



AGENDA
CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS MEETING
February 16, 2022 6:30 pm

1. CALL MEETING TO ORDER
2. APPROVAL OF THE AGENDA
3. CORRECTIONS, APPROVAL AND RATIFICATION OF MINUTES
 - A. Wednesday, December 8, 2021
4. COMMUNICATIONS
5. UNFINISHED BUSINESS
6. NEW BUSINESS

A. ZBA CASE NO. 22-01-19-1 (2075 Grand River Avenue), Frank Gawdun, 1743 East McNair Drive Ste. 200, Tempe, AZ 85283

DESCRIPTION: 2075 Grand River
TAX PARCEL: 21-276-014
ZONING DISTRICT: C-3 (Commercial)

The variance requested is to construct a drive-thru canopy in the rear yard setback at 2075 Grand River.

B. ZBA CASE NO. 22-02-16-1 (5000 Okemos Road), Michigan Department of Transportation, 2700 Port Lansing Road, Lansing, MI 48906

DESCRIPTION: 5000 Okemos Road
TAX PARCEL: 21-226-012
ZONING DISTRICT: C-3 (Commercial)

The variance requested is to construct a floodplain compensating cut in the wetland setback at 5000 Okemos Road.

C. ZBA CASE NO. 22-02-16-2 (4887 & 4893 Dawn Avenue), Dawn Avenue Associates, LLC, 4893 Dawn Avenue, East Lansing, MI 48823

DESCRIPTION: 4887 & 4893 Dawn Avenue
TAX PARCEL: 20-202-008 & 20-202-007
ZONING DISTRICT: I (Industrial)

The variance requested is to create three parcels that do not meet the minimum lot area and lot width requirements at 4887 & 4893 Dawn Avenue.

Variance requests may be subject to change or alteration upon review of request during preparation of the staff memorandum. Therefore, Sections of the Code of Ordinances are subject to change. Changes will be noted during public hearing meeting.

Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting: Assistant Planner Keith Chapman, 5151 Marsh Road, Okemos, MI 48864 or 517.853.4580 - Ten Day Notice is Required.
Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall



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D. ZBA CASE NO. 22-02-16-3 (2090 Grand River Avenue), Johnson Sign Company, 2240 Lansing Avenue, Jackson, MI 49202

DESCRIPTION: 2090 Grand River Avenue
TAX PARCEL: 21-226-003
ZONING DISTRICT: C-2 (Commercial)

The variance requested is to install a wall sign that exceeds the maximum square footage requirement at 2090 Grand River.

7. OTHER BUSINESS
 - A. Election of 2022 Officers
 - B. ZBA Criteria Ordinance Update
8. PUBLIC REMARKS
9. BOARD MEMBER COMMENTS
10. ADJOURNMENT

Variance requests may be subject to change or alteration upon review of request during preparation of the staff memorandum. Therefore, Sections of the Code of Ordinances are subject to change. Changes will be noted during public hearing meeting.

Individuals with disabilities requiring auxiliary aids or services should contact the Meridian Township Board by contacting:
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Meeting Location: 5151 Marsh Road, Okemos, MI 48864 Township Hall

**CHARTER TOWNSHIP OF MERIDIAN
ZONING BOARD OF APPEALS REGULAR MEETING MINUTES *DRAFT*
5151 MARSH ROAD, OKEMOS, MI 48864-1198
(517) 853-4000
WEDNESDAY, DECEMBER 8, 2021
REGULAR TELEVISED MEETING**

PRESENT: Chair Mansour, Members Opsommer, Hendrickson

ABSENT: Vice-Chair Field-Foster

STAFF: Director of Community and Planning Timothy Schmitt, Assistant Planner Chapman,
IT Director Stephen Gebes

1. CALL MEETING TO ORDER

Chair Mansour called the meeting to order at 6:30 p.m. and called the role of the board.

Vice-Chair Field-Foster is absent. All others present.

2. APPROVAL OF AGENDA

Member Hendrickson moved to approve the agenda as presented. Seconded by Member Opsommer.

ROLE CALL TO VOTE:

YEAS: Members Hendrickson, Opsommer, Chair Mansour

NAYS: None

Motion carried: 3-0

3. CORRECTIONS, APPROVAL & RATIFICATION OF MINUTES

A. November 10, 2021 Meeting Minutes

Member Hendrickson moved to approve the minutes from Wednesday, November 10, 2021 as presented. Seconded by Member Opsommer.

ROLE CALL TO VOTE:

YEAS: Chair Mansour, Members Opsommer, Hendrickson

NAYS: None

Motion carried: 3-0

4. COMMUNICATIONS - NONE

5. UNFINISHED BUSINESS

A. **ZBA CASE NO. 21-10-27-1 (Loveridge & Dohr), 2050 Sheldrake Avenue, Okemos, MI, 48864**

DESCRIPTION: 6074 Columbia Street

TAX PARCEL: 03-477-004

ZONING DISTRICT: RB (Single Family, High Density), Lake Lansing Overlay District

The variance requested is to construct a single-family home that does not meet the front yard setback and driveway coverage requirements. The variance for the side yard setback has been removed since the last meeting.

Assistant Planner Chapman outlined the case for discussion.

Applicant's representative Timothy Mrozowski 613 Grove St., East Lansing MI, 48823 further outlined the case for discussion.

Member Hendrickson thanked Assistant Planner Chapman for his work on this case, and thanked the applicant for the changes they've made to their plans to require less variances.

Chair Mansour read review criteria one from Section 86-221 of the Code of Ordinances which states unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

Chair Mansour stated criteria one has been met.

Chair Mansour read review criteria two which states these special circumstances are not self-created.

Chair Mansour stated criteria two has been met.

Chair Mansour read review criteria three which states strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.

Chair Mansour stated criteria three has been met.

Chair Mansour read review criteria four which states that the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.

Chair Mansour stated criteria four has been met.

Chair Mansour read review criteria five which states granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

Chair Mansour stated criteria five has been met.

Chair Mansour read review criteria six which states granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.

Chair Mansour stated criteria six has been met.

Chair Mansour read review criteria seven which states the conditions pertaining to the land or structure are not as general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.

Chair Mansour stated she does have a hard time with this criteria as many of the parcels in this area have required variances. However she does not believe it is fair to hold that against the applicant.

Member Hendrickson stated the Planning Commission is working with staff to draft an ordinance amendment to address the Lake Lansing overlay district. He also does not believe it is fair to hold this against the applicant.

Director Schmitt stated he and staff are working on two fixes to address the Ordinance causing issues in this area of the township.

Chair Mansour stated criteria seven has been met.

Chair Mansour read review criteria eight which states granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.

Chair Mansour stated criteria eight has been met.

Member Hendrickson moved to approve the variances as requested in ZBA CASE NO. 21-10-27-1 (Loveridge & Dohr), 2050 Sheldrake Avenue, Okemos, MI, 48864. Seconded by Member Opsommer.

Member Opsommer thanked Member Hendrickson for his input last meeting and Assistant Planner Chapman for his work on this case that led to being able to take this minimum action tonight.

ROLE CALL TO VOTE:

YEAS: Members Opsommer, Hendrickson, Chair Mansour

NAYS: None

Motion carried: 3-0

6. NEW BUSINESS

A. ZBA CASE NO. 21-12-08-1 (SH G2755 LLC & Green Peak Industries, Inc.), 5030 Northwind Drive Ste. 120, East Lansing, MI, 48823

DESCRIPTION: 2755 Grand River, 4972 Northwind Drive, & Vacant Parcel ID #20-127-003

TAX PARCEL: 20-127-001, 20-127-002, & 20-127-003

ZONING DISTRICT: C-2 (Commercial)

The variance requested is to exceed the maximum allowed parking spaces at 2755 Grand River, 4972 Northwind Drive, & Vacant Parcel ID #20-127-003.

Assistant Planner Chapman outlined the case for discussion.

Applicant's representative Robert Ford 809 Center St., Lansing MI, further outlined the case for discussion.

Member Opsommer asked who the tenant is.

Mr. Ford replied Trader Joe's is the proposed tenant.

Member Hendrickson stated the property is already paved over so no pervious land is going to be lost by approving extra parking spaces. He further stated that he believed this business would do well in the township as there appears to be a large demand.

Chair Mansour stated that as the land is already paved over the space could be a safety hazard and wasted space if the variance is not approved.

Member Opsommer asked if the applicant had met with Hobby Lobby to discuss shared parking.

Mr. Ford stated they had considered it, but at this time are not sure if it is an option. He further stated this project would increase the impervious space by 14%.

Chair Mansour asked what would happen if the variance is not approved.

Mr. Ford stated he could not speak directly for the client, but he assumed they would look for another location.

Chair Mansour read review criteria one from Section 86-221 of the Code of Ordinances which states unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.

Chair Mansour stated Criteria one has been met.

Chair Mansour read review criteria two which states these special circumstances are not self-created.

Member Hendrickson stated that since the land had already been paved over the applicant did not create this situation themselves.

Chair Mansour stated Criteria two has been met.

Chair Mansour read review criteria three which states strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.

Member Opsommer stated that not granting this variance would create practical difficulties as it is inevitable that customers will start parking in neighboring lots.

Chair Mansour stated Criteria three has been met.

Chair Mansour read review criteria four which states that the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.

Chair Mansour stated Criteria four has been met.

Chair Mansour read review criteria five which states granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.

Member Hendrickson stated that having sufficient parking on site is critical to public safety.

Chair Mansour stated Criteria five has been met.

Chair Mansour read review criteria six which states granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.

Chair Mansour stated Criteria six has been met.

Chair Mansour read review criteria seven which states the conditions pertaining to the land or structure are not as general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.

Chair Mansour stated Criteria seven has been met.

Chair Mansour read review criteria eight which states granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.

Chair Mansour stated Criteria eight has been met.

Member Hendrickson moved to approve the variance as requested for ZBA CASE NO. 21-12-08-1 (SH G2755 LLC & Green Peak Industries, Inc.), 5030 Northwind Drive Ste. 120, East Lansing, MI, 48823. Seconded by Chair Mansour.

ROLE CALL TO VOTE:

YEAS: Members Opsommer, Hendrickson, Chair Mansour

NAYS: None

Motion carried: 3-0

7. OTHER BUSINESS

A. 2022 Meeting Schedule

Chair Mansour outlined the 2022 Meeting Schedule.

Chair Mansour moved to adopt the resolution approving the 2022 Zoning Board of Appeals Meeting Schedule. Seconded by Member Opsommer.

ROLE CALL TO VOTE:

YEAS: Chair Mansour, Members Hendrickson, Opsommer

NAYS: None

Motion carried: 3-0

8. PUBLIC REMARKS

Chair Mansour opened the floor for public remarks at 7:27 pm

None

Chair Mansour closed public remarks at 7:27 pm

9. MEMBER COMMENTS

Member Hendrickson

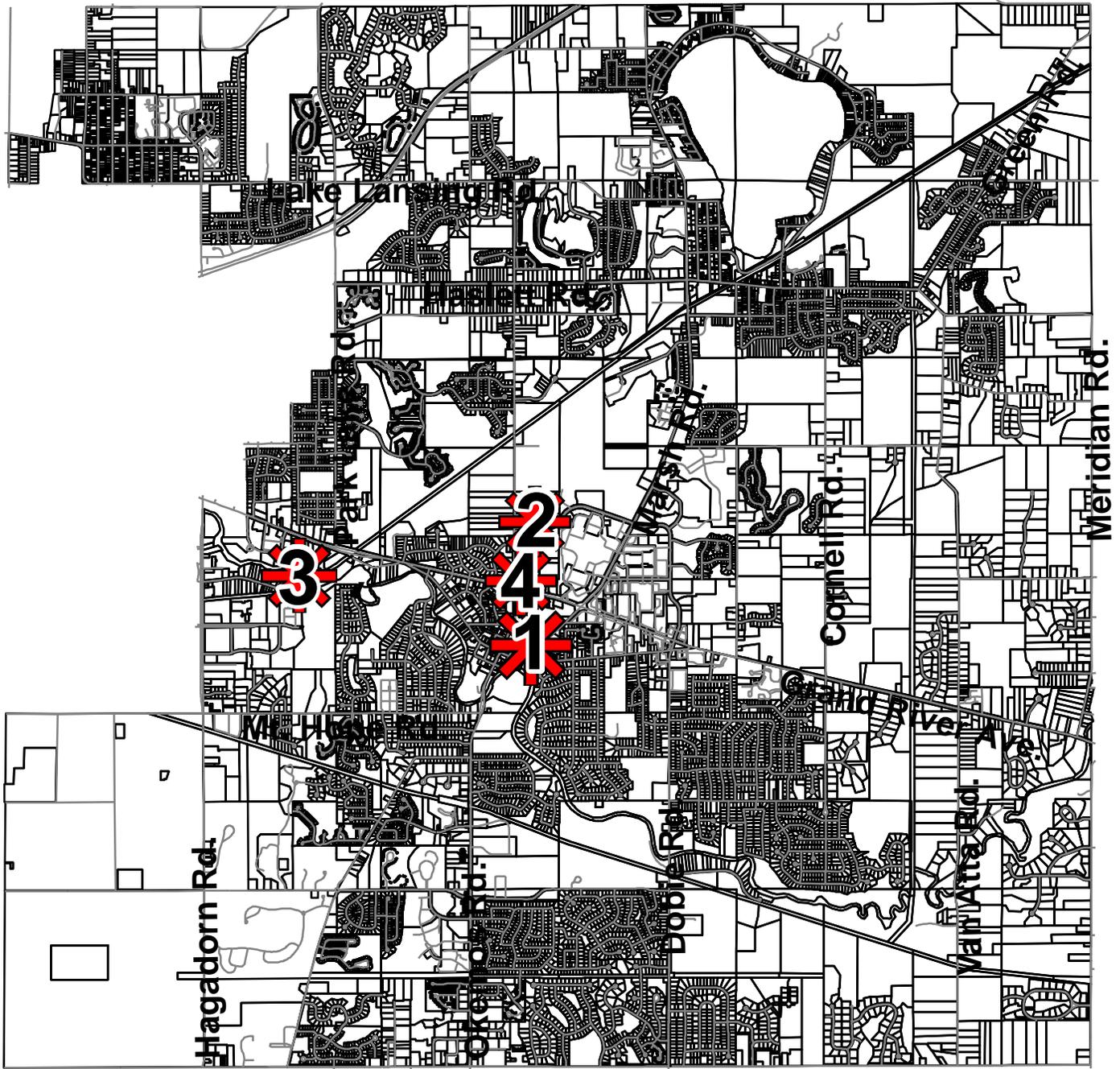
- Announced that if a resident of Meridian Township would like to serve on the Zoning Board of Appeals you may submit an applicant to the township. Applications can be found on the township website at:

<https://www.meridian.mi.us/Home/Components/FormBuilder/FormBuilder/ab645b1f6ad340fa8df777891a5f6bbe/1365>

10. ADJOURNMENT

Chair Mansour Adjourned the meeting at 7:28 pm.

Meridian Township



Location Map Jolly Rd.

1. ZBA #22-01-19-1 (2075 Grand River)
2. ZBA #22-02-16-1 (5000 Okemos)
3. ZBA #22-02-16-2 (4887 & 4893 Dawn)
4. ZBA #22-02-16-3 (2090 Grand River)



VARIANCE APPLICATION SUPPLEMENT

A variance will be granted, if the following Review Criteria are met:

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
2. These special circumstances are not self-created.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.



