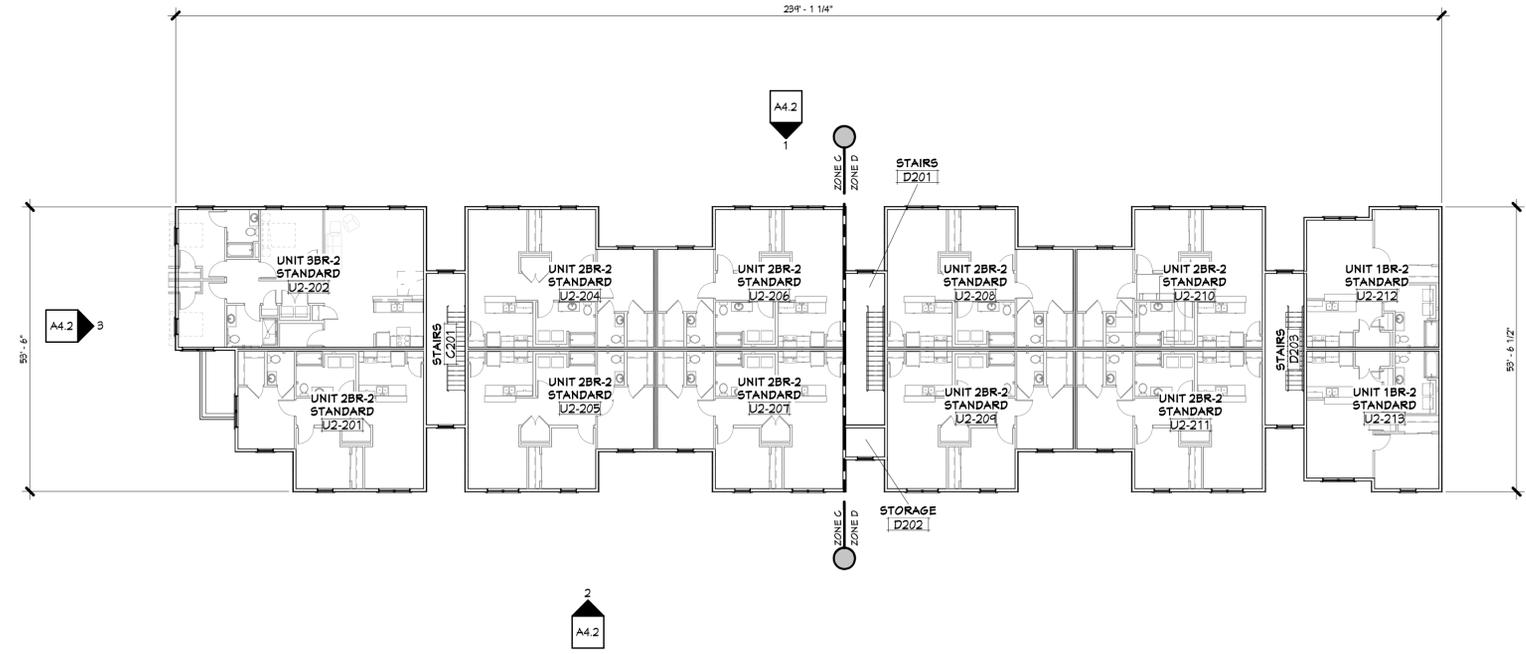
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OVERALL PLANS - BUILDING 1

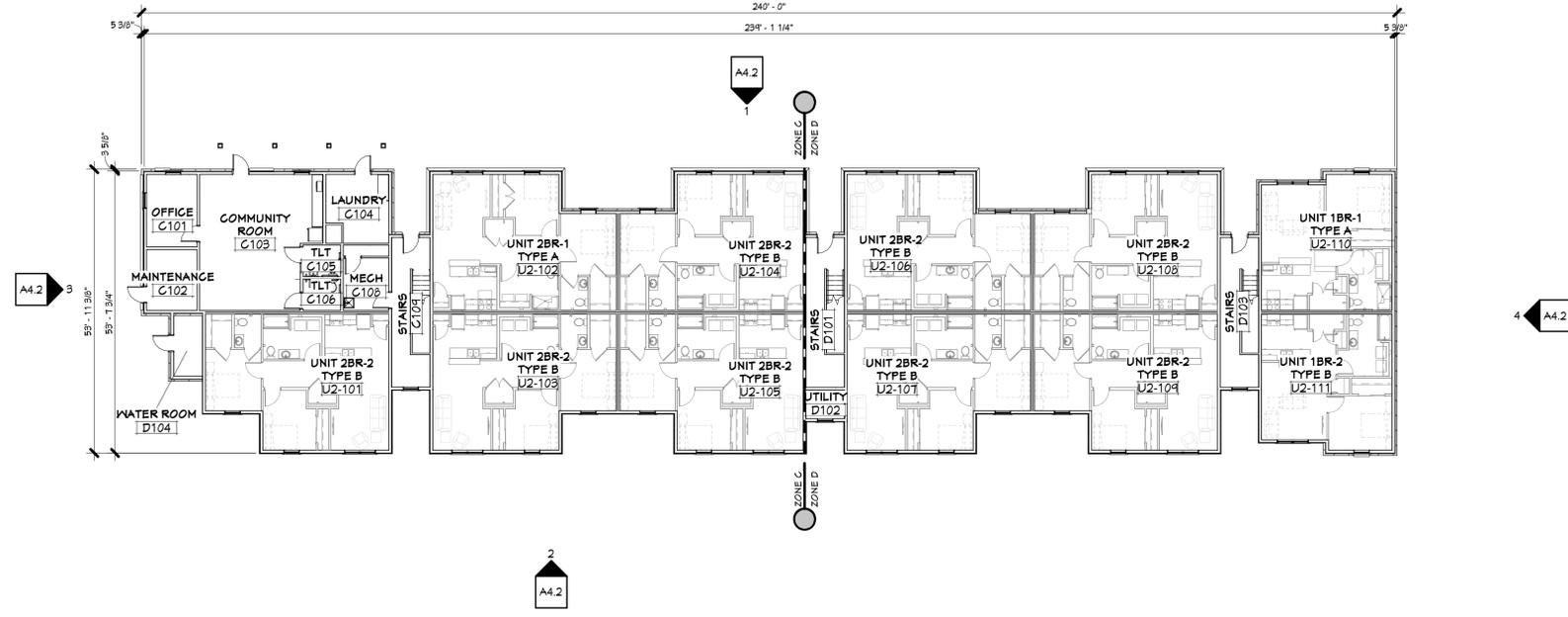
A0.1

ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

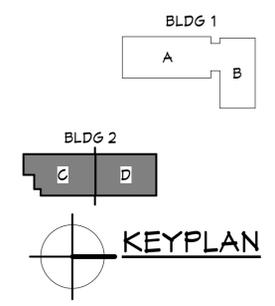
NOT FOR CONSTRUCTION



2 OVERALL SECOND FLOOR PLAN - BUILDING 2
1/16" = 1'-0"



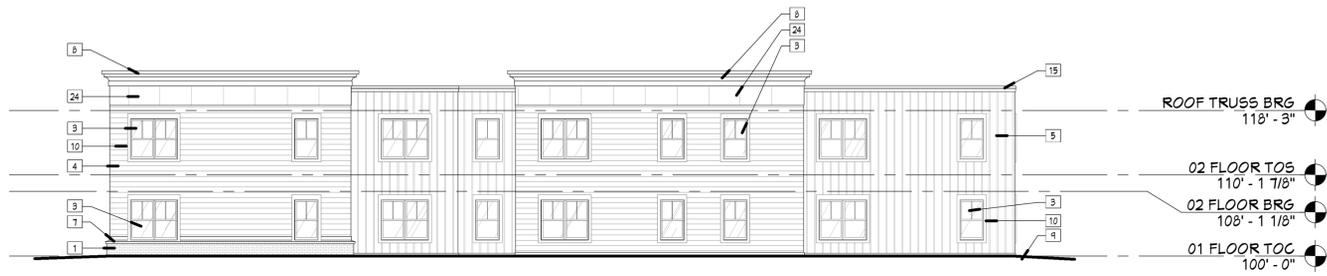
1 OVERALL FIRST FLOOR PLAN - BUILDING 2
1/16" = 1'-0"