To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: February 10, 2022
Re: ZBA Case No. 22-01-19-1 (2075 Grand River)

ZBA CASE NO.: 22-01-19-1 (2075 Grand River), 1743 E. McNair Dr. Ste. 200, Tempe, AZ 85283
DESCRIPTION: 2075 Grand River Avenue
TAX PARCEL: 21-276-014
ZONING DISTRICT: C-3 (Commercial)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 86-405 (a)(1), Side and rear yards shall be at least 20 feet, except that all buildings shall be located in accordance with the Master Plan for Major Streets and Highways, Meridian Charter Township, Ingham County, Michigan for established setbacks. This subsection does not apply to drive-in uses adjacent to residential districts.

The applicant has requested a variance to construct a 1,280 square foot drive through canopy to the existing 4,730 square foot Chick-fil-a site at 2075 Grand River Avenue. The approximate 1.32-acre site is zoned C-3 (Commercial).

In 2015 a Special Use Permit was granted to allow the construction of the Chick-fil-a drive through (SUP #15171). The existing building was constructed in 2016 (SPR #16-05). In 2020 (SPR #20-16-05) the drive through lane was reconfigured to allow a second drive aisle after the menu boards.

The applicant is proposing to construct a 1,280 square foot drive-through canopy along the south property line. The canopy will be used to protect employees from the elements while taking outdoor orders. The proposed canopy will be approximately 6' 10" from the rear property line. The required rear yard setback is 20'. The applicant is requesting a variance of 13' 2" to construct the canopy.

Attachments

1. Application materials
2. Site location map

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION

A. Applicant Frank Gawdun
Address of Applicant 1743 E McNair Dr Ste 200 Tempe, AZ 85283
Telephone (Work) 480-755-0959 Telephone (Home) _____
Fax _____ Email address: gawdun@esencia.org or alvarez@esencia.org
Interest in property (circle one): Owner Tenant Option Other

B. Site address/location 2075 Grand River Ave
Zoning district C3 Parcel number 21-276-014

C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) Section 86-405.13.a.1 (Rear setback)

D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met (See next page)

Frank Gawdun Frank Gawdun 12/10/2021
Signature of Applicant Print Name Date

Fee: \$450 Received by/Date: [Signature] 12/13/21

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): **This is optional and will not affect any decision on your application.**)

Frank Gawdun 12/10/2021
Signature of Applicant(s) Date
Signature of Applicant(s) Date

DEC 13 2021

November 2, 2021

Charter Township of Meridian
Community Planning Department
5151 Marsh Rd.
Okemos, Michigan 48864
(517) 853-4000

Regarding: **Project Narrative**
Chick-Fil-A # 3695 Canopy Program
2075 Grand River Ave.
Okemos, MI 48864

Dear Planning Dept.,

Chick-Fil-A would like to submit the following documents as they are seeking a Variance and Minor Site Plan Amendment at their existing site located at 2075 Grand River Ave., located near the southeast corner of Okemos Rd. and Grand River Ave.

The existing parcel is a 1.32-acre pad site, currently zoned C-3 (Commercial District) and is incorporated within the existing Meijer Grocery Store Shopping Center. The fast-food restaurant has been in operation for several years and fully developed per the Township of Meridian and Shopping Center design standards. The existing 4,730 sq. ft. fast-food restaurant building is located on the southwest corner of Chick-Fil-A parcel. Existing site amenities include a dual lane drive-thru, equipped with (2) two-way communication order point menu boards, with a drive-up window offering service for take-out food, illuminated off street paved parking lot, and an existing masonry screen wall trash enclosure with metal gates. The property, and street scape are fully landscaped with trees, turf, decomposed granite and shrubbery native to the area. The existing order point menu boards and drive-thru lane were designed to be accessible on the east side of the property. The southern section of the drive-thru and one menu board canopy was allowed to be constructed beyond the existing 20'-0" rear yard building setback line along the south property line.

Chick-Fil-A has seen success with the order point menu boards located in the queuing aisle, and they would like to install two canopies in the existing drive thru lane to help enhance their operations further. The Face-to-Face canopy a 1,280 sq. ft. steel structure at 9'-6" above top of pavement is proposed to be located in the drive-thru lane near the existing menu boards. The Meal Delivery Canopy, a 449 sq. ft. steel structure, at 9'-6" high from bottom of deck to top of pavement would be installed on the east side of the building over the existing pick-up window. A 46'-0" long portion of the Face-to-Face Canopy would encroach beyond the existing 20'-0" rear yard setback a distance of 13'-4", the Meal Delivery Canopy would remain behind the existing rear yard setback along the south property line. Chick-Fil-A is asking for permission to install the Face-to-Face order point canopy beyond the setback line as Described in Section 86-405.13. a.1 The 20'-0" rear yard setback appears to be an excessive distance between two commercial properties.

Chick-Fil-A has recognized that at their sites during peak hours of operation that the existing two-way communication menu boards cannot process the orders quick enough, at some sites this has led to on site traffic congestion as well as vehicles blocking entrances to other business, or even backing up out onto the public streets creating public safety issues. The issue is further complicated as that at several of their sites Dining Rooms are still closed causing the drive-thru lane to be the primary manner to order and pick-up food. To help improve the issue Chick-Fil-A now requires their Team Members to be out-fitted with Smart Tablets and work out-doors during those peak hours of operation. These efforts continue to be hampered, as the weather remains a big factor and Team Members are only able to work outdoors sporadically.

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The city has allowed Chick-Fil-A to install these types of canopy structures at other locations across the country. Those communities have benefited from these canopies as traffic back-ups have been reduced, while providing a much healthier employee environment. The Face-to-Face and Meal Delivery Canopies will provide team members relief of the inclement weather allowing team members to work longer shifts and serve several vehicles at one time providing quicker service in the drive thru.

Both canopies will be independent open sided free-standing structures, constructed of steel framing, cantilevered beams with caisson footings. The supporting columns can be left exposed with powder coat paint finishes, or can be framed and wrapped, with finishes matching the existing exterior restaurant building. These design options allow the structures to remain architecturally harmonious with the rest of the Shopping Center and neighboring community. The new canopies will be outfitted with recessed L.E.D. lighting installed within a premanufactured painted metal deck. Fans and heaters are installed to provide relief to the Team Members from the various weather conditions.

Granting the variance will not cause an adverse effect on the site, the canopies will not emit noise or noxious odors, nor add or alter existing drainage water flow patterns, and will not cause any flooding or any negative impact to the adjacent neighboring properties nor devalue the neighborhood. Existing landscaping located under the Face-to-Face canopy will need to be modified where the footings will be installed, no trees will need to be removed for the canopy installation, pervious and non-pervious areas near the Face-to-Face Canopy will be slightly altered. The construction of the canopies will not have an adverse effect on the neighboring parcels as all storm water from the canopies is directed to drain and daylight on to the existing pavement by the use of internal rain gutters, using the existing water flow pattern previously designed on the site and is mitigated by the properties existing drainage system already in place. Granting the variance will improve the welfare and health of the Team Members, and will allow Chick-Fil-A to reuse the existing drive-thru lane with-out impacting the site or altering the parking on site, the character of the site will not be affected, and in other locations across the country traffic has been improved.

With Chick-Fil-A being closed on Sundays, the construction of the canopies is a three-phase process. In the first week, the footings, and underground conduit are installed, backfill of trenching and patching the pavement occurs, the work takes place starting on Saturday at 9:00 PM and finishes on Monday morning at 6:00 AM. All excess dirt from the footing and trenching is immediately hauled off the site, so no storm water pollution occurs. During the second week, steel is erected, roof decking installed, along with the lights, and fans, in the third week, utility connections are finalized and the C of O is scheduled. Between the construction weekends, and during normal hours of operation there is no impact to the site or adjacent properties as the restaurant and drive thru service remain in operation and the construction areas are safely barricaded off protecting the public during the duration of construction.

Chick-Fil-A is excited about this proactive opportunity in providing a healthier work environment for their team members as well as help provide public safety before it becomes a matter of contention. We feel the canopies are a much-needed accessory to this site and we are looking forward to working with the Charter Township of Meridian Planning Department staff to help achieve Chick-Fil-A's goals for this vibrant community.

Frank Gawdun, Project Manager
Chick-Fil-A Roll-out Canopy Team
480-755-0959 ext. 121

DEC 13 2021



Dustin Curtis
Architect

8801 N. Central Ave. Suite 101
Phoenix, Arizona 85020

phone: 1.602.266.2712

Principal:
Dustin Curtis

dustin.curtis@onearchitecture.us

Project Manager:

THESE PLANS AND SPECIFICATIONS, AS WELL AS CHICK-FIL-A, INC. NAME AND LOGO, TRADEMARKS AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF CHICK-FIL-A CORPORATION. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT CHICK-FIL-A'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

CANOPY PROGRAM
CHICK-FIL-A
STORE #3695
2075 GRAND RIVER AVE
OKEMOS, MI 48864

Revisions

Sheet Title
Enlarged Canopy Plan

Sheet Number
A-2

LEGEND

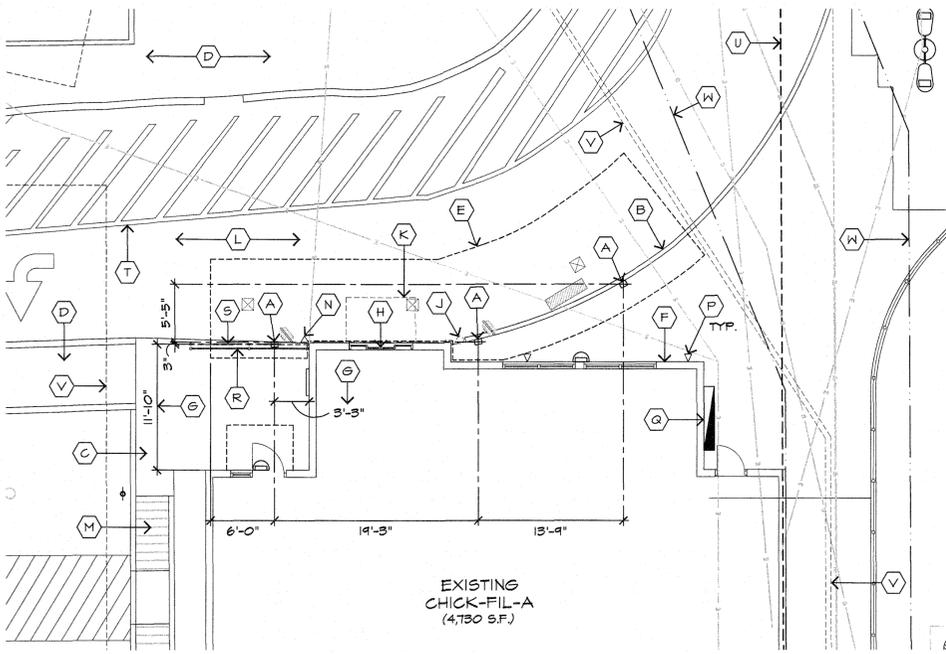
- CANOPY LIGHTS
- FANS
- HEATERS

GENERAL NOTES

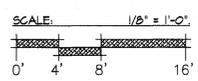
- a. THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.
- b. COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.
- c. WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.
- d. COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.
- e. G.C. TO CONFIRM SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES / STORM WATER PIPING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- f. G.C. SHALL CONFIRM DIMENSIONS OF CURBS AND EXACT LOCATION OF PICK-UP WINDOW PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES - MEAL DELIVERY

- A. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED. PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONC. SURFACES.
- B. EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONC. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONC. CURBING (TYP.).
- C. EXISTING CONCRETE WALKWAY TO REMAIN.
- D. EXISTING LANDSCAPING AREA TO REMAIN.
- E. DASHED LINE INDICATING OUTLINE OF CANOPY. REFER TO CANOPY SHOP DRAWINGS WITHIN THIS SET.
- F. FACE OF EXISTING EXTERIOR BUILDING WALL. DO NOT DISTURB.
- G. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. G.C. TO FIELD VERIFY EXACT LOCATION AND NOTIFY CHICK-FIL-A PROJECT TEAM IF CANOPY LOCATION CHANGES AND IMPACTS OTHER CONSTRUCTION RELATED CONDITIONS.
- H. EXISTING MEAL DELIVERY PICK UP WINDOW. DO NOT DISTURB.
- J. EXISTING BOLLARD TO BE REMOVED.
- K. DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. G.C. TO REPAIR EXIST. EXTERIOR WALL AS REQUIRED APPLY TOUCH-UP PAINT FIELD MATCH EXIST. COLOR AND WALL FINISH. PROVIDE FLUSH TRANSITION FOR ALL PATCH WORK.
- L. EXISTING DRIVE THRU LANE TO REMAIN, TYP.
- M. EXIST. A.D.A. COMPLIANT CONC. CURB RAMP TO REMAIN. DO NOT DISTURB.
- N. EXISTING SECURITY CAMERA TO REMAIN (HEIGHT 5'-6").
- P. EXISTING SECURITY CAMERA TO REMAIN (HEIGHT 11'-6").
- Q. LOCATION OF EXISTING ELECTRICAL EQUIPMENT TO REMAIN.
- R. EXISTING METAL RAILING TO BE RELOCATED. G.C. TO REMOVE / REUSE AND REINSTALL AS SHOWN. RELOCATED RAILING ON PEDESTRIAN SIDE BEHIND NEW COLUMN AS SHOWN.
- S. DASHED LINE INDICATING EXISTING METAL RAILING TO BE REMOVED AND RELOCATED.
- T. EXISTING STRIPING TO REMAIN. DO NOT DISTURB.
- U. EXISTING SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
- V. DASHED LINE INDICATING LOCATION OF UNDERGROUND STORM WATER PIPING. G.C. TO FIELD VERIFY EXACT LOCATION PRIOR TO COMMENCING CONSTRUCTION.
- W. EXISTING WATERLINE EASEMENT LINE SHOWN FOR REFERENCE. SEE SITE PLAN.



EXISTING CHICK-FIL-A (4,730 S.F.)



1 ENLARGED CANOPY PLAN - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

LEGEND

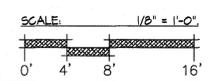
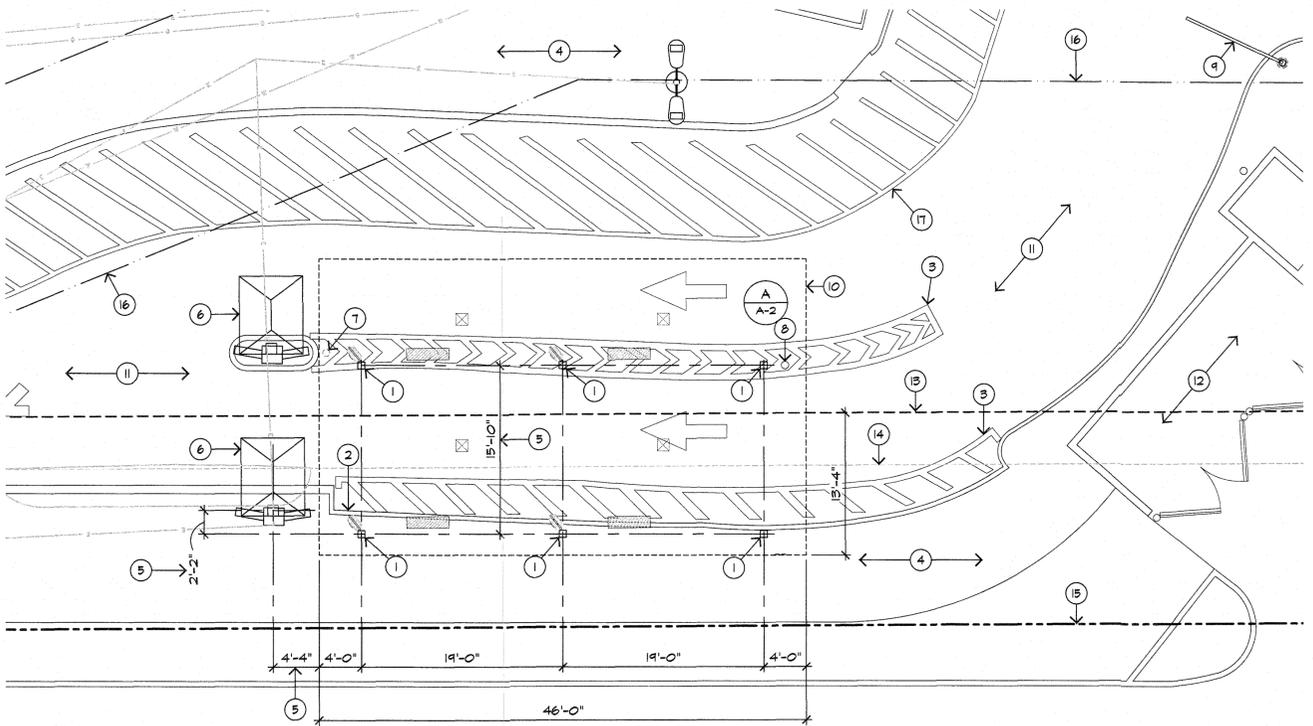
- CANOPY LIGHTS
- FANS
- HEATERS

GENERAL NOTES

- a. THE DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO CENTER OF COLUMN LINE ONLY AND HAVE BEEN ESTABLISHED IN ACCORDANCE WITH CHICK-FIL-A STANDARD DESIGN GUIDELINES.
- b. COLUMNS SHALL BE INSTALLED IN A MANNER AS NOT TO DISTURB THE EXISTING EXTERIOR BUILDING FOUNDATIONS NOR UNDERMINE THE EXISTING EXTERIOR BUILDING STEM WALLS/FOOTINGS.
- c. WHERE AN OFFSET CAISSON FOOTING OR SPREAD FOOTING IS REQUIRED, THE G.C. SHALL COORDINATE THE EXISTING FIELD CONDITIONS TO THE CANOPY FABRICATOR FOR APPROVAL PRIOR TO INSTALLATION OF THE FOOTINGS.
- d. COLUMNS NEEDING TO BE RELOCATED INTO THE DRIVE LANE OR TEAM WALK WAY, THE G.C. SHALL NOTIFY THE FIELD CONSTRUCTION MANAGER TO GAIN PROPER APPROVAL FROM CHICK-FIL-A PRIOR TO COMMENCEMENT OF SAID CONSTRUCTION WORK.
- e. G.C. TO CONFIRM SIZE, DEPTH, AND LOCATION OF ALL UNDERGROUND UTILITIES / STORM WATER PIPING PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- f. G.C. SHALL CONFIRM DIMENSIONS OF CURBS AND EXACT LOCATION OF PICK-UP WINDOW PRIOR TO CONSTRUCTION.

CONSTRUCTION NOTES - FACE TO FACE

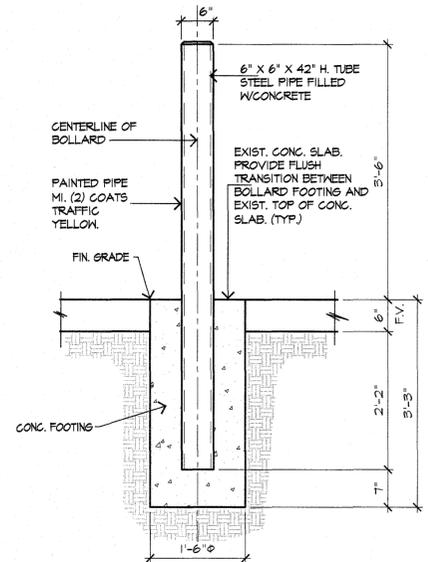
1. NEW SHADE CANOPY STEEL SUPPORT COLUMN WITH CONCRETE FOOTING BELOW. SEE STRUCTURAL DRAWINGS FOR FURTHER DETAILS. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED OR REPLACED AS REQUIRED. PROVIDE FLUSH TRANSITION BETWEEN NEW AND EXIST. CONC. SURFACES.
2. EXISTING CONCRETE CURB TO REMAIN. SAW CUT AND REMOVE PORTION OF CURB AS REQUIRED FOR INSTALLATION OF NEW FOOTING. UPON FOOTING INSTALLATION G.C. SHALL PATCH AND REPAIR EXIST. CURB AS REQUIRED. PROVIDE SMOOTH TRANSITION BETWEEN NEW AND EXIST. CONC. CURB. G.C. SHALL REPLACE ANY KNOWN CRACKED OR DAMAGED ON SITE CONC. CURBING (TYP.).
3. EXISTING STRIPING TO REMAIN. DO NOT DISTURB.
4. EXISTING LANDSCAPING AREA TO REMAIN.
5. XY DIMENSION SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. G.C. TO FIELD VERIFY EXACT LOCATION OF COLUMN STARTING POINT. NOTIFY CHICK-FIL-A PROJECT TEAM OF ANY DISCREPANCIES IMPACTING OTHER CONSTRUCTION PHASES OR RELATED CONDITIONS.
6. EXISTING DRIVE THRU ORDER POINT MENU BOARD. DO NOT DISTURB.
7. EXISTING BOLLARD TO BE REMOVED. EXISTING CONCRETE / LANDSCAPING TO BE REPAIRED AS REQUIRED. MATCH PLANT PALLET, PROVIDE FLUSH TRANSITION BETWEEN ALL EXIST. AND NEW CONC. FINISHES.
8. LOCATION OF NEW BOLLARD. PER CHICK-FIL-A DESIGN STANDARD INSTALL 24" G.C. TO THE BOLLARD FROM FACE OF CLEARANCE BAR AND/OR LAST CANOPY COLUMN AS SHOWN ON DRAWINGS. REFER TO DETAIL.
9. EXISTING CLEARANCE BAR TO REMAIN. DO NOT DISTURB.
10. DASHED LINE INDICATING OUTLINE OF CANOPY. REFER TO CANOPY DRAWINGS WITHIN THIS SET.
11. EXISTING DRIVE THRU LANE TO REMAIN, TYP.
12. EXISTING TRASH ENCLOSURE WITH METAL GATES TO REMAIN.
13. EXISTING BUILDING SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
14. EXISTING LANDSCAPE SETBACK LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
15. EXISTING PROPERTY LINE SHOWN FOR REFERENCE. SEE SITE PLAN.
16. EXISTING WATER LINE EASEMENT LINE SHOWN FOR REFERENCE. SEE SITE PLAN.

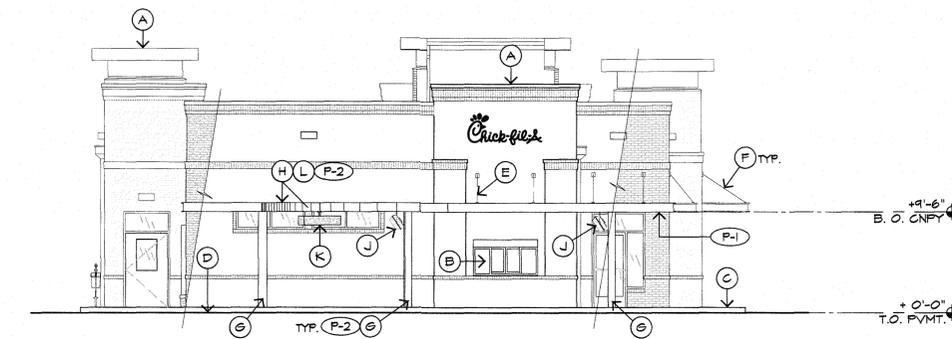
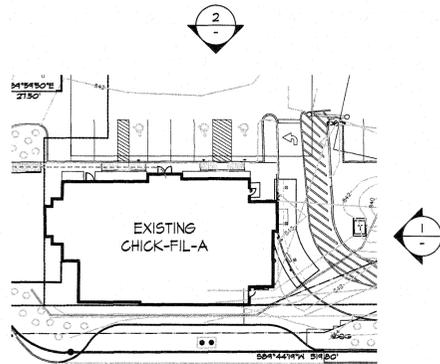


2 ENLARGED CANOPY PLAN - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS

A TYPICAL BOLLARD DETAIL
SCALE: 3/4" = 1'-0"





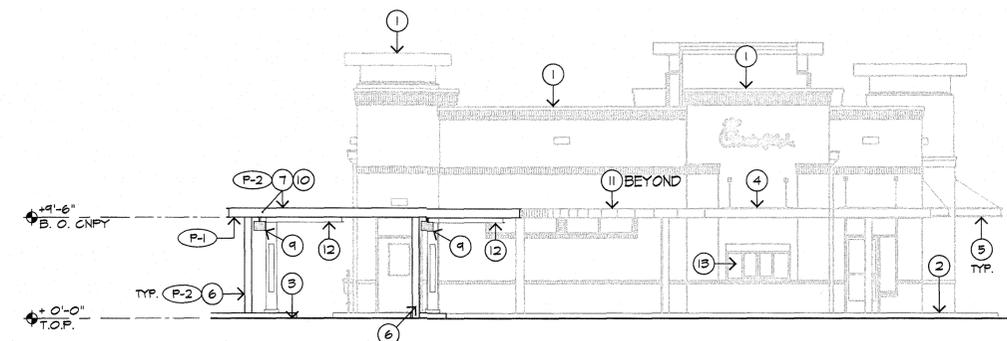
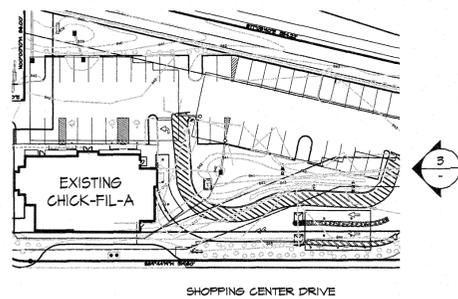
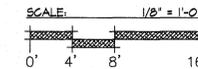
1 FRONT ELEVATION (EAST) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



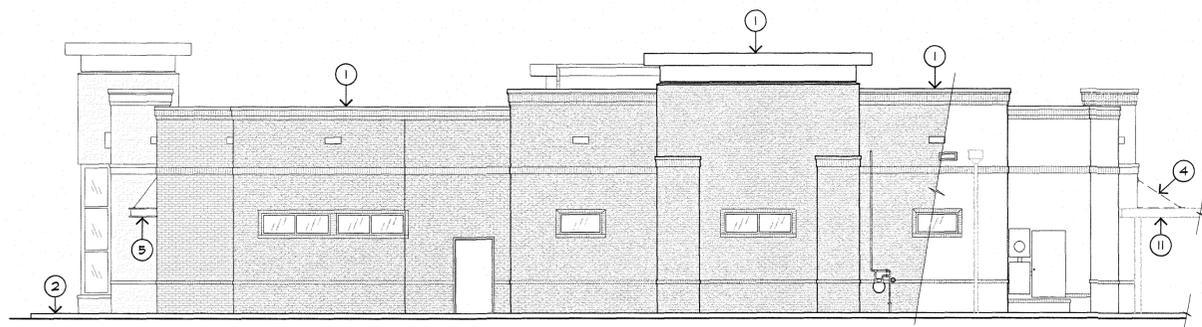
2 DRIVE THRU ELEVATION (NORTH) - MEAL DELIVERY CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



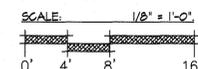
3 REAR ELEVATION (EAST) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



4 SIDE ENTRY ELEVATION (SOUTH) - FACE TO FACE CANOPY
SCALE: 1/8" = 1'-0"

SEE STRUCT. DRAWINGS



CONSTRUCTION NOTES - MEAL DELIVERY

- A. EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- B. MEAL DELIVERY PICK UP WINDOW. NO CHANGE.
- C. TOP OF EXISTING CONCRETE WALKWAY TO REMAIN.
- D. TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- E. DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. S.C. SHALL REPAIR OR REPLACE EXISTING FINISHES AS REQUIRED. MATCH EXISTING GROUT, VENEER.
- F. EXISTING AWNING TO REMAIN. NO CHANGE.
- G. NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE. REFER TO STRUCTURAL DRAWINGS FOR MORE DETAIL.
- H. NEW CANOPY ROOF DECK / FASCIA. UNDERSIDE TO BE COLOR: HIGH GLOSS WHITE - SEE FINISH SCHEDULE. ROOF DECK / FASCIA TO BE COLOR: DARK BRONZE - SEE FINISH SCHEDULE.
- J. NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE. REFER TO ELECT. DRAWINGS FOR FURTHER DETAILS.
- K. NEW CANOPY OVERHEAD HEATER BY SUPREME SCHWANK. MODEL: 2352 N OUTDOOR. REFER TO PLUMB/ELECT. DRAWINGS FOR FURTHER DETAILS.
- L. NEW MEAL DELIVERY METAL CANOPY - SEE FINISH SCHEDULE. REFER TO CANOPY DRAWINGS FOR FURTHER DETAILS.
- M. EXISTING MAIN ENTRY.

CONSTRUCTION NOTES - FACE TO FACE

- 1. EXISTING BUILDING AND FINISHES TO REMAIN. NO WORK IN THIS AREA.
- 2. TOP OF EXISTING CONCRETE WALKWAY TO REMAIN.
- 3. TOP OF EXISTING DRIVE THRU LANE TO REMAIN.
- 4. DASHED LINE INDICATING EXISTING AWNING TO BE REMOVED. S.C. SHALL REPAIR OR REPLACE EXISTING FINISHES AS REQUIRED. MATCH EXISTING GROUT, VENEER.
- 5. EXISTING AWNING TO REMAIN. NO CHANGE.
- 6. NEW CANOPY STEEL SUPPORT COLUMN - SEE FINISH SCHEDULE. REFER TO STRUCTURAL DRAWINGS FOR MORE DETAIL.
- 7. NEW CANOPY ROOF DECK / FASCIA. UNDERSIDE TO BE COLOR: HIGH GLOSS WHITE - SEE FINISH SCHEDULE. ROOF DECK / FASCIA TO BE COLOR: DARK BRONZE - SEE FINISH SCHEDULE.
- 8. NEW CANOPY INDUSTRIAL MOUNTED 18" FAN. TPI CORPORATION MODEL: U-18-TE. REFER TO ELECT. DRAWINGS.
- 9. NEW CANOPY OVERHEAD HEATER BY SUPREME SCHWANK. MODEL: 2352 N OUTDOOR. REFER TO PLUMB/ELECT. DRAWINGS FOR FURTHER DETAILS.
- 10. NEW FACE TO FACE METAL CANOPY - SEE FINISH SCHEDULE. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
- 11. NEW MEAL DELIVERY METAL CANOPY. REFER TO CANOPY SHOP DRAWINGS FOR FURTHER DETAILS.
- 12. EXISTING ORDER MENU BOARD TO REMAIN. NO CHANGE.
- 13. MEAL DELIVERY PICK UP WINDOW. NO CHANGE.