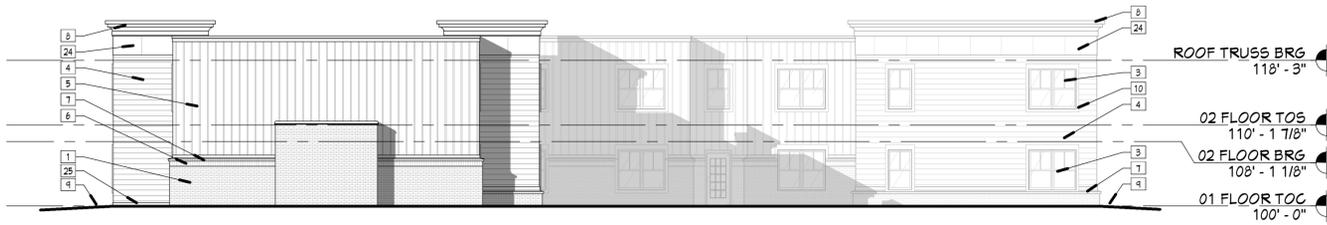
EXTERIOR FINISHES				
BUILDING EXTERIOR	MATERIAL	MANUFACTURER	COLOR	COMMENTS
ROOF	TPO	FIRESTONE	WHITE	
LAP SIDING	FIBER CEMENT	JAMES HARDIE	SLATE GRAY	
BOARD AND BATTEN	FIBER CEMENT	JAMES HARDIE	ARCTIC WHITE	
FACE BRICK	BRICK	BELDEN BRICK	TUMBLEWEED VELOUR	
GROUT	GROUT	-	GRAY	
BUILDING TRIM	FIBER CEMENT	JAMES HARDIE	MATCH SIDING	
WINDOW TRIM	PVC	-	WHITE	
WINDOWS	VINYL	PELLA	WHITE	
EXTERIOR DOORS	PAINT	-	UP IN SMOKE PPG 1010-6	
GUTTERS / DOWNSPOUTS	ALUMINUM	-	WHITE	
MAILBOXES	POWDER COAT	FLORENCE	POSTAL GRAY	

EXTERIOR ELEVATION KEYNOTES

1. FACE BRICK
2. CONTROL JOINT
3. SINGLE-HUNG WINDOWS W/ MUNTINS
4. PRE-FINISHED FIBER CEMENT HORIZONTAL LAP SIDING
5. PRE-FINISHED FIBER CEMENT VERTICAL BOARD AND BATTEN
6. BRICK SOLDIER COURSE TO MATCH FACE BRICK
7. BRICK ROYALOCK TO MATCH FACE BRICK
8. BUILT-OUT COMPOSITE CORNICE
9. APPROX. GRADE - SEE CIVIL
10. COMPOSITE TRIM BOARD
11. DECORATIVE COLUMN COVER - SEE DETAILS
12. 3X4" PRE-FINISHED METAL DOWNSPOUT
13. 5X5" PRE-FINISHED METAL GUTTER
14. PDC - SEE PLUMBING
15. PRE-FINISHED FIBER CEMENT FASCIA
16. DISCONNECT SWITCH - SEE ELECTRICAL
17. ELECTRICAL METERS - SEE ELECTRICAL
18. GAS METERS - SEE MECHANICAL
19. CONDENSING UNIT - SEE MECHANICAL
20. CONDENSER HEAD AND GUTTER
21. LIGHTING FIXTURE - SEE ELECTRICAL
22. DROP BOX
23. EXHAUST COVER
24. PRE-FINISHED FIBER CEMENT PANELS WITH REVEAL
25. 5/4 X 6 PRE-FINISHED FIBER CEMENT TRIM HELD 5" ABOVE GRADE



4 NORTH ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



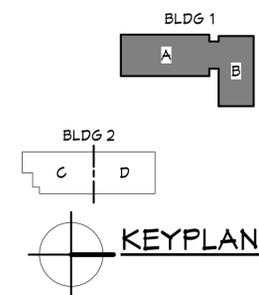
3 SOUTH ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



2 EAST ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



1 WEST ELEVATION - BUILDING 1
A4.1 3/32" = 1'-0"



Hooker DeJong Inc
ARCHITECTS • ENGINEERS • PLANNERS
316 Morris Avenue
Suite 410
Muskegon, MI 49440
P 231.722.3407
F 231.722.2589

MULTI-FAMILY RESIDENTIAL
WOODWARD WAY APARTMENTS
2720-2760 SIRIAL DRIVE - MERIDIAN TOWNSHIP, MI 48823
WOODWARD WAY LIMITED PARTNERSHIP

Project Number	2020-0418	
ISSUANCE		
No.	Date	Description
1	2021.08.17	SITE PLAN REVIEW

NOT FOR CONSTRUCTION

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EXTERIOR ELEVATIONS - BUILDING 1

A4.1

CHARTER TOWNSHIP OF MERIDIAN

Ronald J. Styka
Brett Dreyfus
Phil Deschaine
Frank L. Walsh

Supervisor
Clerk
Treasurer
Manager



Courtney Wisinski
Patricia Herring Jackson
Dan Opsommer
Kathy Ann Sundland

Trustee
Trustee
Trustee
Trustee

August 27, 2019

Woodward Limited Dividend Housing Association
Frank Fugate
500 S. Front Street, 10th Floor
Columbus, OH 43215

**RE: Special Use Permit #19111 (Woodward Limited Dividend Housing Association)
Parcel Number 17-377-031**

Dear Mr. Fugate:

At its regular meeting held on August 26, 2019 the Planning Commission voted to approve Special Use Permit #19111, your request to construct a 49-unit townhouse and apartment complex comprised of four buildings totaling 52,861 square feet on the north 4.37 acres of an undeveloped parcel identified as Parcel Number 17-377-031. Approval was granted subject to the following conditions:

1. Approval is in accordance with the site plan prepared by Monument Engineering Group Associates, Inc. dated August 7, 2019 (Revision Date August 21, 2019) and received by the Township on August 22, 2019.
2. Approval is in accordance with the building elevations and floor plans prepared by PCI Design Group, Inc. dated August 21, 2019 and received by the Township on August 22, 2019.
3. Approval of Special Use Permit #19111 is contingent on the approval of Special Use Permit #19121 by the Township Board.
4. Approval of the special use permit is subject to all voluntary conditions placed on Rezoning #19010 by the applicant.
5. The applicant shall apply for a land division to split the project site from the parent parcel prior to submitting for site plan review.
6. The applicant shall construct a five-foot wide concrete sidewalk to connect to the existing sidewalk along the north side of Sirhal Drive.
7. Site plan review approval is required to construct the housing project. The final site plan, building elevations, and landscape plan shall be subject to the approval of the Director of Community Planning and Development.
8. The applicant shall obtain all necessary permits, licenses, and approvals from the Ingham County Road Department, Ingham County Drain Commissioner, Michigan Department of Environment, Great Lakes, and Energy, and the Township, as applicable. Copies of all permits, licenses, and approval letters shall be submitted to the Department of Community Planning and Development.
9. Utility, grading, and storm drainage plans for the site are subject to the approval of the Director of Public Works and Engineering and Ingham County Drain Commissioner and shall be completed in accordance with the Township Engineering Design and Construction Standards.

Special Use Permit #19111 (Woodward Limited Dividend Housing Association)

Parcel Number 17-377-031

Page 2

10. No grading or land clearing shall take place on the site until the site plan has been approved by the Director of Community Planning and Development and grading and soil erosion and sedimentation control (SESC) permits have been issued for the project.
11. All utility service distribution lines shall be installed underground.
12. Any future building additions or revisions to the site layout will require amendments to Special Use Permit #19111.
13. The final design of the trash and recycling facilities and related enclosures shall be subject to the approval of the Director of Community Planning and Development.
14. Site accessories such as railings, benches, exterior lighting fixtures, and bicycle racks shall be of commercial quality and complement the building design. The final design and location of such accessories shall be subject to the approval of the Director of Community Planning and Development.
15. All mechanical, heating, ventilation, air conditioning, and similar systems shall be screened from view by an opaque structure or landscape materials (if at street level) selected to complement the building. Such screening is subject to the approval of the Director of Community Planning and Development.

Decisions by the Planning Commission regarding special use permits may be appealed to the Township Board. An appeal must be filed within ten (10) days of the date of the Planning Commission's action and be in accordance with Section 86-189 of the Code of Ordinances. Consequently, your special use permit will not become valid until September 6, 2019.