FINISH SCHEDULE

# MARK	DESCRIPTION
F-1	LOCATION: CANOPY UNDERSIDE MANUFACTURER: BECKERS PAINT COLOR: 49714463 HIGH GLOSS WHITE
P-2	LOCATION: CANOPY ROOF DECK/FASCIA EXPOSED COLUMNS MANUFACTURER: DURA COAT PRODUCTS, INC. COLOR: 145T-2073 OIL RUBBED BRONZE TEXTURED PVDF POWDER COAT FINISH



Dustin Curtis
Architect

8801 N. Central Ave. Suite 101
Phoenix, Arizona 85020

phone: 1.602.266.2712

Principal:

Dustin Curtis

dustin.curtis@onearchitecture.us

Project Manager:

THESE PLANS AND SPECIFICATIONS, AS WELL AS CHICK-FIL-A, INC. NAME AND LOGO, TRADEMARKS AND DESIGNS ARE THE EXCLUSIVE PROPERTY OF CHICK-FIL-A CORPORATION. ANY REPRODUCTION, MODIFICATION, DISCLOSURE AND/OR USE OF THESE MATERIALS (OR ANY PORTION OF THEM) WITHOUT CHICK-FIL-A'S PRIOR WRITTEN CONSENT IS STRICTLY PROHIBITED.

CANOPY PROGRAM
CHICK-FIL-A
STORE #3695
2075 GRAND RIVER AVE
OKEMOS, MI 48864

Revisions

Sheet Title

Elevation Plan

Sheet Number

A-3



Dustin Curtis
Architect

8801 N. Central Ave., Suite 101
Phoenix, Arizona 85020

phone: 1.602.266.2712

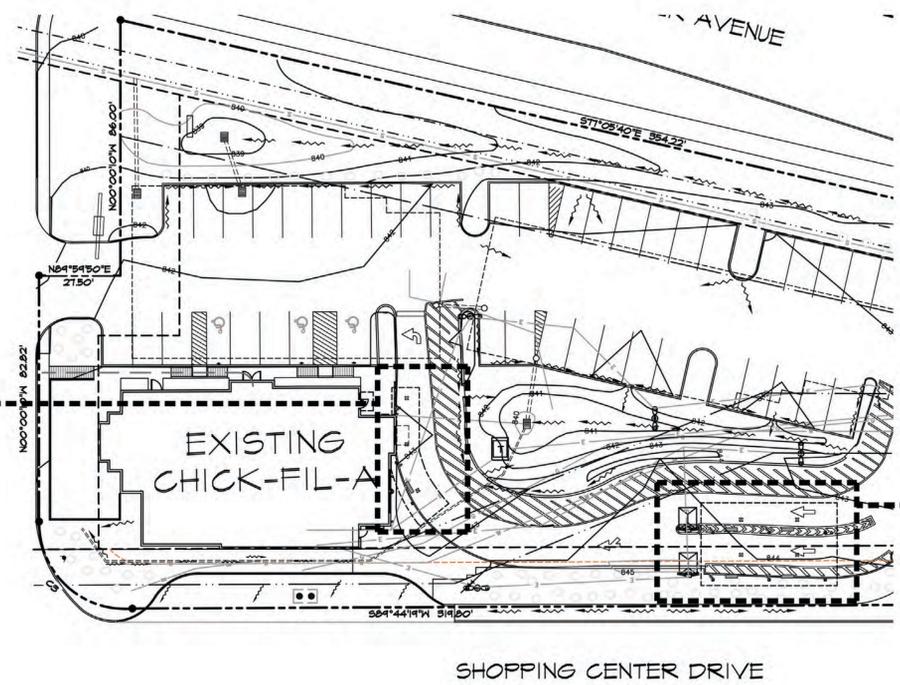
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MEAL DELIVERY CANOPY, 9'-6" CLEAR ABOVE PAVEMENT - FRONT VIEW.



FACE TO FACE CANOPY (DUAL LANE), 9'-6" CLEAR ABOVE PAVEMENT - FRONT VIEW.

MATERIAL SAMPLES



LOCATION: CANOPY UNDERSIDE
MANUFACTURER: BECKERS PAINT
COLOR: 441M4463 HIGH GLOSS WHITE

LOCATION: CANOPY ROOF DECK/FASCIA
EXPOSED COLUMNS
MANUFACTURER: DURA COAT PRODUCTS, INC.
COLOR: 1B5T-207B OIL RUBBED BRONZE
TEXTURED PVDF POWDER COAT FINISH



MEAL DELIVERY CANOPY, 9'-6" CLEAR ABOVE PAVEMENT - UNDER CANOPY VIEW.



LOCATION: LED CANOPY LIGHT
MANUFACTURER: LEGACY (CRUS)
MODEL: LIGHT OUTPUT - CRUS
COLOR: COOL WHITE



LOCATION: MOUNTED HEATER
MANUFACTURER: SUPREME SCHUNK
MODEL: 2352 N OUTDOOR



LOCATION: MOUNTED FAN
MANUFACTURER: TPI CORP.
MODEL: U-18-TE
SIZE: 18"



FACE TO FACE CANOPY (DUAL LANE), 9'-6" CLEAR ABOVE PAVEMENT - UNDER CANOPY VIEW.

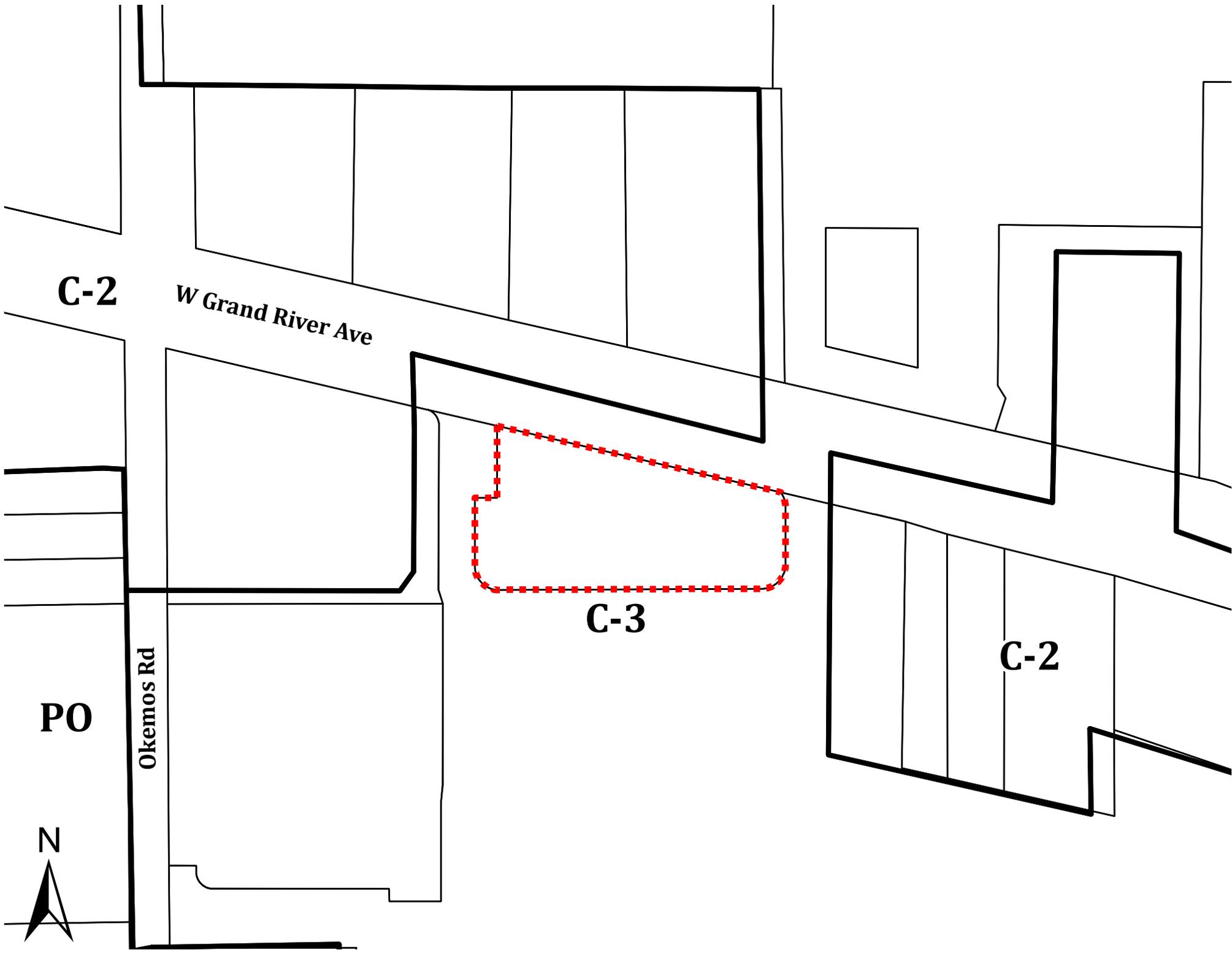
Project Name: CANOPY PROGRAM
CHICK-FIL-A
STORE #3695
2075 GRAND RIVER AVE
OKEMOS, MI 48864

Revisions

Sheet Title
Products & Materials

Sheet Number

A-4



C-2

W Grand River Ave

Okemos Rd

C-3

C-2

PO

N



To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: February 10, 2022
Re: ZBA Case No. #22-02-16-1 (5000 Okemos Road)

ZBA CASE NO.: 22-02-16-1 (5000 Okemos Road), 2700 Port Lansing Road, Lansing, MI 48906
LOCATION: 5000 Okemos Road
PARCEL ID: 21-226-012
ZONING DISTRICT: C-3 (Commercial)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-471(b)(1), all structures and grading activities shall be setback from the edge of a water feature as follows: Wetlands regulated by the Township, the state, or by federal law equal to or greater than two acres in area; 40 feet.
- Section 86-471(c)(1), to minimize erosion, stabilize streambanks and wetland edges, protect water quality, and preserve fish and wildlife habitat, a natural vegetation strip shall be maintained from the edge of a water feature as follows: Wetlands regulated by the Township, the state, or by federal law; 20 feet.

Michigan Department of Transportation, the applicant, has requested a variance to allow for a compensating cut within the 100-year floodplain located at 5000 Okemos Road. The compensating cut is to offset the placement of 12,953 cubic yards of fill to raise Grand River Avenue two feet to alleviate flooding at the Grand River Avenue and Okemos Road intersection. The compensating cut will remove 14,926 cubic yards of dirt on property owned by Meridian Township that currently contains a Meridian Township Fire Station. The Michigan Department of Environment, Great Lakes, and Energy (EGLE) issued a permit for the proposed work in the floodplain on November 4, 2021. The approximate 24.59-acre site is zoned C-3 (Commercial).

There is one wetland located on the property. The wetland extends offsite to the south and is approximately 19.11 acres overall in size, with approximately half of it being located on the subject site. Because the wetland is greater than five acres in size it is regulated by both the State of Michigan and the Township.

ZBA Case No. 22-02-16-1 (5000 Okemos Road)
Zoning Board of Appeals (February 16, 2022)
Page 2

The Zoning Ordinance specifies activities that are prohibited within the 20 foot and 40-foot wetland setbacks. The 40-foot wetland setback prohibits any structures or grading. Within the 20-foot wetland setback trees, shrubs, and ground cover may be selectively pruned or removed to provide reasonable private access or views to water features, to remove potentially hazardous or nuisance exotic vegetation, and to improve or protect wildlife habitat. Such pruning and removal activities are subject to the following: 1. No more than 10% of the length of the strip shall be clear cut or mowed to the depth of the strip. 2. Pathways accessing water features shall not exceed 10 feet in width. 3. A live root system shall be maintained to provide for streambank stabilization and erosion control.

At the closest point the compensating cut would be located 0' from the wetland boundary, encroaching 20' into the 20-foot natural vegetation strip and 40' into the 40-foot wetland setback. The applicant is requesting a 20' variance for the compensating cut within the 20-foot natural vegetation strip and a 40' variance for the compensating cut within the 40-foot wetland setback.

Attachments

1. Variance application dated October 19, 2021 and received by the Township on December 29, 2021.
2. Site location map.

VARIANCE APPLICATION SUPPLEMENT

A variance will be granted, if the following Review Criteria are met:

1. Unique circumstances exist that are peculiar to the land or structure that are not applicable to other land or structures in the same zoning district.
2. These special circumstances are not self-created.
3. Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties.
4. That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably prevent the owner from using the property for a permitted purpose.
5. Granting the variance is the minimum action that will make possible the use of the land or structure in a manner which is not contrary to the public interest and which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
6. Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
7. The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Granting the variance will be generally consistent with public interest and the purposes and intent of this Chapter.

Effect of Variance Approval:

1. Granting a variance shall authorize only the purpose for which it was granted.
2. The effective date of a variance shall be the date of the Zoning Board of Appeals approves such variance.
3. A building permit must be applied for within 24 months of the date of the approval of the variance, and a Certificate of occupancy must be issued within 18 months of the date the building permit was issued, otherwise the variance shall be null and void.

Reapplication:

1. No application for a variance, which has been denied wholly or in part by the Zoning Board of Appeals, shall be resubmitted until the expiration of one (1) year or more from the date of such denial, except on grounds of newly discovered evidence or proof of changed conditions found by the Zoning Board of Appeals to be sufficient to justify consideration.



NOTICE OF AUTHORIZATION

Permit Number: WRP031475 v. 1

Date Issued: November 4, 2021

Site Name: 33 - M-43 Grade Raise, wetland, floodplain of Red Cedar River

Expiration Date: November 4, 2026

The Michigan Department of Environment, Great Lakes, and Energy (EGLE), Water Resources Division, P.O. Box 30458, Lansing, Michigan 48909-7958, under provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended; specifically:

- Part 31, Floodplain Regulatory Authority of the Water Resources Protection.
- Part 301, Inland Lakes and Streams.
- Part 303, Wetlands Protection.
- Part 315, Dam Safety.
- Part 323, Shorelands Protection and Management.
- Part 325, Great Lakes Submerged Lands.
- Part 353, Sand Dunes Protection and Management.

Authorized activity:

Raise the existing M-43 road grade two feet to alleviate flooding along M-43 and Short Street and M-43 and Okemos Road by placing 12,953 cubic yards of fill in the Red Cedar River floodplain. Remove 14,926 cubic yards of material as compensatory cut to create a 1,973 cubic yard floodplain relief site upstream adjacent to Pine Lake Outlet, which flows to the Red Cedar River. The project will impact 0.14 acres of adjacent wetland to be mitigated at a 1:1 ratio at the M-84 Crane Road Mitigation Site. Storm water will be treated in-line with the addition of catch basins/hydrodynamic storm separators prior to outlet to the Red Cedar River. No other work in wetland is authorized

To be conducted at property located in: Ingham County, Waterbody: Red Cedar River
Section 21, Town 04N, Range 01W, Meridian Township

Permittee:

James Neal - Michigan Department of Transportation
4701 W. Michigan Avenue
Jackson, Michigan 49201

Issued By:

Holly Vickers
Transportation Review Unit
Water Resources Division
616-295-2787

*This notice must be displayed at the site of work.
Laminating this notice or utilizing sheet protectors is recommended.*
Please refer to the above permit number with any questions or concerns.



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF
ENVIRONMENT, GREAT LAKES, AND ENERGY
LANSING



LIESL EICHLER CLARK
DIRECTOR

October 27, 2021

Mr. Tom Killingsworth
Michigan Department of Transportation

SUBJECT: NPDES Permit No. **MIR116845** **33082 – 113491A**
Designated Site Name: MDOT-M-43 from Park Lake Rd to Cornell Rd-Ingham
Authorization to Discharge Storm Water from Construction Activities under the National
Pollutant Discharge Elimination System (NPDES)

This is to acknowledge that the Department of Environment, Great Lakes, and Energy (EGLE) received your complete Notice of Coverage form and \$400 fee. On **October 25, 2021**, you became authorized, under NPDES, to discharge storm water from your construction activities at **M-43 from Park Lake Rd to Cornell Rd, Ingham Co, Okemos, MI 48864**. The NPDES authorization number for this site is **MIR116845**. Please refer to this number in all future correspondence with the EGLE concerning this permit.

PLEASE NOTE: The authorization to discharge storm water pursuant to the provisions of Michigan's Permit-by-Rule expires on **October 24, 2026**, or when the project has been completed by the stabilization of earth-change activities. A Notice of Termination (NOT) must be submitted to the EGLE once the construction site is completely stabilized. If the NOT is submitted prior to the complete stabilization of the site, a new administratively complete NOC, including the fee, must be submitted to obtain storm water authorization. The NOT form is available in and submitted via the EGLE's MiWaters system. The MiWaters Web site is located at <https://miwaters.DEQ.state.mi.us>.

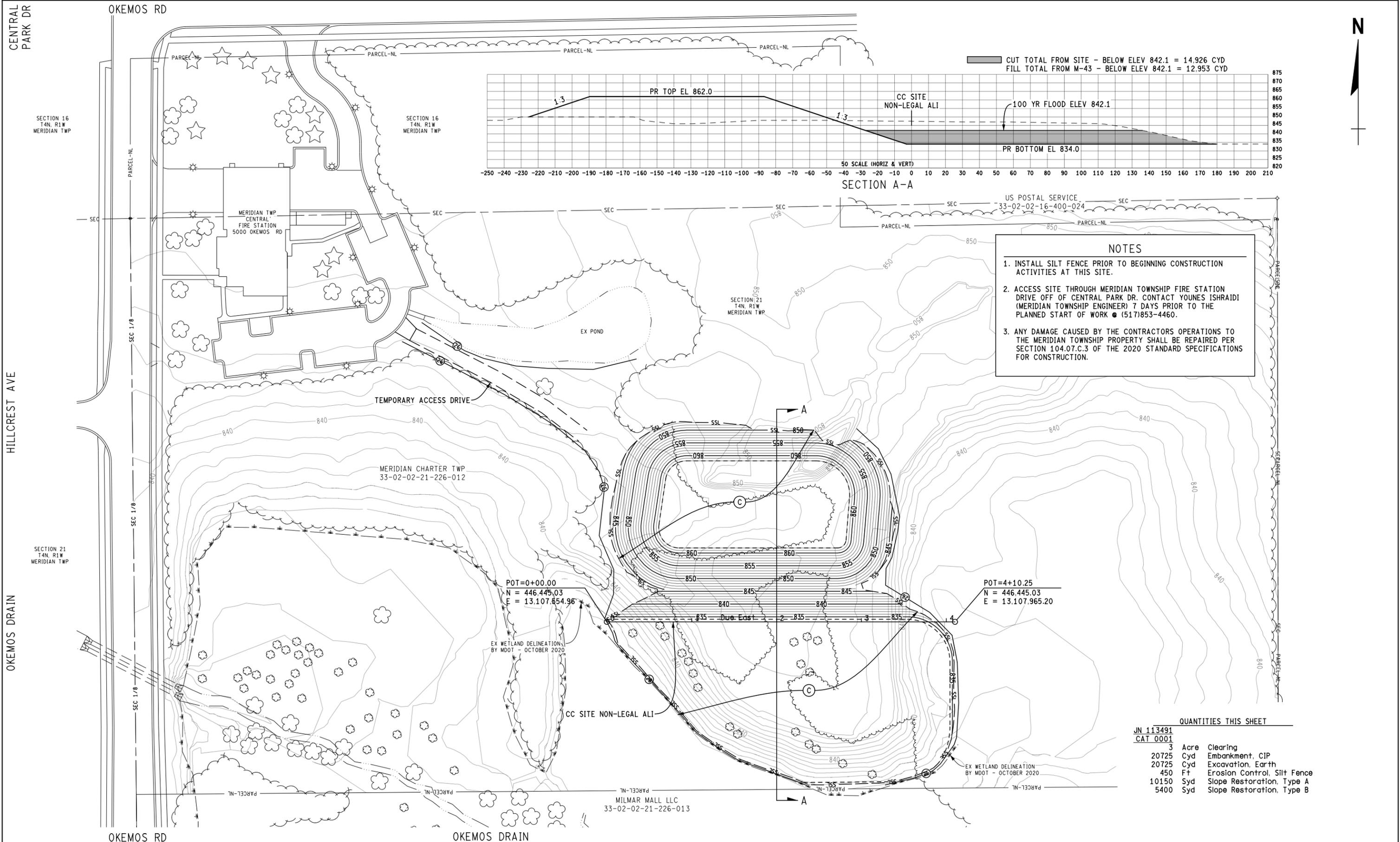
Please be advised that the authorization to discharge requires that the soil erosion and sedimentation controls be under the supervision of a state-certified storm water operator. A copy of Michigan's Permit-by-Rule can be found on EGLE's Web site at <https://www.michigan.gov/egle>; click on "Water", then "Water Permits", then click on "Surface Water," and then click on "Storm Water." These requirements must be followed during the entire period of your storm water discharge authorization.

The issuance of this permit does not authorize the violation of any federal, state, or local laws or regulations, nor does it obviate the necessity of obtaining such permits, including any other EGLE permits, or approvals from other units of government as may be required by law.

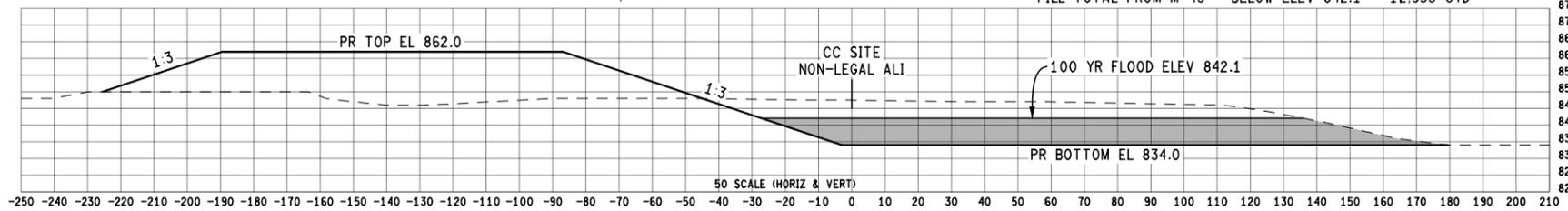
If you have any questions about your authorization to discharge storm water, please contact Ms. Tiffany Wilson, Permits Section, Water Resources Division, at 517-256-1425, or wilsont15@michigan.gov, or your agency contact, Ms. Danielle McLain at 517-899-7034, or McLainD2@michigan.gov.

Sincerely,

Tarek Buckmaster, Supervisor
Industrial and Storm Water Permits Unit
Permits Section
Water Resources Division



CUT TOTAL FROM SITE - BELOW ELEV 842.1 = 14,926 CYD
 FILL TOTAL FROM M-43 - BELOW ELEV 842.1 = 12,953 CYD

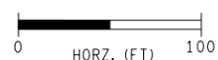


- NOTES**
1. INSTALL SILT FENCE PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES AT THIS SITE.
 2. ACCESS SITE THROUGH MERIDIAN TOWNSHIP FIRE STATION DRIVE OFF OF CENTRAL PARK DR. CONTACT YOUNES ISHRAIDI (MERIDIAN TOWNSHIP ENGINEER) 7 DAYS PRIOR TO THE PLANNED START OF WORK @ (517)853-4460.
 3. ANY DAMAGE CAUSED BY THE CONTRACTORS OPERATIONS TO THE MERIDIAN TOWNSHIP PROPERTY SHALL BE REPAIRED PER SECTION 104.07.C.3 OF THE 2020 STANDARD SPECIFICATIONS FOR CONSTRUCTION.

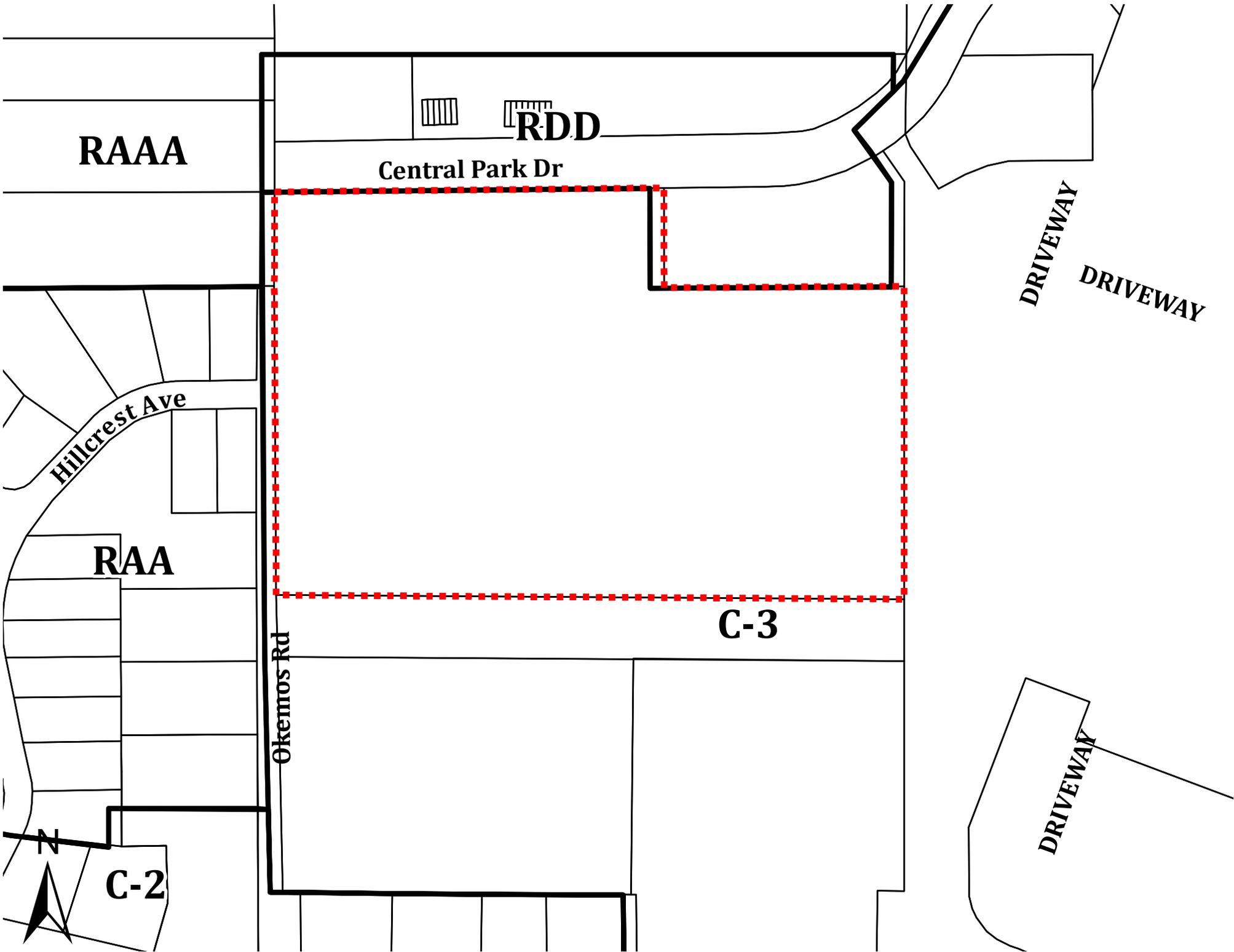
QUANTITIES THIS SHEET

Quantity	Unit	Description
JN 113491		
CAT 0001		
3	Acres	Clearing
20725	Cyd	Embankment, CIP
20725	Cyd	Excavation, Earth
450	Ft	Erosion Control, Silt Fence
10150	Syd	Slope Restoration, Type A
5400	Syd	Slope Restoration, Type B

FINAL ROW PLAN REVISIONS (SUBMITTAL DATE:)						DATE: 07/01/21		CS: 33082		SITE PLAN		DRAWING	SHEET
NO.	DATE	AUTH	DESCRIPTION	NO.	DATE	AUTH	DESCRIPTION	DESIGN UNIT: RICK	JN: 113491A	M-43		M43 SITE	SECT 1
								TSC: LANSING		100 YR FLOOD PLAIN COMPENSATING CUT SITE			



FILE: 113491_M43_Cu+Site_Detail.dgn



R.A.A.A.

Central Park Dr

R.D.D.

DRIVEWAY

DRIVEWAY

Hillcrest Ave

R.A.A.

C-3

Okemos Rd

DRIVEWAY

N

C-2



To: Zoning Board of Appeals
Keith Chapman, Assistant Planner

Date: February 10, 2022

Re: ZBA Case No. 22-02-16-2 (4887 & 4893 Dawn Avenue)

ZBA CASE NO.: 22-02-16-2 (4887 & 4893 Dawn Avenue), 4893 Dawn Avenue, East Lansing, MI 48823

DESCRIPTION: 4887 & 4893 Dawn Avenue

TAX PARCEL: 20-202-008 & 20-202-007

ZONING DISTRICT: I (Industrial)

The applicant is requesting variances from the following sections of the Code of Ordinances:

- Section 86-435 (f)(1), Minimum lot area: one acre.
- Section 86-435 (f)(2), Minimum interior lot width. 100 feet.

Dawn Avenue Associates, LLC, the applicant in conjunction with Meridian Township, has requested variances to create three parcels that are under the minimum lot area of one acre and the minimum lot width of 100 feet at 4887 & 4893 Dawn Avenue. The land division is necessary to construct a portion of the Meridian Township trail system along the Red Cedar River. The approximate 2.54-acre site is zoned I (Industrial).

Currently, there are two lots with frontage on Dawn Avenue. The north parcel is approximately 1.047 acres in lot area and has 232 feet of lot width on Dawn Avenue. The south parcel is approximately 1.178 acres in lot area and has 214 feet of lot width on Dawn Avenue. A 21,578 square foot industrial building occupies the north parcel, and the south parcel contains a parking lot.

The proposal is to create three parcels which consists of a north, south, and trail parcel. The north parcel would have of lot area of 1.004 acres and 232 feet of lot width, the south parcel would have 0.885 acres of lot area and 185 feet of lot width, and the new trail parcel will have approximately 0.65 acres in lot area and 29.89 feet in lot width. The following table summarizes the variance request:

Parcel	Lot Area	Lot Width	Proposed Lot Area	Proposed Lot Width	Variance Request
North	1.047 acres	232 feet	1.004 acres	232 feet	-
South	1.178 acres	214 feet	0.885 acres	185 feet	<i>0.115 acres</i>
Trail	-	-	0.65 acres	29.89 feet	<i>0.35 acres & 70.11 feet</i>

Zoning Board of Appeals
February 16, 2022
RE: ZBA Case No. 22-02-16-2 (4887 & 4893 Dawn
Avenue)
Page 2

Attachments

1. Application materials
2. Site location map

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION

A. Applicant Chris Edwards - Dawn Avenue Associates LLC
Address of Applicant 4893 Dawn Avenue, East Lansing, MI 48823
Telephone (Work) 517.351.7534 Telephone (Home) _____
Fax _____ Email address: chris.edwards@superiorbrass-mi.com
Interest in property (circle one): Owner Tenant Option Other

B. Site address/location 4887 & 4893 Dawn Avenue, East Lansing, MI 48823
Zoning district I - Industrial Parcel number 33-02-02-20-202-008 & 33-02-02-20-202-007

C. Nature of request (Please check all that apply):
 Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) 86-435 (f)(1), 86-435 (f)(2)

D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met (See next page)

Chris Edwards Chris Edwards 1-18-22
Signature of Applicant Print Name Date

Fee: _____ Received by/Date: [Signature]

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

Chris Edwards 1-18-22
Signature of Applicant(s) Date

Signature of Applicant(s) Date

* This application is for variances from 86-435(f)(1) and 86-435(f)(2) for both Parcel numbers referenced herein, and it is intended that the proposed parcels remaining after the Land Division approval to allow for the public non-motorized trail remain, separate lawful parcels which are not combined by this variance application or the land division.



Variance Application Supplement

1. The location of these industrial parcels adjacent to the Red Cedar River, which makes it valuable from the perspective of a public trail, also makes it unique in this zoning district and in the Township as a whole.
2. The current business and site configuration has been in operation for over one-quarter of a century, by a private entity. The Township had no bearing on the site layout.
3. Strict interpretation of the Ordinance would negatively impact the owners use of the land by reducing the amount of space available for parking, loading, and transportation.
4. For an industrial facility, parking, and especially space for loading, unloading, and transportation, are highly important. Reducing these areas would negatively impact the ability of the business to operate as efficiently as possible.
5. The proposed parcel, as described, would allow construction, operation, and maintenance of a public, non-motorized trail. Such trails are highly valued in Meridian Township, supported time and again by voters since 1974, as well as by the Township Board. The only action required to proceed with the parcel split and acquisition, which will be followed by the trail construction, is the granting of this variance.
6. This variance will allow construction of a public, non-motorized trail, which will enhance the surrounding area by allowing public use of the trail for recreation, transportation, and commerce. The surrounding properties consist of industrial, commercial, and multi-family residential. A public trail is harmonious with these uses.
7. This is the first time the Township Public Works Department has encountered this situation with a trail project.
8. As mentioned above, a public trail will enhance the recreational, transportation, and commercial options for area residents and visitors. Further, this trail is part of a larger system that will connect the City of Lansing River Trail with the MSU Campus, and further to the Ingham County Parks around Lake Lansing. This trail is of prime benefit to the community as a whole and does not violate the spirit of the Township Ordinance.



PARCEL DESCRIPTIONS

Parent Parcels:

33-02-02-20-202-007 (4893 Dawn): Lot 18 and the North 112 feet of Lot 17, Cedar River Homes.

33-02-02-20-202-008 (4887 Dawn): Lot 17 except the North 112 feet thereof, Cedar River Homes.

Proposed Parcels:

33-02-02-_____ (4893 Dawn): Lot 18 and the North 112 feet of Lot 17, Cedar River Homes, excluding that portion of the following described area of land lying within the North 112 feet of Lot 17: being part of Lot 17, Cedar River Homes, Meridian Township, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 11 of Plats, Page 30, Ingham County Records, the surveyed boundary described as: Commencing at the Northeast corner of Lot 18 of said Cedar River Homes; thence N89°41'10"W along the North line of said Lot 18 a distance of 183.23 feet (Recorded as 183.5 feet) to the Northwest corner of said Lot 18; thence S00°23'08"W along the West line of said Lot 18 a distance of 120.00 feet to the Southwest corner of said Lot 18 and the point of beginning of this description; thence S01°31'55"W 18.88 feet; thence S14°20'26"W 175.95 feet; thence S20°36'07"E 50.51 feet; thence S44°08'45"E 100.89 feet; thence N85°22'59"E 137.97 feet to the East line of said Lot 17; thence S00°21'04"W along said East line 29.89 feet; thence S66°18'40"W 123.28 feet to the water's edge of the Red Cedar River; thence along said water's edge the following eight courses: N59°42'27"W 112.00 feet, N42°45'22"W 23.05 feet, N40°30'26"W 59.56 feet, N15°05'03"W 90.06 feet, N19°29'24"E 57.29 feet, N21°29'35"E 29.80 feet, N27°06'14"E 79.82 feet, and N00°34'49"W 19.10 feet to the North line of said Lot 17; thence S89°41'10"E along said North line 39.87 feet to the point of beginning; the new parcel containing 1.004 acres, more or less.

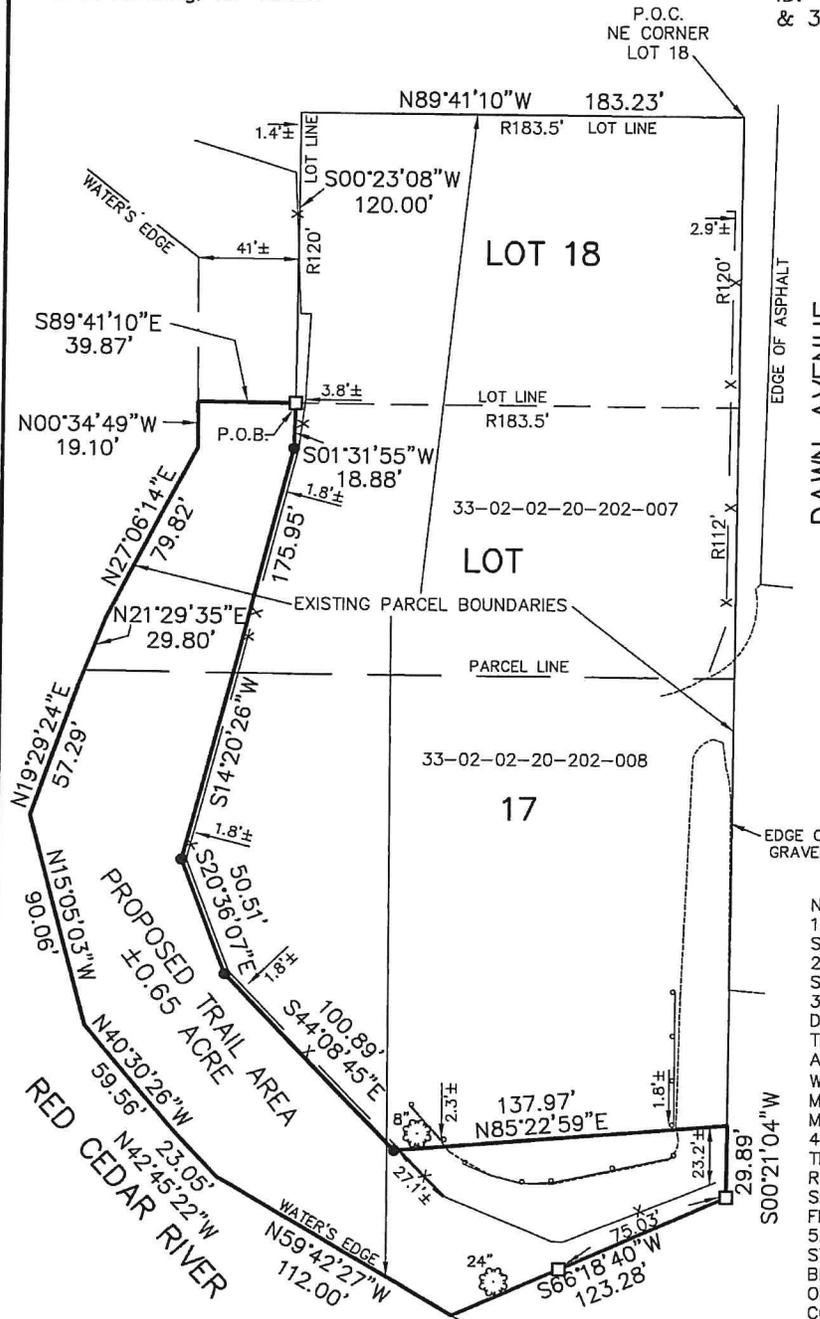
33-02-02-_____ (4887 Dawn): Lot 17 except the North 112 feet thereof, Cedar River Homes, also excluding that portion of the following described area of land lying within Lot 17, except the North 112 feet thereof: being part of Lot 17, Cedar River Homes, Meridian Township, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 11 of Plats, Page 30, Ingham County Records, the surveyed boundary described as: Commencing at the Northeast corner of Lot 18 of said Cedar River Homes; thence N89°41'10"W along the North line of said Lot 18 a distance of 183.23 feet (Recorded as 183.5 feet) to the Northwest corner of said Lot 18; thence S00°23'08"W along the West line of said Lot 18 a distance of 120.00 feet to the Southwest corner of said Lot 18 and the point of beginning of this description; thence S01°31'55"W 18.88 feet; thence S14°20'26"W 175.95 feet; thence S20°36'07"E 50.51 feet; thence S44°08'45"E 100.89 feet; thence N85°22'59"E 137.97 feet to the East line of said Lot 17; thence S00°21'04"W along said East line 29.89 feet; thence S66°18'40"W 123.28 feet to the water's edge of the Red Cedar River; thence along said water's edge the following eight courses: N59°42'27"W 112.00 feet, N42°45'22"W 23.05 feet, N40°30'26"W 59.56 feet, N15°05'03"W 90.06 feet, N19°29'24"E 57.29 feet, N21°29'35"E 29.80 feet, N27°06'14"E 79.82 feet, and N00°34'49"W 19.10 feet to the North line of said Lot 17; thence S89°41'10"E along said North line 39.87 feet to the point of beginning; the new parcel containing 0.885 acres, more or less.

33-02-02-_____ (Proposed Trail Area): A parcel of land being part of Lot 17, Cedar River Homes, Meridian Township, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 11 of Plats, Page 30, Ingham County Records, the surveyed boundary of said parcel described as: Commencing at the Northeast corner of Lot 18 of said Cedar River Homes; thence N89°41'10"W along the North line of said Lot 18 a distance of 183.23 feet (Recorded as 183.5 feet) to the Northwest corner of said Lot 18; thence S00°23'08"W along the West line of said Lot 18 a distance of 120.00 feet to the Southwest corner of said Lot 18 and the point of beginning of this description; thence S01°31'55"W 18.88 feet; thence S14°20'26"W 175.95 feet; thence S20°36'07"E 50.51 feet; thence S44°08'45"E 100.89 feet; thence N85°22'59"E 137.97 feet to the East line of said Lot 17; thence S00°21'04"W along said East line 29.89 feet; thence S66°18'40"W 123.28 feet to the water's edge of the Red Cedar River; thence along said water's edge the following eight courses: N59°42'27"W 112.00 feet, N42°45'22"W 23.05 feet, N40°30'26"W 59.56 feet, N15°05'03"W 90.06 feet, N19°29'24"E 57.29 feet, N21°29'35"E 29.80 feet, N27°06'14"E 79.82 feet, and N00°34'49"W 19.10 feet to the North line of said Lot 17; thence S89°41'10"E along said North line 39.87 feet to the point of beginning; said parcel containing 0.65 acre, more or less; said parcel subject to all easements and restrictions, if any.

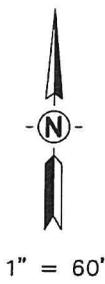
LOT SURVEY

For:
 Superior Brass & Aluminium
 4893 Dawn Avenue
 East Lansing, MI 48823

Survey Addresses:
 4887 & 4893 Dawn Avenue
 East Lansing, MI 48823
 ID: 33-02-02-20-202-007
 & 33-02-02-20-202-008



DAWN AVENUE
 (PUBLIC- PLATTED 50' WIDE R.O.W.)



- NOTES:
1. EASEMENTS, IF ANY, NOT SHOWN
 2. ALL IMPROVEMENTS NOT SHOWN.
 3. ACREAGE OF AREA DETERMINED MAY CHANGE AS THE WATER LEVELS CHANGE. AREA DETERMINED IS PER WATER'S EDGE LOCATION AS MEASURED IN THE FIELD ON MARCH 22, 2019.
 4. ALL TREES NOT SHOWN - TREES SHOWN HEREON WERE REQUESTED TO BE LOCATED SPECIFICALLY BY CLIENT DURING FIELD WORK ON JUNE 3, 2020.
 5. ALL BEARINGS ARE MICHIGAN STATE PLANE SOUTH ZONE GRID BEARINGS OBTAINED FROM GPS OBSERVATIONS USING CORRECTIONS OBTAINED FROM THE LANSING C.O.R.S.

This plan was made at the direction of the parties hereon and intended solely for their immediate use and no survey has been made and no property lines were monumented, all easements recorded or unrecorded may not be shown, unless specifically noted, and no dimensions are intended for use in establishing property lines.

- = Proposed Trail Area
- - - = Distance Not to Scale
- ▨ = Deck, Porch, Sidewalk, & Patio Areas
- = Guard Rail ● = Set 1/2" Bar with Cap
- R = Recorded Distance □ = Found Iron as Noted
- M = Measured Distance
- * * = Fence
- 0.0'± = Denotes Distance to the Survey Line

KEBS, INC. KYES ENGINEERING
 BRYAN LAND SURVEYS

2116 HASLETT ROAD, HASLETT, MI 48840
 PH. 517-339-1014 FAX. 517-339-8047

13432 PRESTON DRIVE, MARSHALL, MI 49068
 PH. 269-781-9800 FAX. 269-781-9805

DRAWN BY	KDB/AN	SECTION 17, T4N, R1W
FIELD WORK BY	RR/JB	JOB NUMBER:
SHEET	1 OF 2	98516.LOT

07-06-2021
 DATE
ERICK R. FRIESTROM
 PROFESSIONAL SURVEYOR NO. 53497

LOT SURVEY

For:
 Superior Brass & Aluminium
 4893 Dawn Avenue
 East Lansing, MI 48823

Survey Addresses:
 4887 & 4893 Dawn Avenue
 East Lansing, MI 48823
 ID: 33-02-02-20-202-007
 & 33-02-02-20-202-008

Parent Parcels (as provided):

PARCEL A (33-02-02-20-202-007): Lot 18 and the North 112 feet of Lot 17, Cedar River Homes, City of East Lansing, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 11 of Plats, Page 30, Ingham County Records.

PARCEL B (33-02-02-20-202-008): Lot 17 except the North 112 feet thereof, Cedar River Homes, City of East Lansing, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 11 of Plats, Page 30, Ingham County Records.

Proposed Trail Area Legal Description: A parcel of land being part of Lot 17, Cedar River Homes, City of East Lansing, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 11 of Plats, Page 30, Ingham County Records, the surveyed boundary of said parcel described as: Commencing at the Northeast corner of Lot 18 of said Cedar River Homes; thence N89°41'10"W along the North line of said Lot 18 a distance of 183.23 feet (Recorded as 183.5 feet) to the Northwest corner of said Lot 18; thence S00°23'08"W along the West line of said Lot 18 a distance of 120.00 feet to the Southwest corner of said Lot 18 and the point of beginning of this description; thence S01°31'55"W 18.88 feet; thence S14°20'26"W 175.95 feet; thence S20°36'07"E 50.51 feet; thence S44°08'45"E 100.89 feet; thence N85°22'59"E 137.97 feet to the East line of said Lot 17; thence S00°21'04"W along said East line 29.89 feet; thence S66°18'40"W 123.28 feet to the water's edge of the Red Cedar River; thence along said water's edge the following eight courses: N59°42'27"W 112.00 feet, N42°45'22"W 23.05 feet, N40°30'26"W 59.56 feet, N15°05'03"W 90.06 feet, N19°29'24"E 57.29 feet, N21°29'35"E 29.80 feet, N27°06'14"E 79.82 feet, and N00°34'49"W 19.10 feet to the North line of said Lot 17; thence S89°41'10"E along said North line 39.87 feet to the point of beginning; said parcel containing 0.65 acre, more or less; said parcel subject to all easements and restrictions, if any.

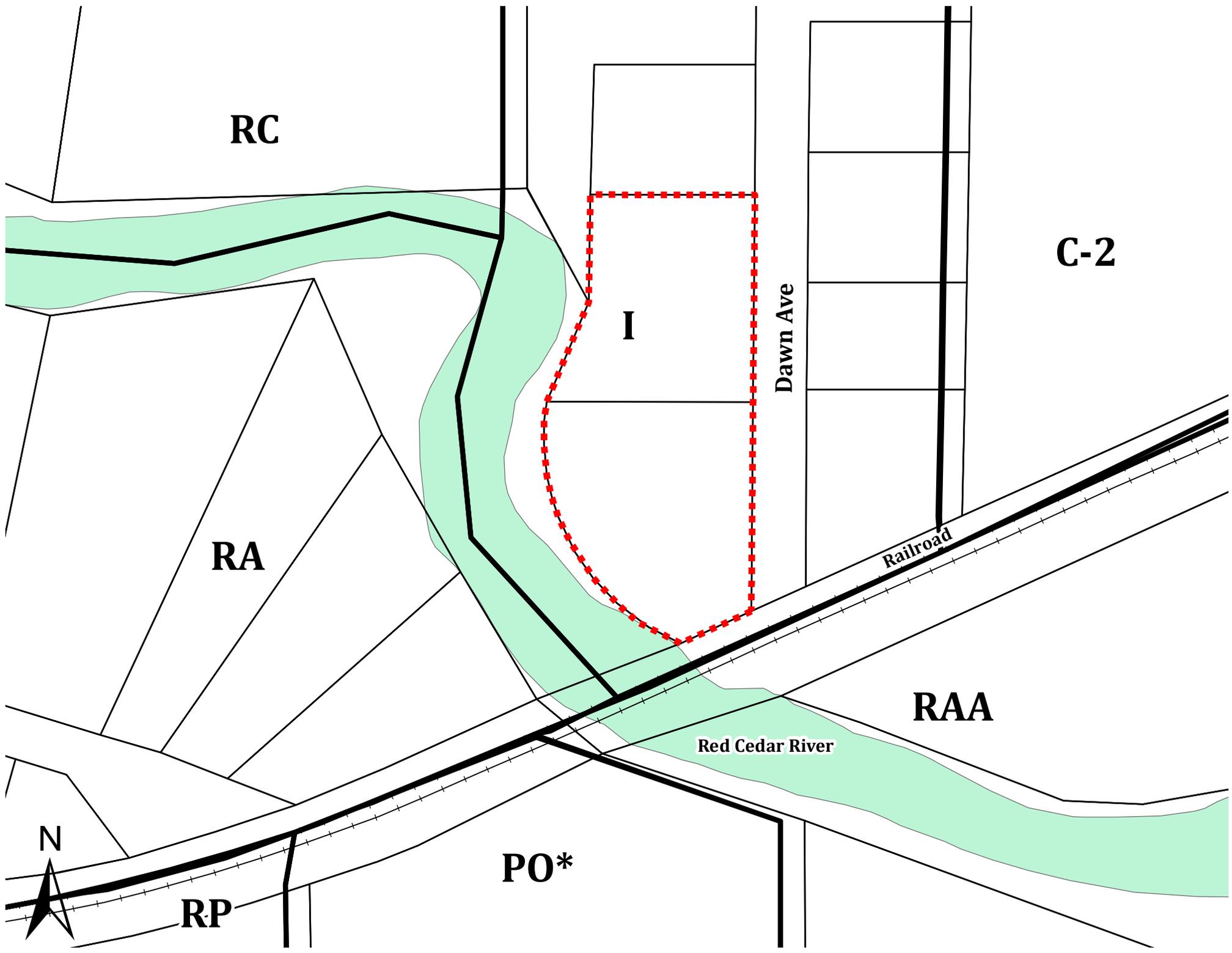
All bearings are Michigan State Plane South Zone grid bearings obtained from GPS observations using corrections obtained from the Lansing C.O.R.S.

	KEBS, INC. KYES ENGINEERING BRYAN LAND SURVEYS	
	2116 HASLETT ROAD, HASLETT, MI 48840 PH. 517-339-1014 FAX. 517-339-8047 13432 PRESTON DRIVE, MARSHALL, MI 49068 PH. 269-781-9800 FAX. 269-781-9805	
DRAWN BY	KDB/AN	SECTION 17, T4N, R1W
FIELD WORK BY	RR/JB	JOB NUMBER:
SHEET	2 OF 2	98516.LOT

Erick R. Friestrom

07-06-2004

ERICK R. FRIESTROM DATE
 PROFESSIONAL SURVEYOR NO. 53497



RC

C-2

I

Dawn Ave

Railroad

RA

RAA

Red Cedar River

PO*

RP

N





To: Zoning Board of Appeals
From: Keith Chapman, Assistant Planner
Date: February 10, 2022
Re: ZBA Case No. 22-02-16-3 (2090 Grand River)

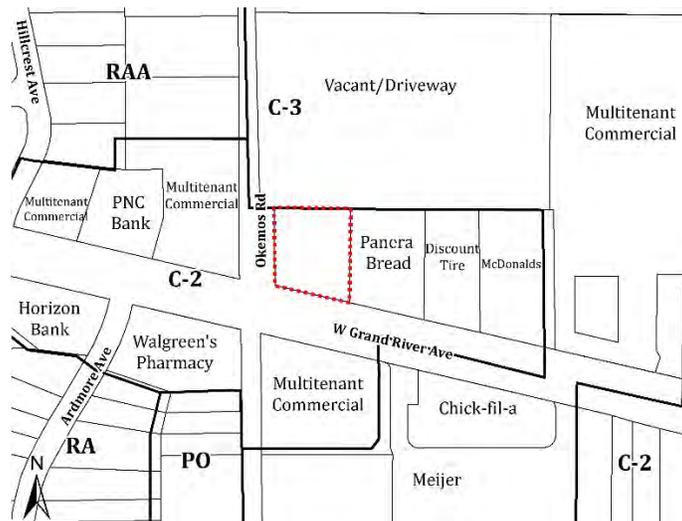
ZBA CASE NO.: 22-02-16-3 (2090 Grand River), 2240 Lansing Avenue, Jackson, MI 49202
LOCATION: 2090 Grand River Avenue
PARCEL ID: 21-226-003
ZONING DISTRICT: C-2 (Commercial)

The applicant is requesting a variance from the following section of the Code of Ordinances:

- Section 86-687(3)(c), Wall signs. In the case of multitenant structures, one wall sign shall be permitted for each tenant having an individual means of public access up to a size equivalent to one square foot for each one lineal foot of building frontage occupied.

Johnson Sign Company, the applicant, is requesting a variance to install a wall sign at 2090 Grand River Avenue. The 0.963-acre subject property is zoned C-2 (Commercial) and is located at the northeast corner of Grand River Avenue and Okemos Road. The 7,500 square foot multitenant commercial building has three tenants. The proposed wall sign is for Nothing Bundt Cakes which occupies the westernmost tenant space of the building. Access to the space is located on the south side of the building.

LOCATION MAP



ZBA Case No. 22-02-16-3 (2090 Grand River)
Zoning Board of Appeals (February 16, 2021)
Page 2

Per the Township's zoning ordinance, a multitenant building is permitted one (1) wall sign for each tenant having an individual means of public access and building frontage on a public street. The size of the wall sign is equivalent to one square foot for each one linear foot of building frontage occupied.

The 2,414 square foot tenant space for Nothing Bundt Cakes has approximately 35 linear feet of frontage on Grand River Avenue, as measured from the dividing wall of the tenant space to the outside wall of the west building façade. Based on 35 linear feet of frontage, one 35 square foot wall sign is permitted.

A 52.57 square foot sign is proposed for the south façade facing Grand River Avenue. The applicant is requesting a variance of 17.57 square feet.

History

- A variance request was denied by the Zoning Board of Appeals under ZBA Case #14-08-27-1 to permit the installation of a wall sign on the west façade where there is no means of public access.
- According to Meridian Township Building department records the 7,500 square foot multitenant commercial building was constructed in 1981.

Attachments

1. Variance application materials.

CHARTER TOWNSHIP OF MERIDIAN
PLANNING DIVISION
5151 MARSH ROAD, OKEMOS, MI 48864
(517) 853-4560

VARIANCE APPLICATION

A. Applicant Johnson Sign Co
Address of Applicant 2240 Lansing Ave
Jackson, MI 49202
Telephone (Work) (734) 483 - 2000 Telephone (Home) _____
Fax (734) 483 - 5164 Email address: Jess@johnsonsign.com
Interest in property (circle one): Owner Tenant **Other** Sub-Contractor

B. Site address/location 2090 W. Grand River
Zoning district C-2 Parcel number 33-02-02-21-226-003

C. Nature of request (Please check all that apply):

- Request for variance(s)
 Request for interpretation of provision(s) of the "Zoning Ordinance" of the Code of Ordinances
 Review an order, requirements, decision, or a determination of a Township official charged with interpreting or enforcing the provisions of the "Zoning Ordinance" of the Code of Ordinances

Zoning Ordinance section(s) § 86-687 (3)

D. Required Supporting Material Supporting Material if Applicable
-Property survey -Architectural sketches
-Legal description -Other
-Proof of property ownership or approval letter from owner
-Site plan to scale
-Written statement, which demonstrates how all the review criteria will be met (See next page)

James Johnson
Signature of Applicant

James Johnson
Print Name

1/14/2022
Date

Fee: \$1300

Received by/Date: [Signature] 1/20/22

I (we) hereby grant permission for members of the Charter Township of Meridian Zoning Board of Appeals, Township staff members and the Township's representatives or experts the right to enter onto the above described property (or as described in the attached information) in my (our) absence for the purposes of gathering information including but not limited to the taking and the use of photographs. (Note to Applicant(s): This is optional and will not affect any decision on your application.)

Signature of Applicant(s)

Date

Signature of Applicant(s)

Date

JAN 20 2022



Charter Township of Meridian
5151 Marsh Road
Okemos, MI 48864

JAN 20 2022

RE: Variance request for a larger sign on the store front elevation

To Whom It May Concern,

Nothing Bundt Cakes is seeking a variance to the requirement identified in Section 86-687 (3), Subjection 7 of the Charter Township of Meridian Code of Ordinances. Nothing Bundt Cakes is seeking a larger sign on the main entrance of their bakery located at 2090 W. Grand River. Due to the size of their sign band area, 6'-5" tall x 35'-0" wide, the size sign that would be allowed by code would be dwarfed by the façade and lack necessary visibility.

1. The building is setback significantly from W. Grand River Avenue and this elevation is largely obscured by mature trees and vegetation that the owner of the building needed to maintain (not remove or cut back) in accordance with their approved site plan for the construction of the building. The combination of the setback and the mature vegetation create a unique circumstance that is peculiar to this site and is not applicable to other sites in the same zoning district.
2. As the setback and landscaping requirements are set by the Township, these special circumstances were not self-created.
This creates the hardship of having limited visual identification of the location that potential customers are trying to navigate to, but are unable, due to the lack of visible signage.
3. The strict interpretation and enforcement of the literal terms and provisions of this section results in the practical difficulty of not allowing large enough signage to exist in the most highly visible section of the tenant's space.
4. If the variance is denied, this wouldn't prevent Nothing Bundt Cakes from using the property for the permitted purpose of operating a bakery, it will significantly complicate the ability of patrons to clearly and safely navigate to the site from the adjacent roadways. Customers unable to identify the building from a reasonable distance away would increase the rise of traffic accidents at this intersection due to the not having adequate identification of where they are supposed to turn to access the site.
5. We are seeking a variance for a larger sign than what is allowed in Section 86-687 (3), the additional square footage we are seeking is a mere 17.57 square feet. Granting this variance is the minimum action that will make possible the use of this site in a manner that is not contrary to the public interest and would carry out the spirit of this zoning ordinance, secure public safety and provide substantial justice.
6. Requesting a sign that is 17.57 square feet over what is allowed by code, the granting of this variance will not affect adjacent land (Nothing Bundt Cakes) or the essential character in the vicinity of the property.

7. These site conditions are very specific to this parcel of land and are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.
8. Nothing Bundt Cakes believes that granting the variance for the additional square footage will be generally consistent with public interest and the purposes and intent of this chapter.

To conclude, we humbly ask that the Board consider our request for this variance. It will alleviate the current problem of minimal visibility from the public right-of-way due to the existing conditions of the stie landscaping and positioning of the building and is a minor addition to the existing building that currently adheres to the requirements of this Code of Ordinances.

We appreciate your time taken to review this request.

Thank you,

A handwritten signature in black ink, appearing to read 'Jerry Yurgo', with a long horizontal flourish extending to the right.

Jerry Yurgo



Nothing Bundt Cakes

2090 West Grand River
Okemos, MI 48864

REV. 1/13/2022



224 Industrial Drive • Lexington, SC 29072
Telephone: (803) 808-5600 • www.magnasign.com

Front Elevation



SIGN AREA = 52.57ft²

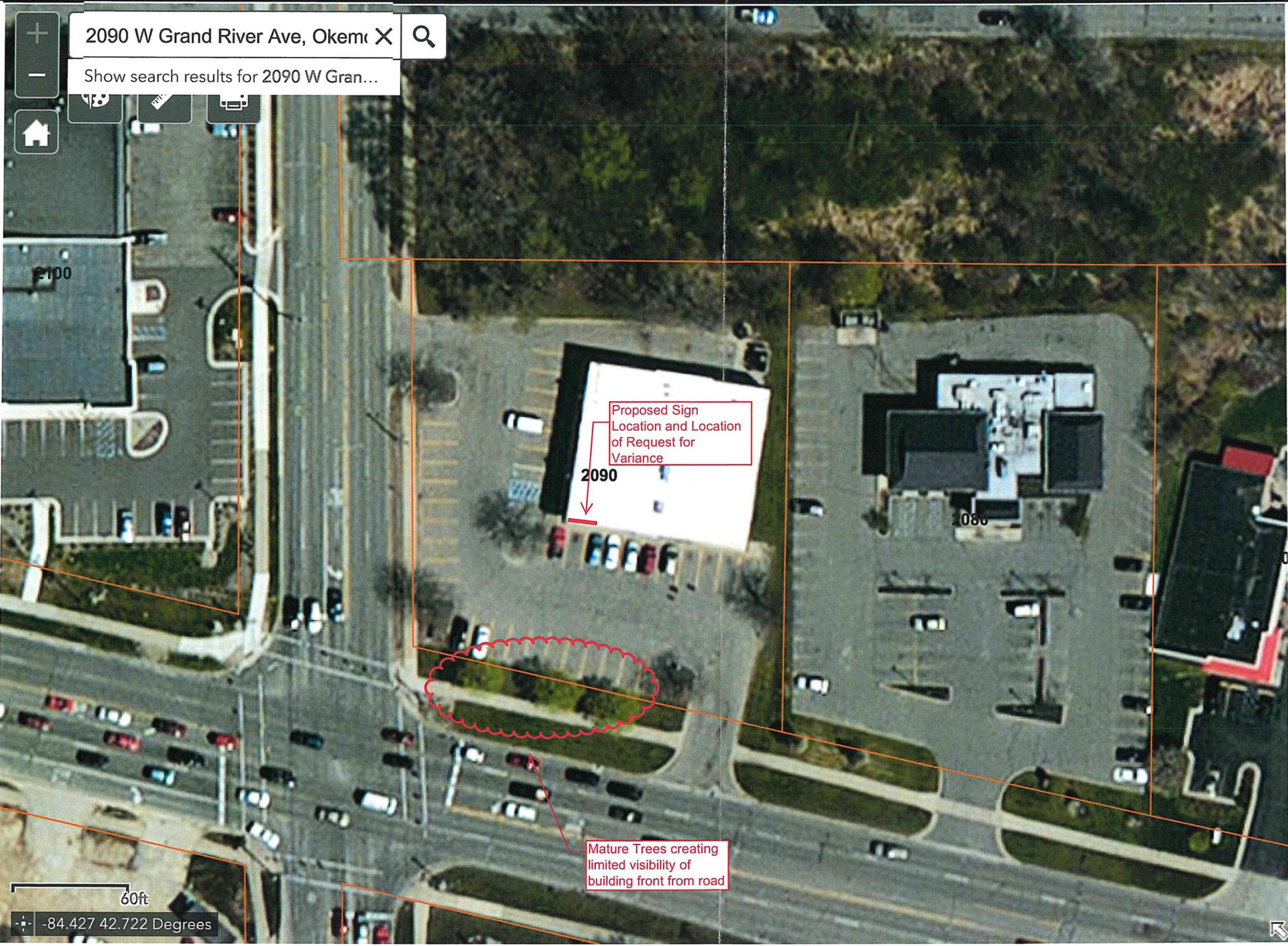


Flat awning panel. Approximately 30'- long and 2'- 6" tall.
Awning is dependant on suitable mounting points. Survey required to verify.

E. Lansing, MI



JAN 20 2022



2240 Lansing Ave. Jackson, MI 49202
 1800 S. Cedar St. Lansing, MI 48910
 663 S. Mansfield St. Ypsilanti, MI 48197
 517-784-3720/www.johnsonsign.com

JOB NAME:
 X Nothing Bundt Cakes

South Elevation Sign

LOCATION:
 2090 W. Grand River
 Okemos, MI 48864

ACCOUNT REP: TH

DESIGNER: _____

REVISION: _____

NOTES:
 X _____
 X _____
 X _____
 X _____
 X _____
 X _____
 X _____

FILE NAME:
 Site Plan

SCALE:
 JAN 2, 2024

This design and all material appearing hereon constitute the original unpublished work of Johnson Sign Co. may not be duplicated, used or disclosed without written consent.

60ft
 -84.427 42.722 Degrees

UL
 THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).

JOHNSON SIGN CO
 DOES NOT PROVIDE PRIMARY ELECTRIC TO SIGN LOCATION RESPONSIBILITY OF OTHERS

CUSTOMER APPROVAL: _____

DATE: _____





2240 Lansing Ave. Jackson, MI 49202
1800 S. Cedar St. Lansing, MI 48910
663 S. Mansfield St. Ypsilanti, MI 48197
517-784-3720/www.johnsonsign.com

JOB NAME:
Nothing Bundt Cakes
South Elevation Sign

LOCATION:
2090 W Grand Rver
Okemos, MI 48864

ACCOUNT REP: TH

DESIGNER: _____
X

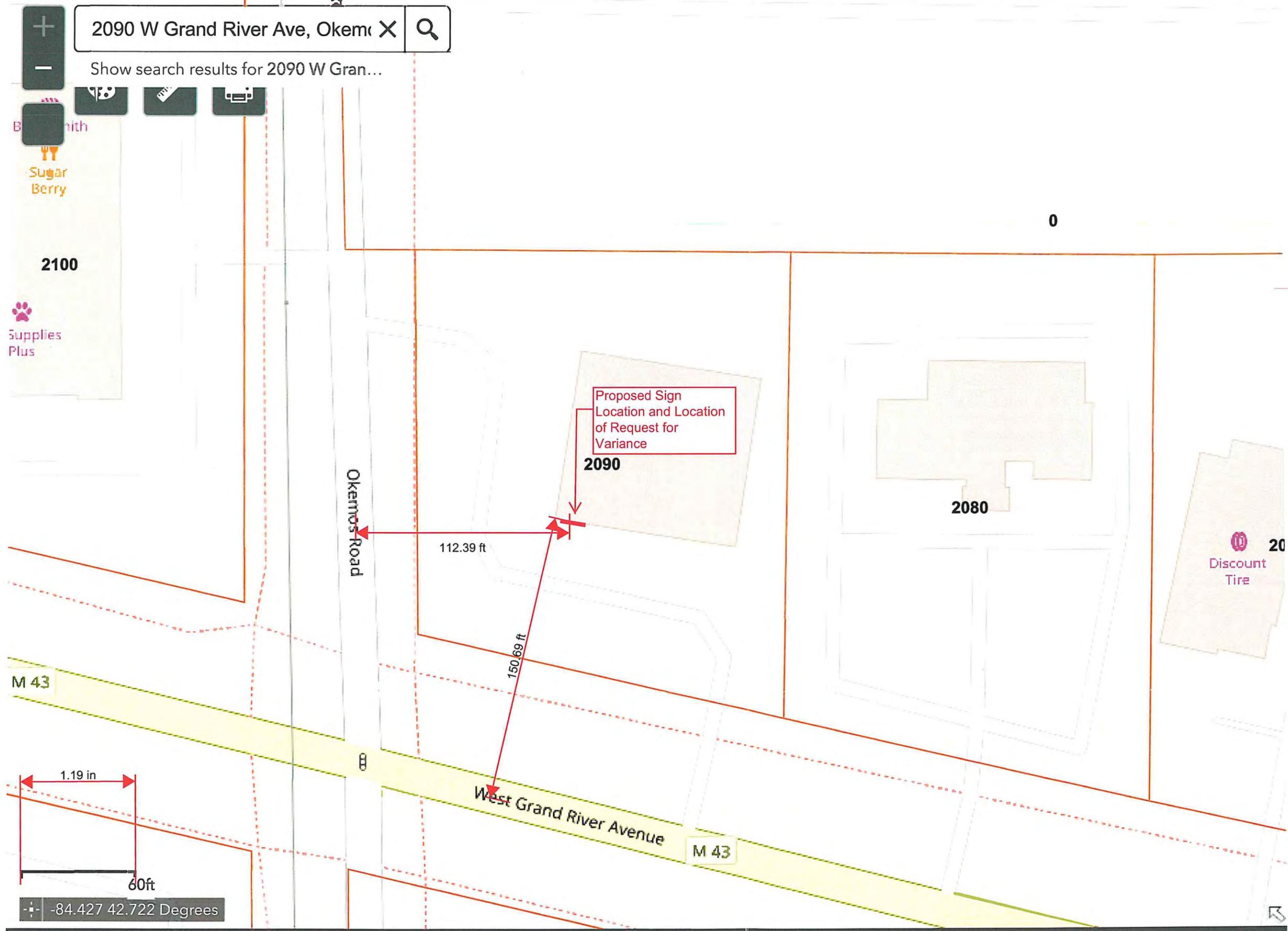
REVISION:

- NOTES:**
- X _____
 - X _____

FILE NAME:
Site Plan

SCALE:
1/8" = 1'-0"

This design and all material appearing hereon constitute the original unpublished work of Johnson Sign Co. may not be duplicated, used or disclosed without written consent.



THIS SIGN IS INTENDED TO BE MANUFACTURED IN ACCORDANCE WITH ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING & BONDING OF THE SIGN. SIGN WILL BEAR UL LABEL(S).

JOHNSON SIGN CO DOES NOT PROVIDE PRIMARY ELECTRIC TO SIGN LOCATION RESPONSIBILITY OF OTHERS

CUSTOMER APPROVAL: _____

DATE: _____



1/8" = 1'-0"

4/22/21



Nothing Bundt Cakes

2090 West Grand River
Okemos, MI 48864

REV. 1/13/2022



224 Industrial Drive - Lexington, SC 29072
Telephone: (803) 808-5600 - www.magnasign.com

Front Elevation



SIGN AREA = 52.57ft²

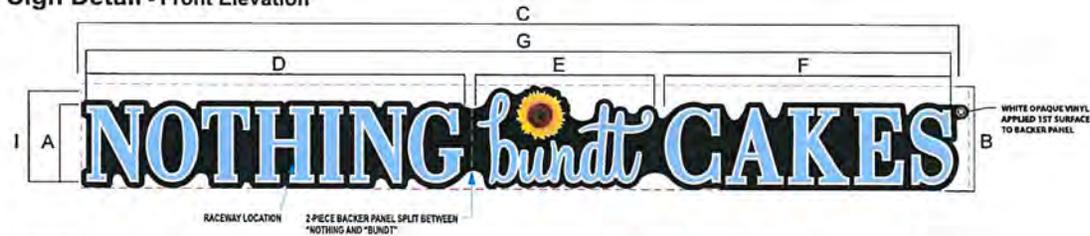


Flat awning panel. Approximately 30'- long and 2'- 6" tall.
Awning is dependant on suitable mounting points. Survey required to verify.

E. Lansing, MI

JAN 20 2022

Sign Detail - Front Elevation



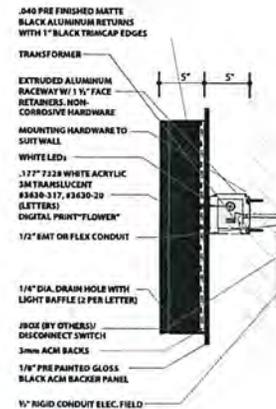
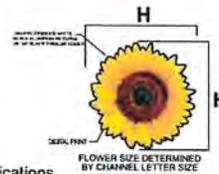
Qty: 1 -
Illuminated Blue Channel Letters
Mounted on Black Backer Panel on Raceway

Channel Letter Specifications

SIGN TYPE:	"NOTHING BUNDT CAKE" ILLUMINATED CHANNEL LETTERS
SIGN FACE:	.177" 7328 WHITE MODIFIED ACRYLIC
VINYL:	3M TRANSLUCENT #3630-317
FINISH CAP:	BLACK
RETURNING:	BLACK
LIGHTING:	Principal Qwik Mod 2 LED
MOUNTING:	1/8" pre painted gloss black acm backer panel Mounted to 5" Raceway

"FLOWER" Specifications

SIGN TYPE:	"NOTHING BUNDT CAKE" FLOWER
SIGN FACE:	.177" 7328 WHITE MODIFIED ACRYLIC
VINYL:	Digital Print on #7725-10
FINISH CAP:	BLACK
RETURNING:	BLACK
LIGHTING:	Principal Qwik Mod 2 LED
MOUNTING:	MOUNTED W/ FASTENERS TO SUIT



	A	B	C	D	E	F	G	H	I	SHAW Sig. #	CSL#
	22"	2'-6"	21'-0 3/8"	8'-11 1/2"	4'-2 1/2"	6'-10 7/16"	20'-7 1/16"	1'-3 1/2"	2'-3 11/16"	52.57ft ²	2.9"

E. Lansing, MI





To: Zoning Board of Appeals

From: Keith Chapman, Assistant Planner

Date: February 9, 2022

Re: Election of Chair and Vice-Chair

The Zoning Board of Appeals rules of procedure require that at the first regular meeting each calendar year the Board must select from its members a Chair and Vice-Chair. In accordance with Section 86-62(c)(5) of the Code of Ordinances, an elected official of the Township cannot serve as chair or vice-chair of the Zoning Board of Appeals. The general duties of each position are as follows:

Chair: The chair shall preside at all meetings, authorize calls for special meetings, and perform such other duties as may be specified by the Zoning Board of Appeals.

Vice-Chair: The vice-chair shall act in the capacity of the chair in the chair's absence. In the event the office of the chair becomes vacant, the vice-chair shall succeed to this office for the unexpired term.

At the meeting on February 16, 2022 the current chair will request nominations for the officer positions listed above. Once nominations are made the Zoning Board of Appeals will vote on each office. The Board member receiving the most votes will serve in that position. The elected officer will begin serving immediately after being selected and will remain in office for the remainder of the year. Current officers may be re-elected.

ORDINANCE NO. 2022-02

AN ORDINANCE TO AMEND SECTION 86-221, REVIEW CRITERIA, OF THE CHARTER TOWNSHIP OF MERIDIAN ZONING CODE TO UPDATE THE STANDARDS THEREIN

THE CHARTER TOWNSHIP OF MERIDIAN ORDAINS:

Section 1. Section 86-221, Review criteria, is hereby amended to read as follows:

In the review of an application for a variance, the Zoning Board of Appeals should determine if the following criteria are satisfied:

- (1) Unique circumstances exist that are peculiar to the land or structure, that are not applicable to other land or structures in the same zoning district ~~and these unique circumstances are not self-created.~~
~~These special unique circumstances are not self-created.~~
- (2) Strict interpretation and enforcement of the literal terms and provisions of this chapter would result in practical difficulties ~~that would prevent the owner from using the property for a permitted purpose. -~~
~~That the alleged practical difficulties which will result from a failure to grant the variance would unreasonably that would prevent the owner from using the property for a permitted purpose.~~
- (3) Granting the variance is the minimum action ~~necessary that will make possible the use of the land or structure in a manner which is not contrary to the public interest~~ ~~and~~ which would carry out the spirit of this zoning ordinance, secure public safety, and provide substantial justice.
- (4) Granting the variance will not adversely affect adjacent land or the essential character in the vicinity of the property.
~~The conditions pertaining to the land or structure are not so general or recurrent in nature as to make the formulation of a general regulation for such conditions practicable.~~
- (5) Granting the variance will be generally consistent with public interest and the purposes and intent of this chapter.

Section 2. Validity and Severability. The provisions of this Ordinance are severable and the invalidity of any phrase, clause or part of this Ordinance shall not affect the validity or effectiveness of the remainder of the Ordinance.

Section 3. Repealer Clause. All ordinances or parts of ordinances in conflict therewith are hereby repealed only to the extent necessary to give this Ordinance full force and effect.

Section 4. Savings Clause. This Ordinance does not affect rights and duties matured, penalties that were incurred, and proceedings that were begun, before its effective date.

Section 5. Effective Date. This Ordinance shall be effective seven (7) days after its publication or upon such later date as may be required under Section 402 of the Michigan Zoning Enabling Act (MCL 125.3402) after filing of a notice of intent to file a petition for a referendum.

1 ADOPTED by the Charter Township of Meridian Board at its regular meeting this XXth day of
2 XXXXXXXX, 2022.

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Ronald J. Styka, Township Supervisor

Deborah Guthrie, Township Clerk