This letter shall act as the Special Use Permit. The use permitted by the granting of the special use permit must have commenced within two years after issuance or the permit shall be void. All construction related to the special use must be completed within three years from the effective date of the special use permit.

It is your responsibility to comply with the conditions of the special use permit approval. Failure to comply with the conditions of approval shall result in the revocation of the special use permit approval.

If you have any questions regarding this matter, please contact me at (517) 853-4576 or by email at menser@meridian.mi.us.

Sincerely,

Peter Menser



Principal Planner

Department of Community Planning and Development

cc: Younes Ishraidi, Chief Engineer
John Heckaman, Chief Building Inspector
Tavis Millerov, Fire Inspector

G:\Community Planning & Development\Planning\SPECIAL USE PERMITS (SUP)\2019\SUP 19111 (Woodward Way)\SUP 19111 approval letter.doc



WODA COOPER COMPANIES

614.396.3200
www.wodagroup.com

500 South Front St
10th Floor
Columbus, Ohio 43215

September 15, 2021

Ronald J. Styka
Township Supervisor
5151 Marsh Road | Okemos, MI 48864
W 517.853.4506

Dear Mr. Styka,

We are asking that you waive their rules and act upon our variance request on Tuesday September 21, 2021, since we have already received this approval on our previous site plan. Worth noting, the unit mix and density on our new site plan has not changed but our total square footage of buildings in the aggregate has been modestly reduced.

As the applicant, we are making this request in writing to you, to please be forwarded in advance to the Township Trustee Board.

Best Regards

P. Craig Patterson
Senior Vice President
Woda Cooper Companies

cc. F. Walsh, T. Schmitt



AGENDA

CHARTER TOWNSHIP OF MERIDIAN TOWNSHIP BOARD – REGULAR MEETING

September 21, 2021 6:00 PM

1. CALL MEETING TO ORDER
 2. PLEDGE OF ALLEGIANCE/INTRODUCTIONS
 3. ROLL CALL
 4. PRESENTATION
 - A. Community Resource Commission Check Presentation
 - B. Citizen's Survey Presentation-Colbalt Community Research
 5. CITIZENS ADDRESS AGENDA ITEMS AND NON-AGENDA ITEMS
 6. TOWNSHIP MANAGER REPORT
 7. BOARD MEMBER REPORTS OF ACTIVITIES AND ANNOUNCEMENTS
 8. APPROVAL OF AGENDA
 9. CONSENT AGENDA
 - A. Communications
 - B. Minutes-September 7, 2021 Regular Meeting
 - C. Bills
 - D. Outdoor Gathering Permit-Friends of Historic Meridian Blue and Gray Event
 - E. Resolution of Declaration and Notice – LWCF Gateway Path and Restroom Project
 - F. Resolution of Declaration and Notice – MNRTF Central Meridian Regional Trail Connector
 - G. Assistance to Firefighter Grant and SAFER Grant
 - H. Ratification of New Full-Time Paramedic/Firefighter and Part-Time Paramedic
 - I. Change Regular Board Meeting Date of November 4, 2021
 10. QUESTIONS FOR THE ATTORNEY
 11. HEARINGS (CANARY)
 - A. Silverstone Estates Streetlighting SAD #427
 - B. 2021 Order to Maintain Sidewalk SAD#19
 12. ACTION ITEMS (PINK)
 - A. 2022 Recommended Township Budget
 - B. SmartZone Local Development Finance Authority
 - C. Daniels Drain SAD #21 Resolution #1
 - D. Silverstone Estates Streetlighting SAD #427 Resolution #3
 - E. 2021 Order to Maintain Sidewalk SAD#19 Resolution #3
 - F. Resolution in Recognition of Hispanic Heritage Month
 13. BOARD DISCUSSION ITEMS (ORCHID)
 - A. Special Use Permit #21-19-121 – Woodward Way Limited Dividend Housing Association – Modification of Plans to Construct a Building Greater than 25,000 Square Feet
 14. COMMENTS FROM THE PUBLIC
 15. OTHER MATTERS AND BOARD MEMBER COMMENTS
 16. ADJOURNMENT
-

All comments limited to 3 minutes, unless prior approval for additional time for good cause is obtained from the Supervisor.
Appointment of Supervisor Pro Tem and/ or Temporary Clerk if necessary.

Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting:
Township Manager Frank L. Walsh, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4258 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall