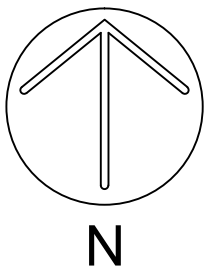
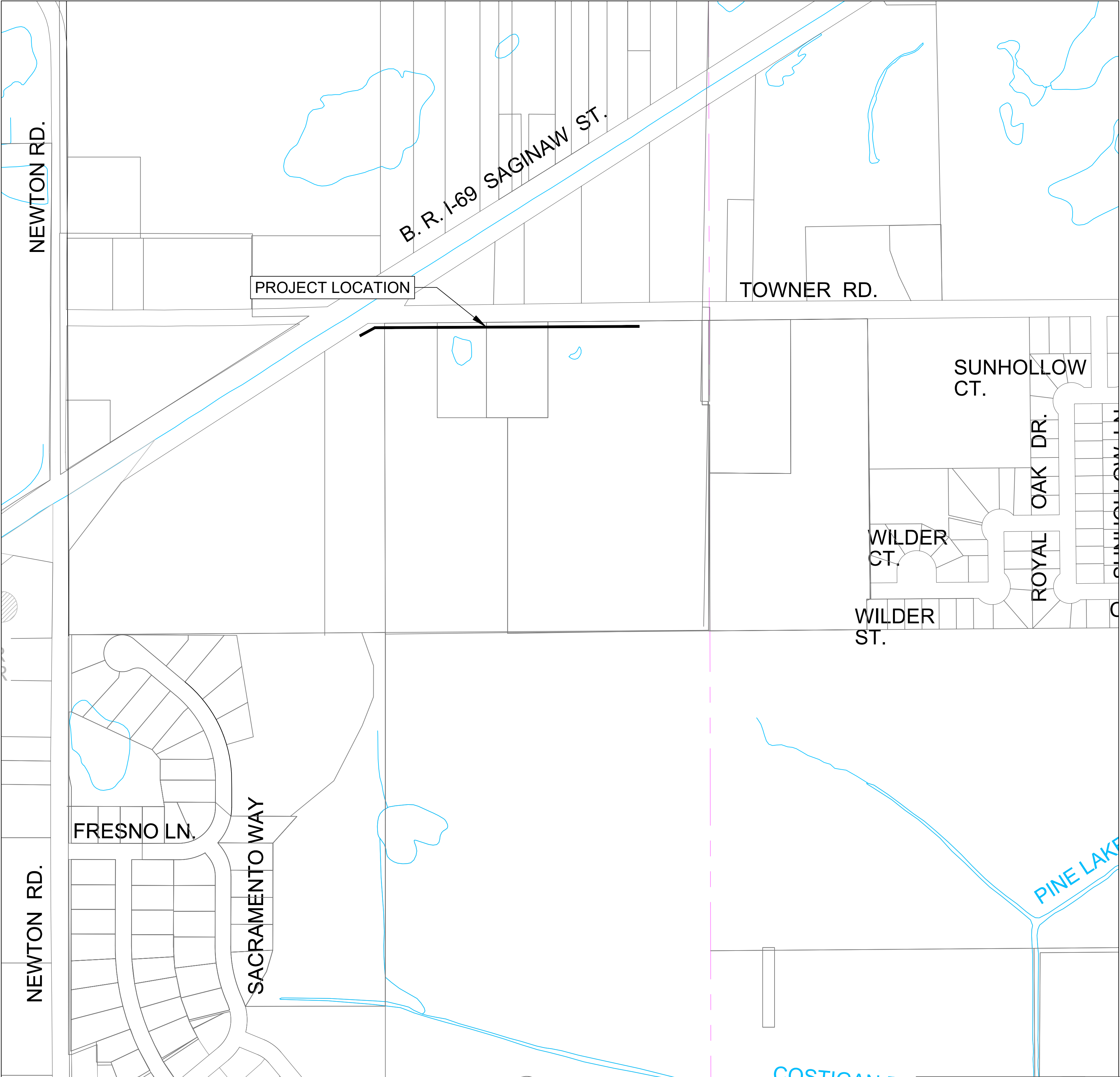


TOWNER ROAD PATHWAY
E. SAGINAW HIGHWAY TO TOWNER ROAD PARK
CONSTRUCTION PLANS
FOR
MERIDIAN TOWNSHIP
INGHAM COUNTY, MICHIGAN



UTILITY COMPANY	UTILITIES
AT&T 337 N. ABBOTT, RM. 201 EAST LANSING, MI 48823 517.337.3660	TELEPHONE
CONSUMERS ENERGY 530 W. WILLOW ST. P.O. BOX 30162 LANSING, MI 48909 517.373.6100	GAS ELECTRIC
COMCAST 1070 TROWBRIDGE ROAD EAST LANSING, MI 48823 517.332.1012	CABLE TV
MERIDIAN TOWNSHIP 5151 MARSH RD. OKEMOS, MI 48864 517.853.4440	WATER MAINS SANITARY SEWER PATHWAYS
INGHAM COUNTY DRAIN COMMISIONER 707 BUHL ST. MASON, MI 48854 517.676.8395	DRAINS STORM SEWER
INGHAM COUNTY ROAD DEPT 301 BUSH ST. MASON, MI 48854 517.676.9722	PUBLIC ROADS AND RIGHTS OF WAY

Sheet List Table	
Sheet Number	Sheet Title
1	COVER SHEET
2	OVERALL SITE PLAN
3	SITE PLAN
4	SITE PLAN
5	SITE PLAN
6	SITE PLAN
7	SESC PLAN
8	SESC PLAN
9	SESC PLAN
10	SESC NOTES AND DETAILS
11	SESC NOTES AND DETAILS
12	TYPICAL SECTION
13	TYPICAL DETAILS

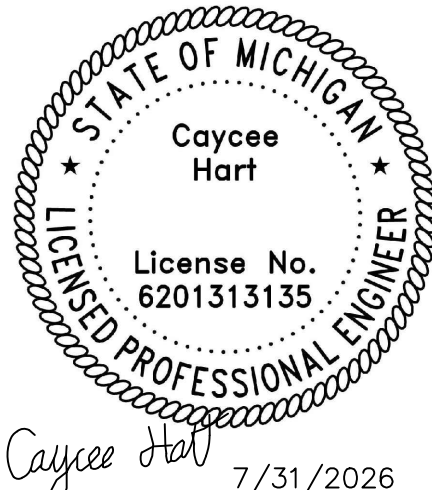


- STANDARD CONSTRUCTION NOTES
- The Contractor shall notify the Charter Township of Meridian, Department of Public Works, Office of Engineering 517-853-4440 a minimum of 72 hours prior to the start of construction of public utilities or of construction within the public right-of-way.
 - All construction shall conform to the current standards and specifications of the Charter Township of Meridian which are included as part of these plans in effect at the time of construction.
 - After the completion of construction of public utilities or construction within public right-of-way, the contractor must request a final inspection. Any punchlist items resulting from the final inspection must be resolved prior to final release and acceptance.
 - The existing utilities indicated on the plans are in accordance with available information. It shall be the contractor's obligation to verify the exact location of all existing utilities, which might affect this job.
 - The contractor shall notify "MISS DIG" 1-800-482-7171 at least 72 hours prior to the start of construction.
 - The contractor shall at all times be aware of inconvenience caused to the abutting property owners and the general public. Where the contractor does not remedy undue inconveniences, the Charter Township of Meridian, upon four hours notice, reserves the right to perform the work and deduct the cost therefore from the money due the contractor.
 - A Registered Land Surveyor provided by the contractor at the contractor's expense shall replace all property irons and monuments disturbed or destroyed by the contractor's operations.
 - Contractor shall provide Owner and Township Engineer a copy of written permission to use private property for storage of equipment and materials or for his construction operations.
 - Trench backfill under existing or proposed roadways, driveways, and parking areas, shall be sand or gravel, placed in 12" layers (maximum) and consolidated to 95% of maximum density as measured by modified proctor unless otherwise noted.
 - Trees and shrubs are to be protected during construction and bored where necessary.
 - Existing fences shall be removed and restored to their original condition or better where in conflict with construction.
 - Driveways, culverts, ditches, drain tile, tile fields, drainage structures, etc., that are disturbed by the contractor's operations shall be immediately restored.
 - All established lawn areas disturbed by the contractor's operations shall be resodded with matching sod. All other areas shall be seeded and mulched. Seeding and mulching shall be done in accordance with the General Specifications.
 - All ditch slopes shall have established vegetation and be protected from erosion.
 - All utility poles in close proximity to construction shall be supported in a manner satisfactory to the utility owner.
 - Onsite parking and sanitary facilities shall be provided for construction workers. The facilities shall be constructed and operated (with minimal impact to the surrounding area) to the satisfaction of the Township.

- PATHWAY NOTES
- PATHWAYS AND SIDEWALKS SHALL BE FOUR (4) INCH THICK CONCRETE EXCEPT AT DRIVEWAYS WHERE THEY SHALL BE SIX (6) INCH (RESIDENTIAL) OR SEVEN (7) INCH (COMMERCIAL) THICK CONCRETE.
 - THREE (3) INCHES OF COMPACTED SAND BASE SHALL BE PLACED UNDER ALL PATHWAYS AND SIDEWALKS.
 - ALL BITUMINOUS APRONS SHALL BE TWO AND ONE-HALF (21/2) INCHES THICK, UNLESS OTHERWISE NOTED.
 - PROPERTY IRONS SHALL BE MAINTAINED BY THE CONTRACTOR.
 - ALL EXISTING CONCRETE AND BITUMINOUS TO BE REMOVED SHALL BE SAWCUT. ALL BITUMINOUS REMOVAL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
 - ALL AGGREGATE BASE MATERIAL SHALL BE FOUR (4) INCHES OF 22A.
 - ALL TREE (LESS THAN 6") AND SHRUB REMOVAL SHALL BE CONSIDERED PART OF SUBGRADE PREPARATION.
 - LOCATION OF NEW PLANT MATERIAL SHALL BE AS DIRECTED BY THE ENGINEER, AND SHALL BE INSTALLED IN ACCORDANCE WITH GUIDELINES ESTABLISHED BY THE A.N.L.A.
 - ALL PLANT MATERIAL NOT MARKED FOR REMOVAL SHALL BE PROTECTED.
 - BITUMINOUS DRIVES SHALL BE SAWCUT 18" ON EITHER SIDE OF PROPOSED PATHWAY.
 - THE MAXIMUM LONGITUDINAL SLOPE IS 5% (UP TO AN ABSOLUTE MAXIMUM OF 81/3% AT THE DIRECTION OF THE ENGINEER) AND THE MAXIMUM CROSS SLOPE IS 2%.
 - EXPANSION JOINTS SHALL BE PLACED AT APPROXIMATELY 100' INTERVALS AND SHALL BE 1/2" THICK. CONTRACTION JOINTS SHALL BE SAWCUT TO A DEPTH OF 1/4 OF THE DEPTH OF THE CONCRETE.
 - ALL LUMBER TO BE PRESSURE TREATED (OSMOSE 33 OR EQUAL) TO 0.4 RETENTION.
 - ALL ITEMS NOT COVERED UNDER A SPECIFIC PAY ITEM SHALL BE CONSIDERED INCIDENTAL.

Call 811 before you dig.

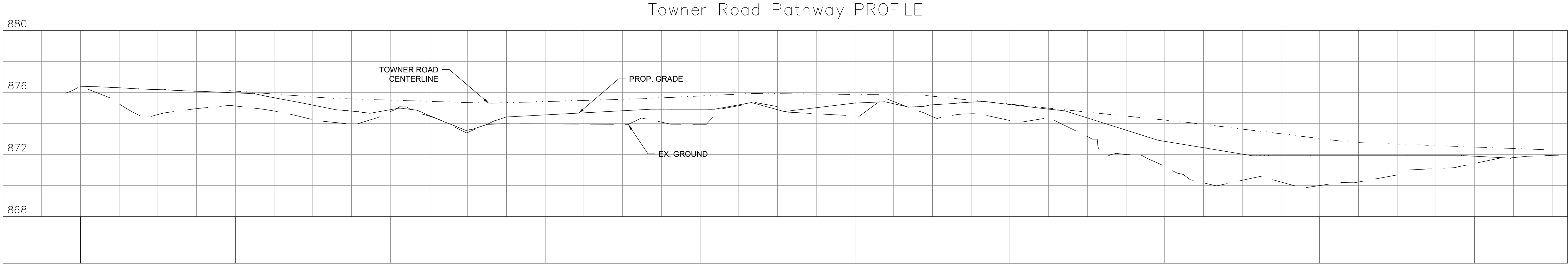
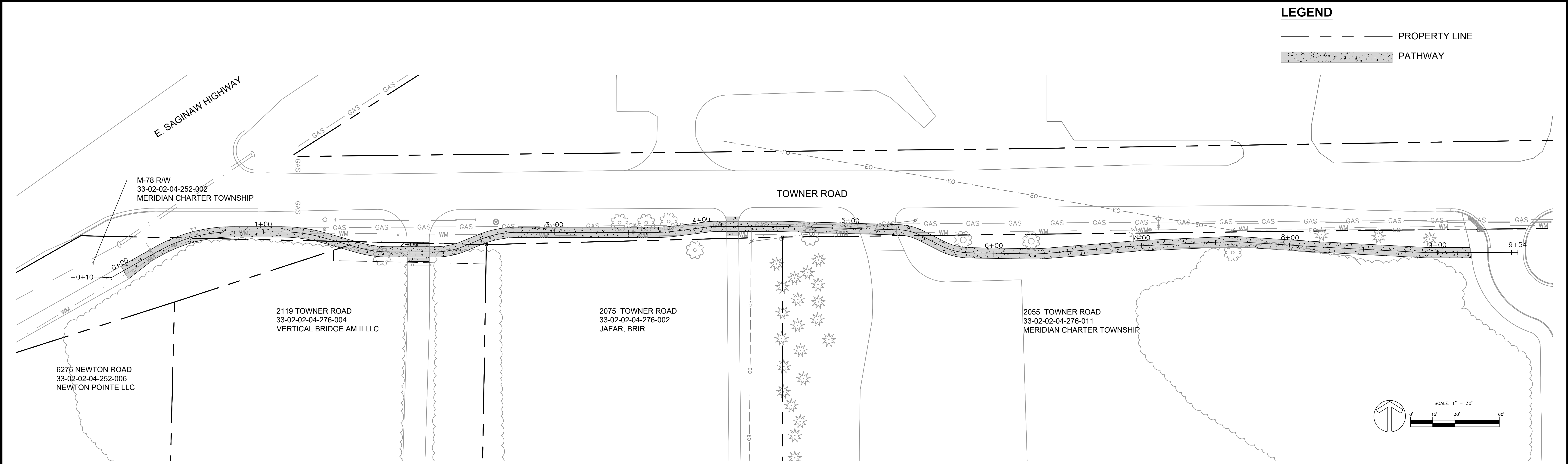
WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township Ingham County, Michigan		REVISIONS:	
PATHWAY		DATE	BY:
		7.31.26	CH
		COMMENTS:	
		BID PLANS	
		SHEET:	
		1 - COVER SHEET	

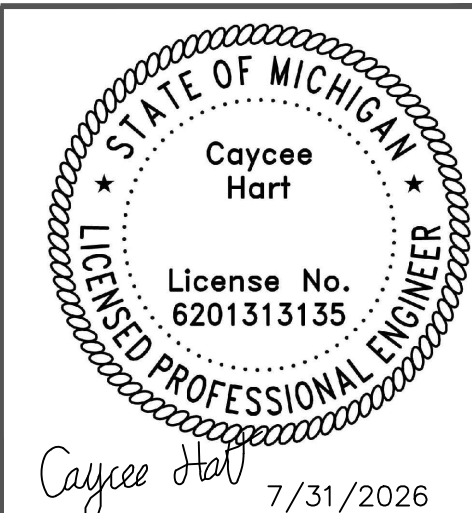
TOWNER ROAD PATHWAY GAP E. SAGINAW HIGHWAY TO TOWNER ROAD PARK NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN	
DRAWN BY: CH	CHECKED BY: YI

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WOLVERINE PIPE LINE COMPANY 219-844-9510

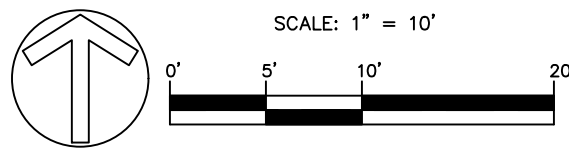
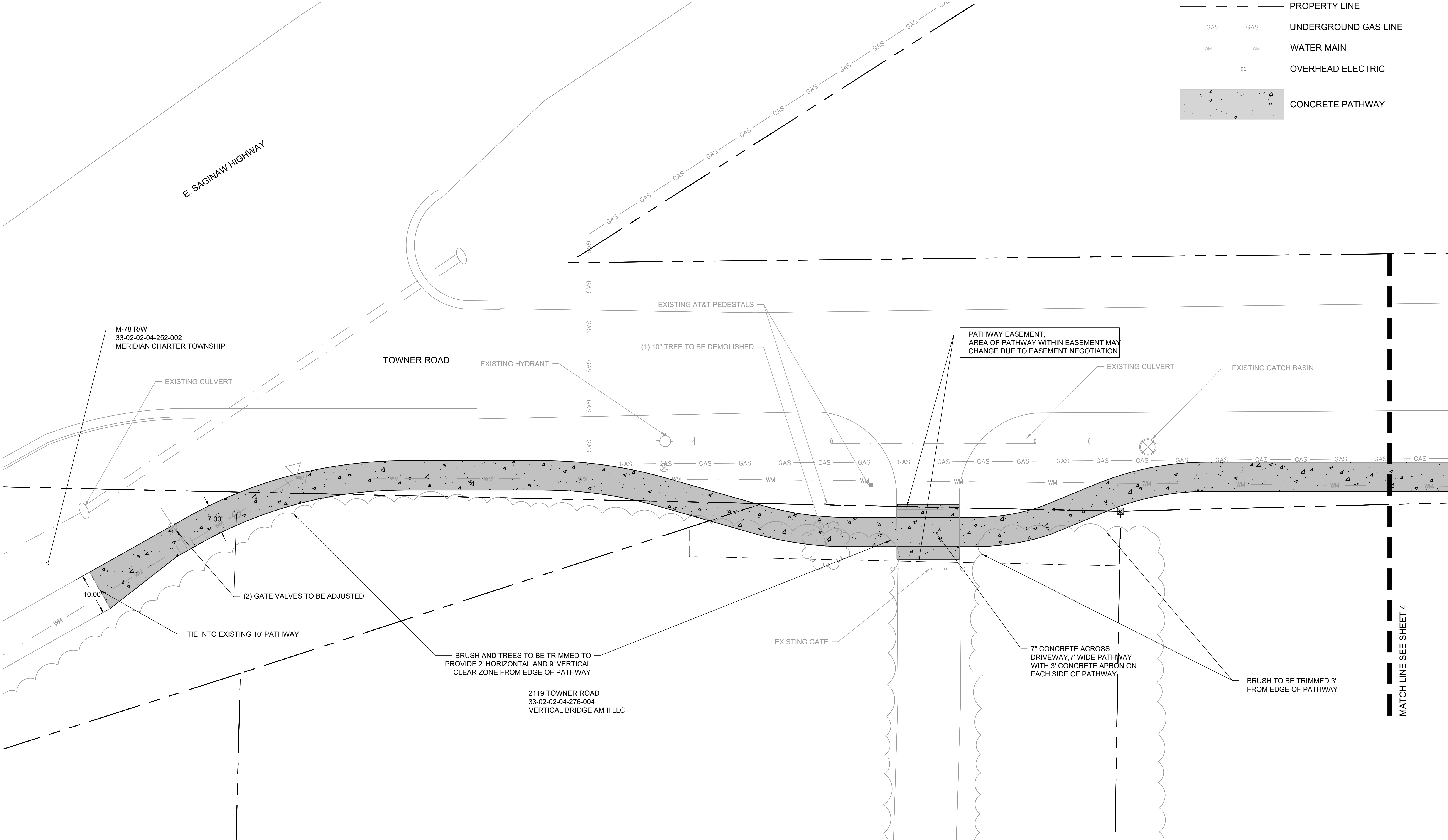


Meridian Charter Township Ingham County, Michigan		REVISIONS:	
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SHEET:		2 - OVERALL SITE PLAN	

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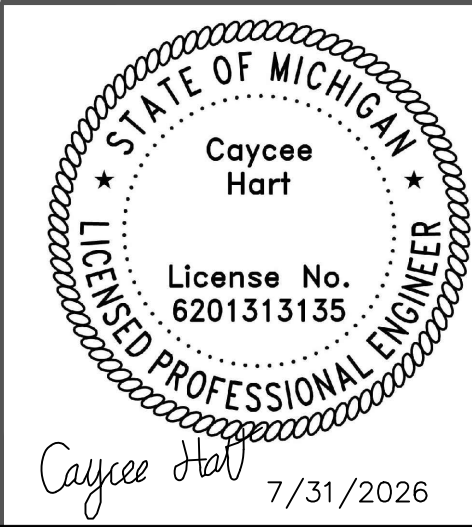
LEGEND

- PROPERTY LINE
- GAS UNDERGROUND GAS LINE
- WM WATER MAIN
- EO OVERHEAD ELECTRIC
- CONCRETE PATHWAY



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WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township Ingham County, Michigan		PATHWAY	
		TOWNER ROAD PATHWAY GAP E. SAGINAW HIGHWAY TO TOWNER ROAD PARK NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN	
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7/31/2026		3 - SITE PLAN	

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SHEET:		

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LEGEND

- PROPERTY LINE
- GAS

GAS

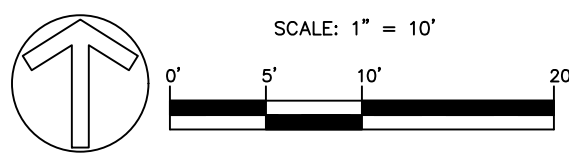
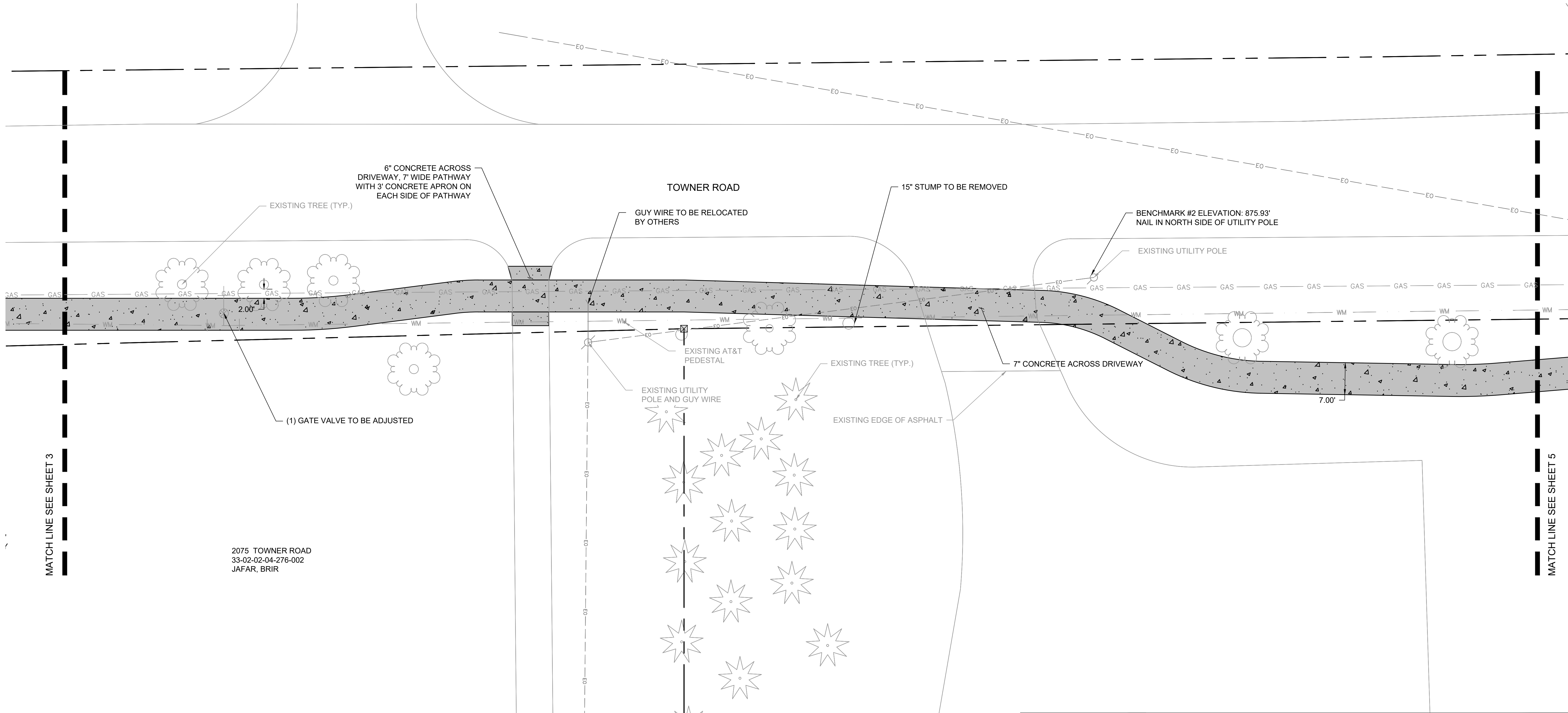
UNDERGROUND GAS LINE
- WM

WM

UNDERGROUND WATER MAIN
- EO

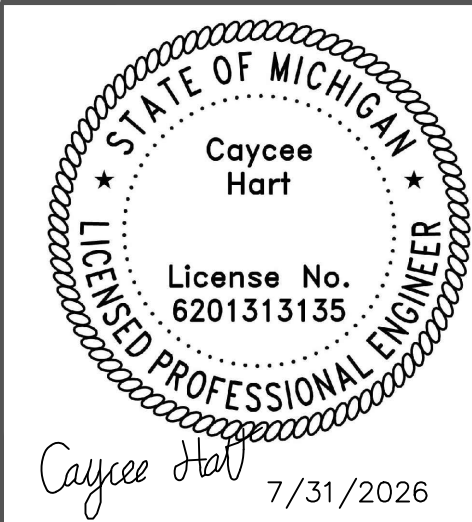
EO

OVERHEAD ELECTRIC
- CONCRETE PATHWAY



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WOLVERINE PIPE LINE COMPANY 219-844-9510



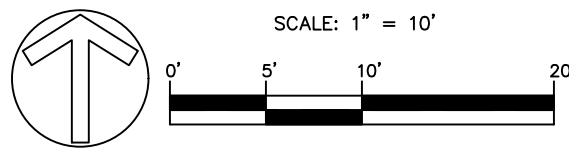
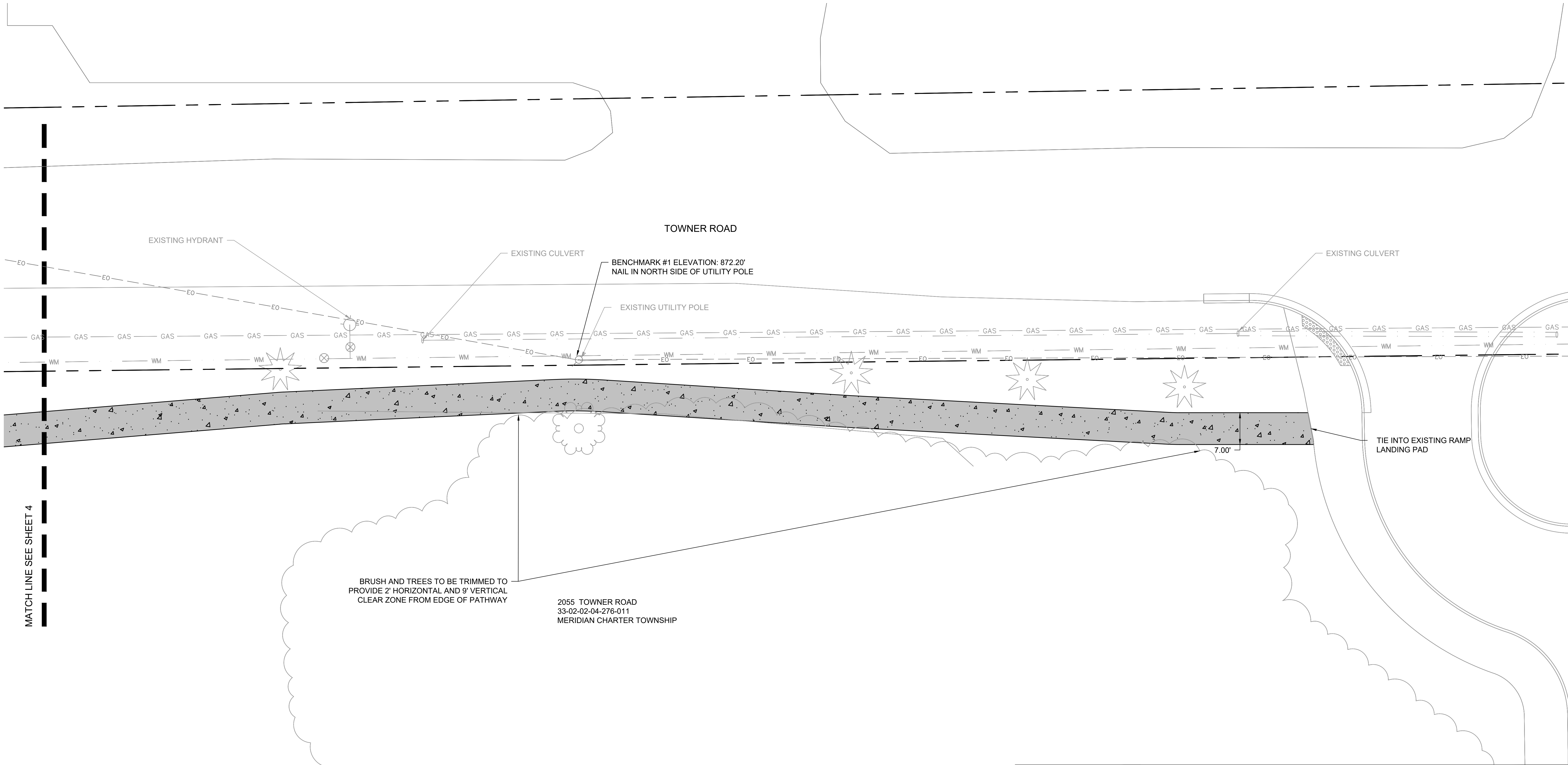
Meridian Charter Township Ingham County, Michigan	
PATHWAY	
TOWNER ROAD PATHWAY GAP E. SAGINAW HIGHWAY TO TOWNER ROAD PARK NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN	
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4 - SITE PLAN		

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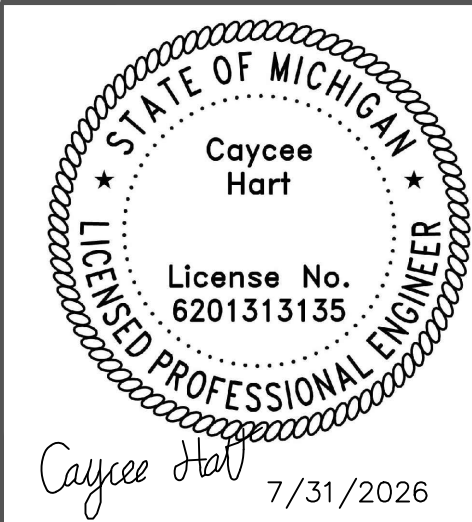
LEGEND

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WOLVERINE PIPE LINE COMPANY 219-844-9510



REVISIONS:		
DATE	BY:	COMMENTS:
7.31.26	CH	BID PLANS
SHEET:		
5 - SITE PLAN		

Meridian Charter Township
Ingham County, Michigan

PATHWAY

TOWNER ROAD PATHWAY GAP
E. SAGINAW HIGHWAY TO TOWNER ROAD PARK

NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

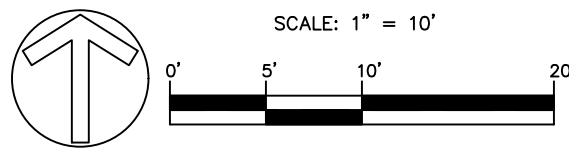
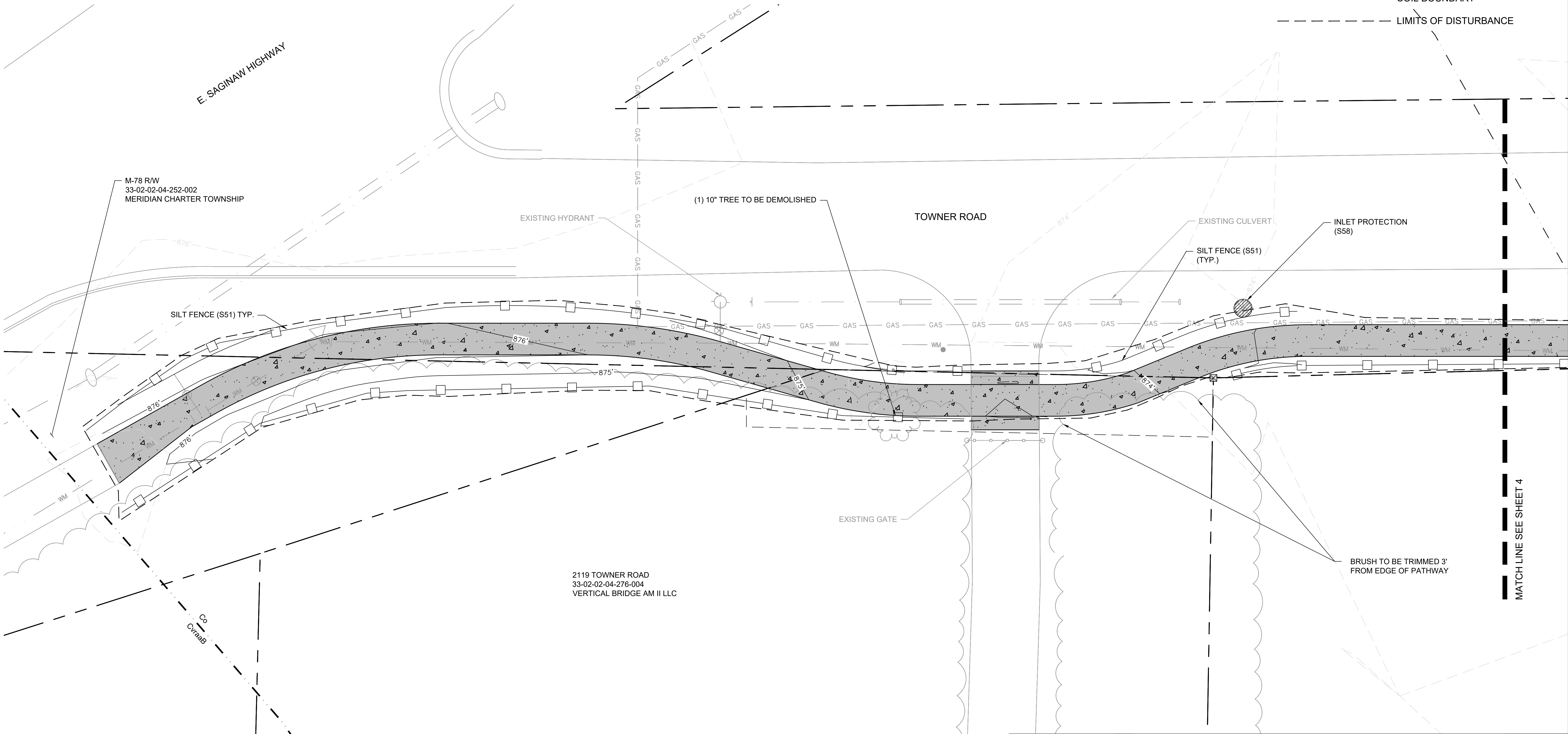
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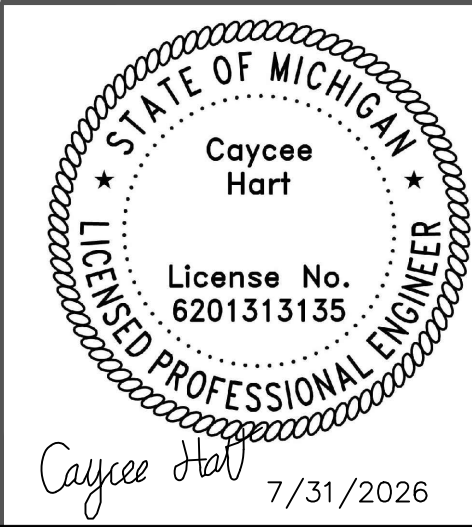
LEGEND

- PROPERTY LINE
- GAS UNDERGROUND GAS LINE
- WM WATER MAIN
- EO OVERHEAD ELECTRIC
- CONCRETE PATHWAY
- SILT FENCE (S51)
- SOIL BOUNDARY
- LIMITS OF DISTURBANCE



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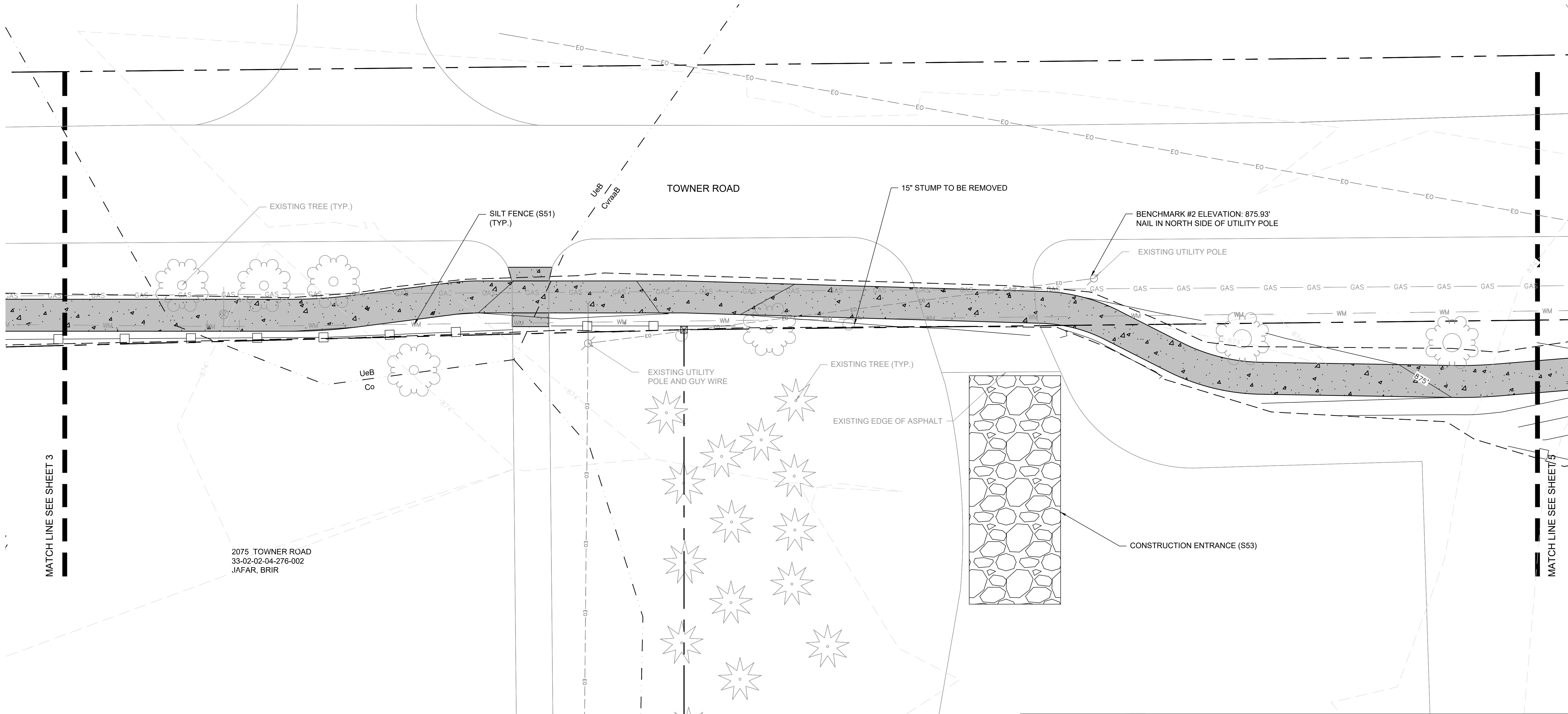


Meridian Charter Township Ingham County, Michigan PATHWAY TOWNER ROAD PATHWAY GAP E. SAGINAW HIGHWAY TO TOWNER ROAD PARK NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN DRAWN BY: CH CHECKED BY: YI		REVISIONS:		
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		6 - SESC PLAN		

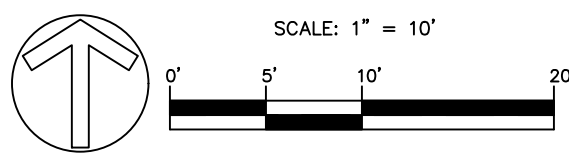
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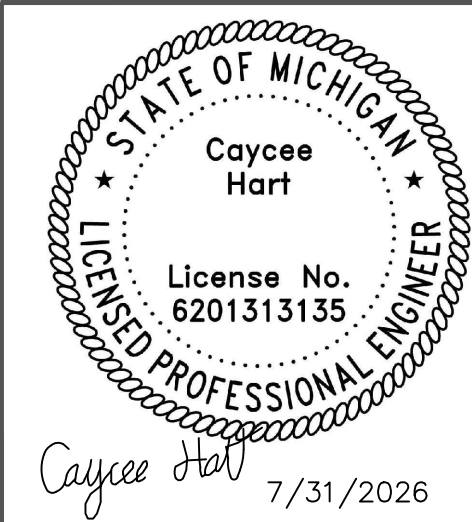


2075 TOWNER ROAD
33-02-02-04-276-002
JAFAR, BRIR



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WOLVERINE PIPE LINE COMPANY 219-844-9510



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DATE	BY:	COMMENTS:
7.31.26	CH	BID PLANS
SHEET:		
7 - SESC PLAN		

Meridian Charter Township
Ingham County, Michigan
PATHWAY

TOWNER ROAD PATHWAY GAP
E. SAGINAW HIGHWAY TO TOWNER ROAD PARK
NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

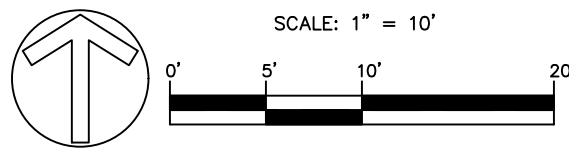
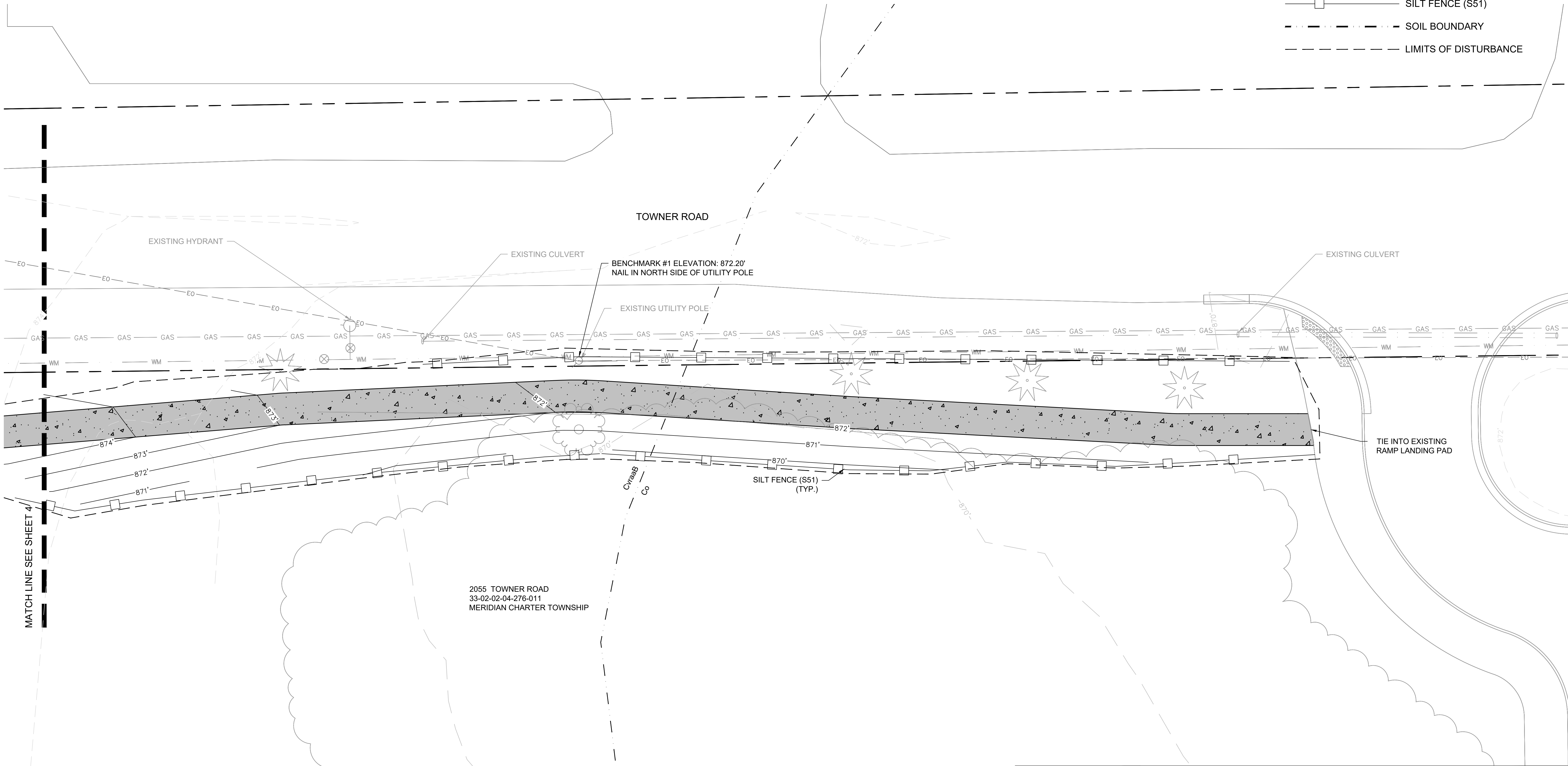
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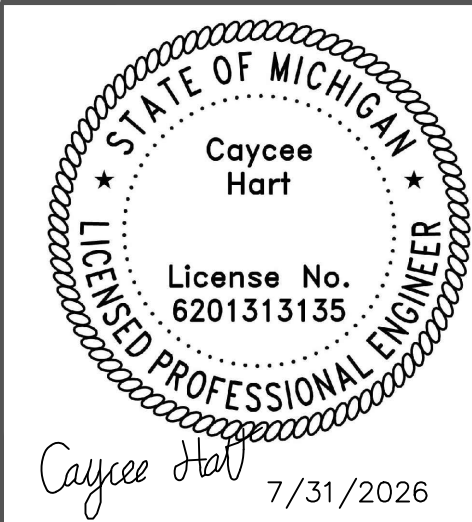
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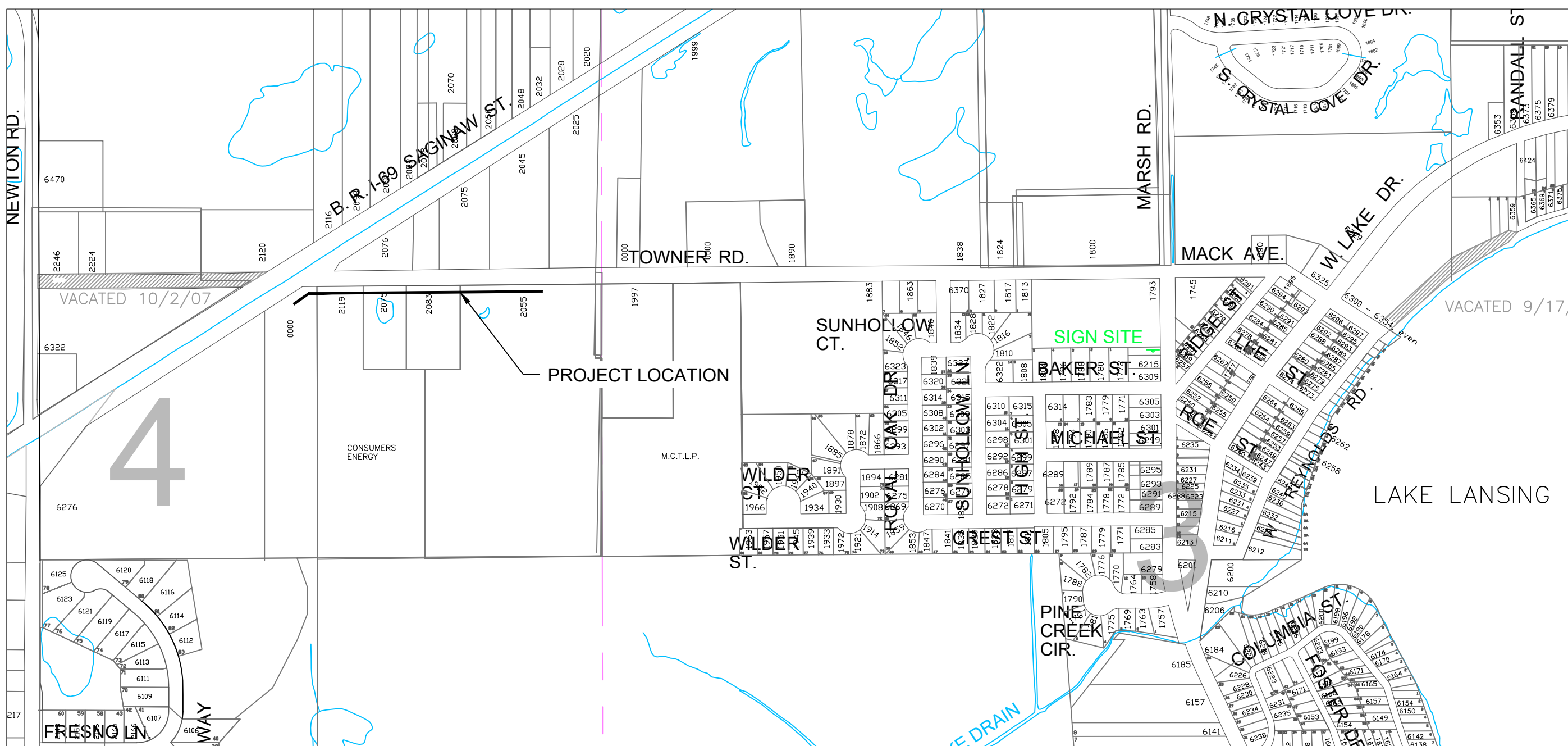


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WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township Ingham County, Michigan PATHWAY TOWNER ROAD PATHWAY GAP E. SAGINAW HIGHWAY TO TOWNER ROAD PARK NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN DRAWN BY: CH CHECKED BY: YI		REVISIONS:		
		DATE	BY:	COMMENTS:
		7.31.26	CH	BID PLANS
SHEET:			8 - SESC PLAN	



SOIL EROSION & SEDIMENTATION CONTROL NOTES

1. All soil erosion and sediment control (SESC) work shall conform to the standards and specifications of the Ingham County Drain Commissioner's Office and Meridian Township.
2. Daily inspections shall be made by the contractor for effectiveness of SESC measures. Any necessary repairs shall be performed without delay.
3. Erosion of any sediment from work on the site shall be contained on-site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, ponds, and wetlands.
4. The Contractor shall apply temporary SESC measures when required and as directed on these plans. The Contractor shall remove temporary measures as soon as permanent stabilization of slopes, ditches, and other changes have been established.
5. Staging the work shall be done by the Contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
6. Soil erosion control practice shall be established in the early stages of construction by the Contractor. Sedimentation control practices shall be applied as a perimeter defense against any transporting of soil off the site.
7. The Contractor shall preserve natural vegetation as much as possible.
8. Vegetative stabilization of all disturbed areas shall be established within 5 days of completion of the final grading.

SOILS

Co COLWOOD BROOKSTON LOAMS
CvraaB CONOVER LOAM 0-4%
UeB URBAN LAND BOYER-SPINKS COMPLEX 0-10%

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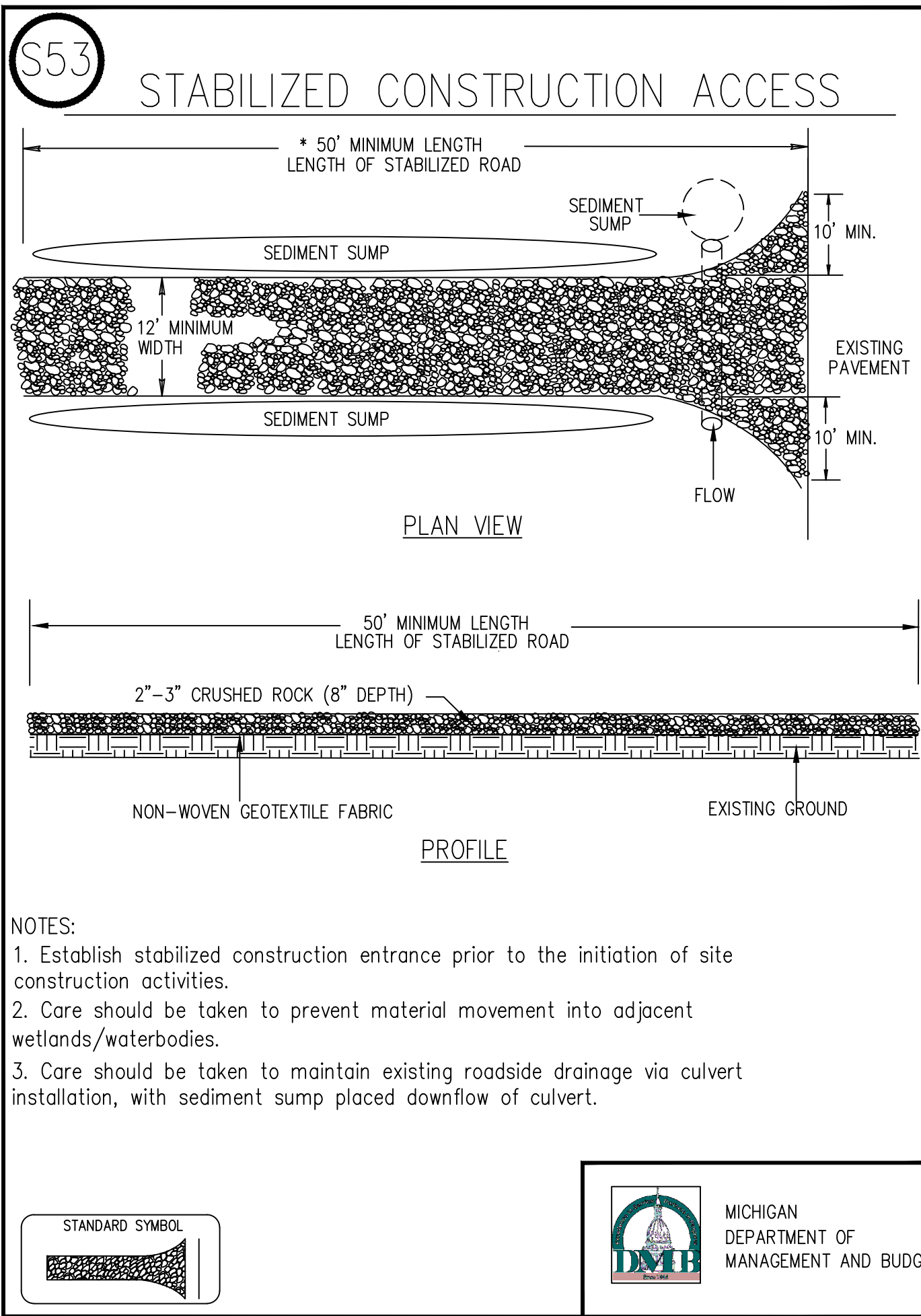
TAX ID: 04-252-002
LEGAL DESCRIPTION: M 4-22-2 BEG AT INTER OF CEN LINE OF E BOUND RDWY
OF M-78 STATE HWY & CEN LINE OF TOWNER RD -S 59 DEG 40' W 300 FT-
N 72 DEG 07' 20" E TO E 1/8 LINE OF SEC. 4, -N ALONG E 1/8 LINE TO CEN
LINE OF TOWNER RD -W'LY ALONG SAID CEN LINE TO BEG., ON NE FRL 1/4 OF
FRL. SEC. 4, T4N R1W.

TAX ID: 04-276-004
LEGAL DESCRIPTION: M 4-19-7 COM AT NE COR SEC 4- S 01 DEG 06' 27"W
1292.78 FT ON E LN OF SEC 4 TO CEN OF TOWNER RD- N 88 DEG 37'00"W
903.10 FT ON CEN TOWNER RD TO PT OF BEG- S 01 DEG 06'27"W 400 FT- N
88 DEG 37'00"W 200 FT- N 01 DEG 06' 27"E 400 FT TO CEN TOWNER RD- S
88 DEG 37' 00"E 200 FT ON CEN TOWNER RD TO PT OF BEG ON NE 1/4 SEC
4 T4NR1W 1.837 A

TAX ID: 04-276-002
LEGAL DESCRIPTION: M 4-19-7 COM AT NE COR SEC 4- S 01 DEG 06' 27"W
1292.78 FT ON E LN OF SEC 4 TO CEN OF TOWNER RD- N 88 DEG 37'00"W
903.10 FT ON CEN TOWNER RD TO PT OF BEG- S 01 DEG 06'27"W 400 FT- N
88 DEG 37'00"W 200 FT- N 01 DEG 06' 27"E 400 FT TO CEN TOWNER RD- S
88 DEG 37' 00"E 200 FT ON CEN TOWNER RD TO PT OF BEG ON NE 1/4 SEC
4 T4NR1W 1.837 A

TAX ID: 04-276-011
LEGAL DESCRIPTION: S 1/2 OF E 1/2 OF NE 1/4 OF SEC 4 T4N R1W EXC COM AT NE COR OF SEC 4 - S01D 06'27"W ALNG E SEC LN 1292.78 FT - N88D 37'W ALNG C/L OF TOWNER RD 903.1 FT TO POB - S01D 06'27"W 400 FT - S88D 37'E 85.57 FT - S01D 24'45"W 890.09 FT - N88D 12'36"W ALNG EW 1/4 LN 500 FT - N01D 24'45"E ALNG NS 1/8 LN OF NE 1/4 1242.03 FT - N71D 58'54"E ALNG SE'LY R/W LN OF HWY M-78 131.36 FT - S88D 37'E ALNG C/L OF TOWNER RD 505.65 FT TO POB. ALSO EXC COM AT E 1/4 COR OF SEC 4 - N01D 06'27"E ALNG E SEC LN 915.07 FT TO POB - N88D 23'41"W 30 FT - N01D 06'27"E 382.89 FT - S8D 37'E ALNG C/L OF TOWNER RD 30 FT - S01D 06'27"W ALNG E SEC LN 383 FT TO POB. 24.88 AC M/L

(SPLIT/COMBINED ON 10/08/2015 FROM 33-02-02-04-276-009,
33-02-02-04-276-010)



STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS

When	• Construction traffic is expected to leave a construction site. • Stabilization of interior construction roads is desired.
Why	• To minimize tracking of sediment onto public roadways and to minimize disturbance of vegetation.
Where	• Stabilized construction entrances shall be located at every point where construction traffic enters or leaves a construction site. Vehicles leaving the site must be routed over the rock ingress/egress corridor.
How	1. Stabilized construction access road should be established at the onset of the construction activities and maintained in place for the duration of the construction project. 2. Installation of this practice should be the responsibility of the site clearing or excavating contractor. 3. Access location should be cleared of woody vegetation. 4. Non-woven geotextile fabric shall be placed over the existing ground prior to placing stone. 5. Access size should be a minimum of 50'. (30' for single residence lot). 6. Access width should be 12' minimum, flared at the existing road to provide a turning radius. 7. Crushed aggregate (2" to 3"), or reclaimed or recycled concrete equivalent, shall be placed at least 8" deep over the length and width of the ingress/egress corridor.
Maintenance	• Periodic inspection and needed maintenance shall be provided after each rain event. • Stabilized entrances shall be repaired and rock added as necessary.



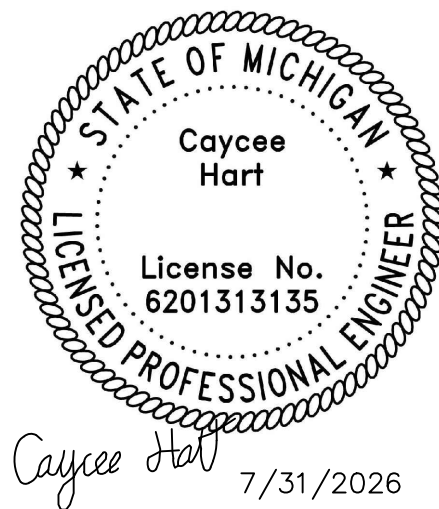
STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS

Maintenance (cont.)	• Sediment deposited on public rights-of-way shall be removed immediately and returned to the construction site. • If soils are such that washing of tires is required, it shall be done in a wash rack area, stabilized with stone, immediately prior to the construction access stabilized corridor. • At the project completion, rock access road should be removed and disposed of unless utilized as subgrade for final road.
Limitations	• Effectiveness limited, sediment may be tracked onto roads requiring additional action.



Call 811 before you dig.

WOLVERINE PIPE LINE COMPANY 219-844-9510



Meridian Charter Township
Ingham County, Michigan

PATHWAY

TOWNER ROAD PATHWAY GAP
E. SAGINAW HIGHWAY TO TOWNER ROAD PARK
 NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP,
 INGHAM COUNTY, MICHIGAN

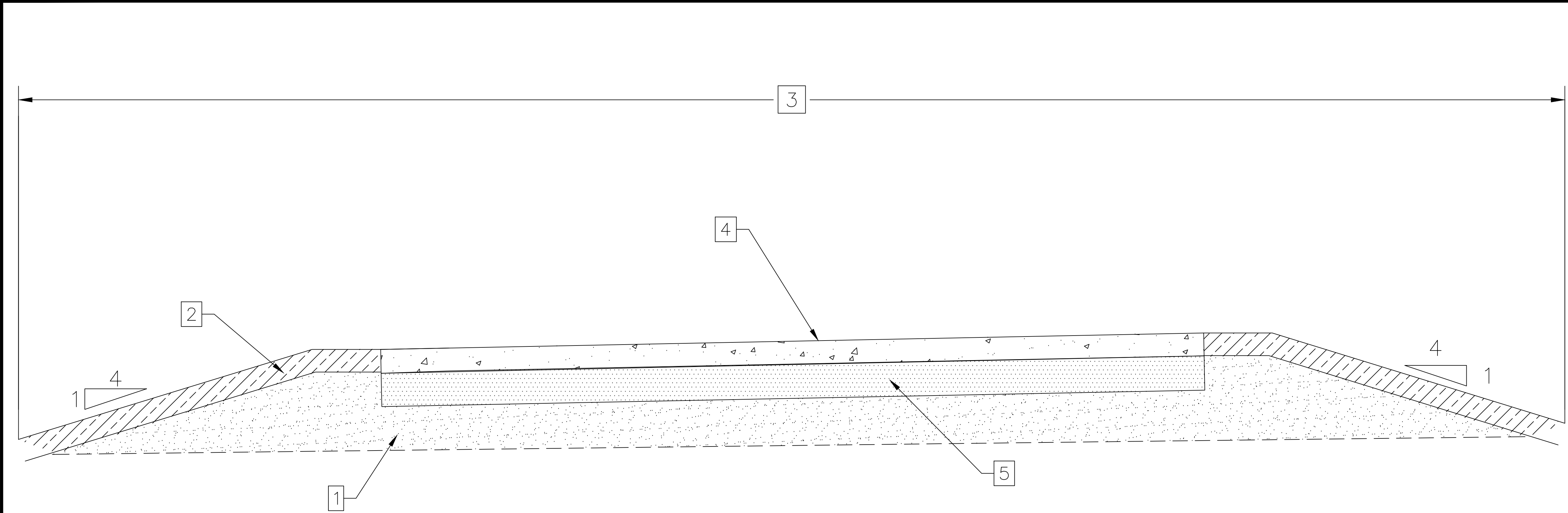
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7.31.26	CH	BID PLANS

SHEET:

Meridian Charter Township Ingham County, Michigan PATHWAY TOWNER ROAD PATHWAY GAP E. SAGINAW HIGHWAY TO TOWNER ROAD PARK NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP, INGHAM COUNTY, MICHIGAN			REVISIONS:		
			DATE	BY:	COMMENTS:
			7.31.26	CH	BID PLANS
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			SHEET:		
			10 - SESC NOTES AND DETAILS		



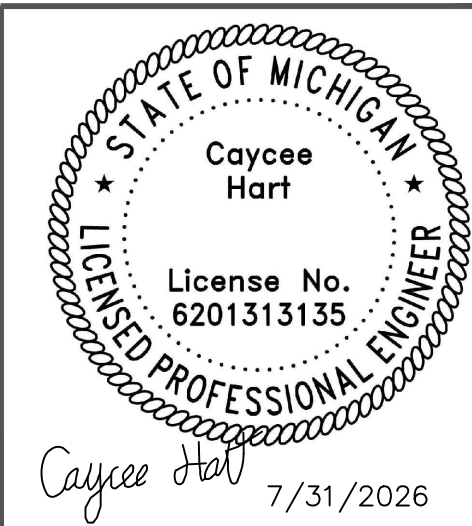
TYPICAL SECTION: CONCRETE PATHWAY

PAY ITEM LEGEND:

- 1 ASPHALT MILLINGS
- 2 SITE RESTORATION, 3" SCREENED TOPSOIL
- 3 SHARED USE PATH, GRADING
- 4 SHARED USE PATH, 4" CONCRETE
- 5 SHARED USE PATH, AGGREGATE (4" ASPHALT MILLINGS)

GENERAL NOTES:

- CROSS-SECTIONS ARE NOT TO SCALE.
- SALVAGE OR REMOVE EXISTING TOPSOIL WITHIN THE GRADING LIMITS, OR AS DIRECTED BY THE ENGINEER. REMOVAL AND DISPOSAL WILL BE PAID FOR AS EXCAVATION, EARTH.
- TOPSOIL FOR SITE RESTORATION MAY BE SALVAGED FROM SITE, BUT MUST BE SCREENED OR RAKED TO REMOVE 1" OR GREATER DEBRIS.
- FOR SITE RESTORATION, USE SEED MEETING MDOT THM MIXTURE.



Meridian Charter Township
Ingham County, Michigan

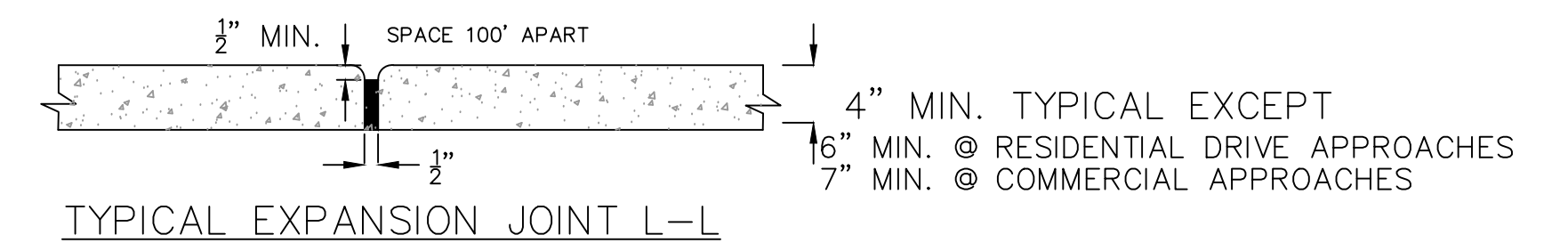
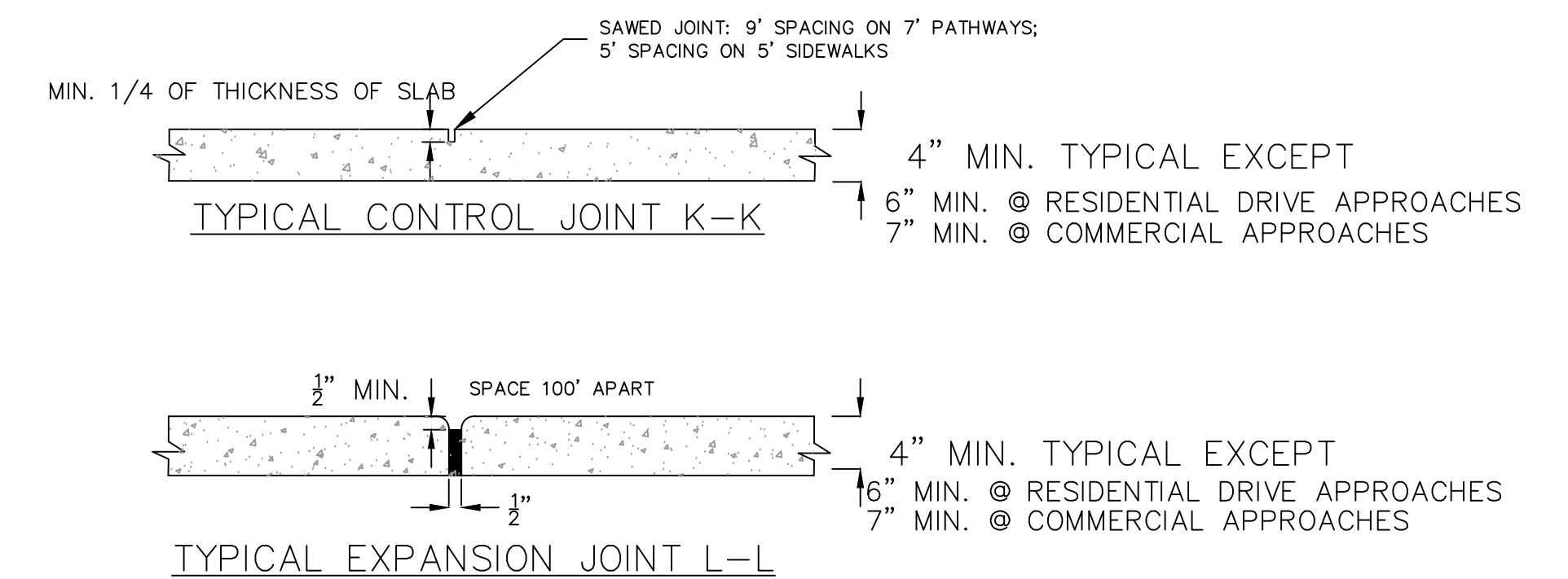
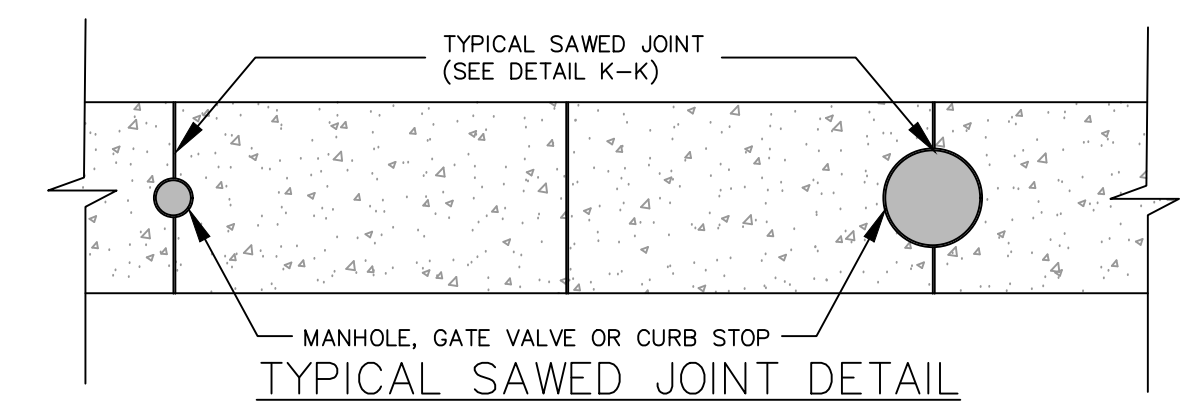
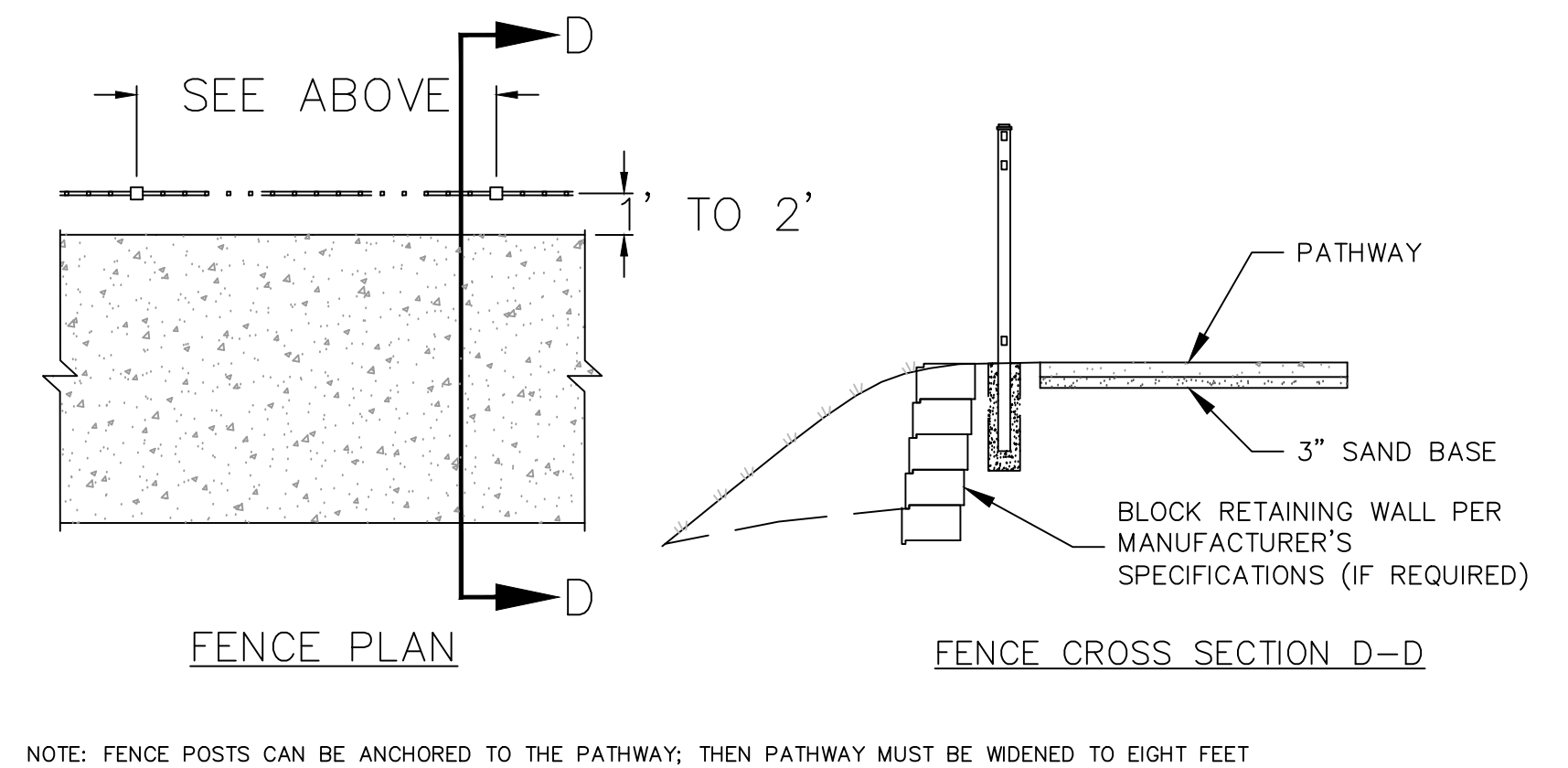
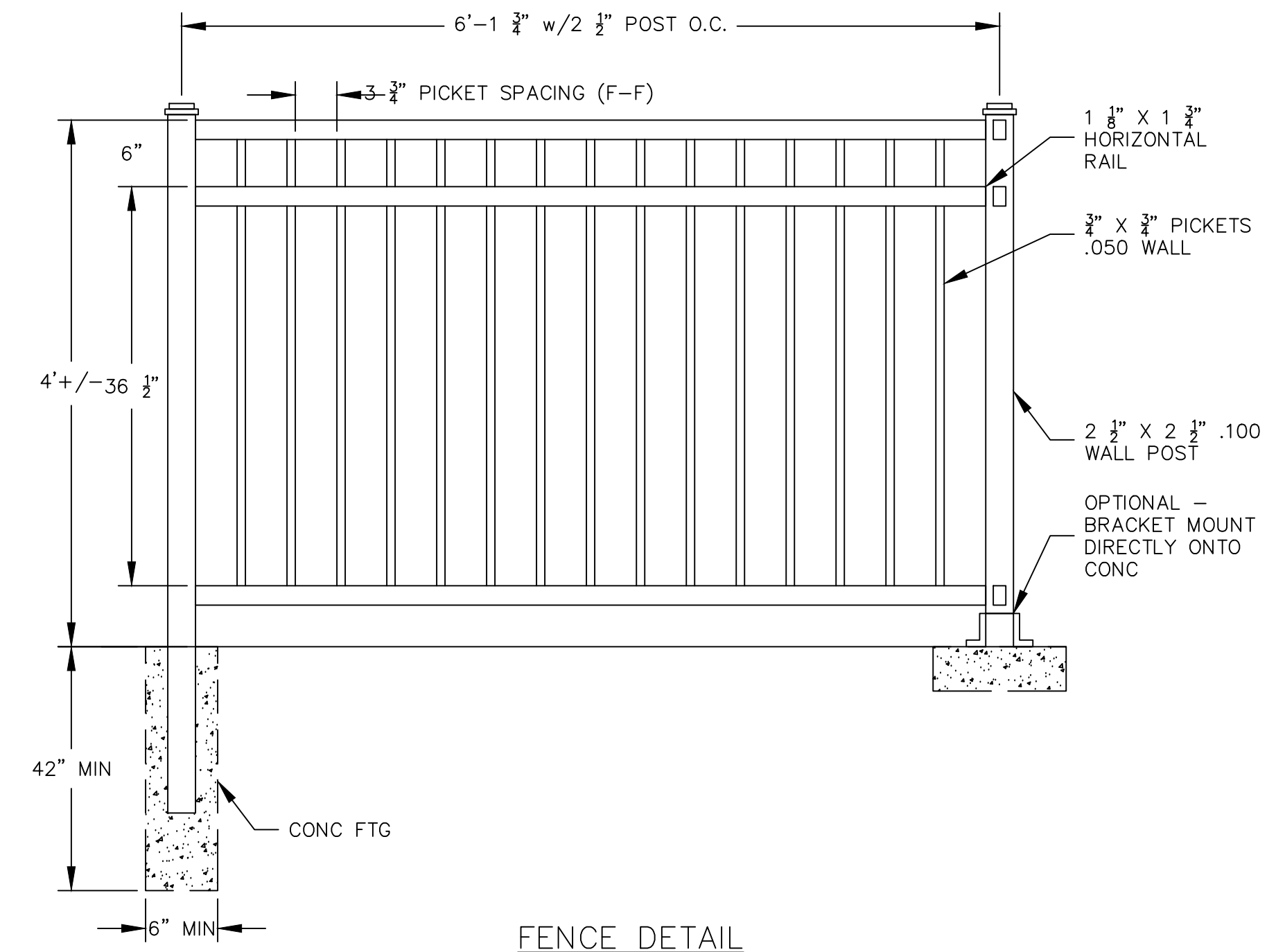
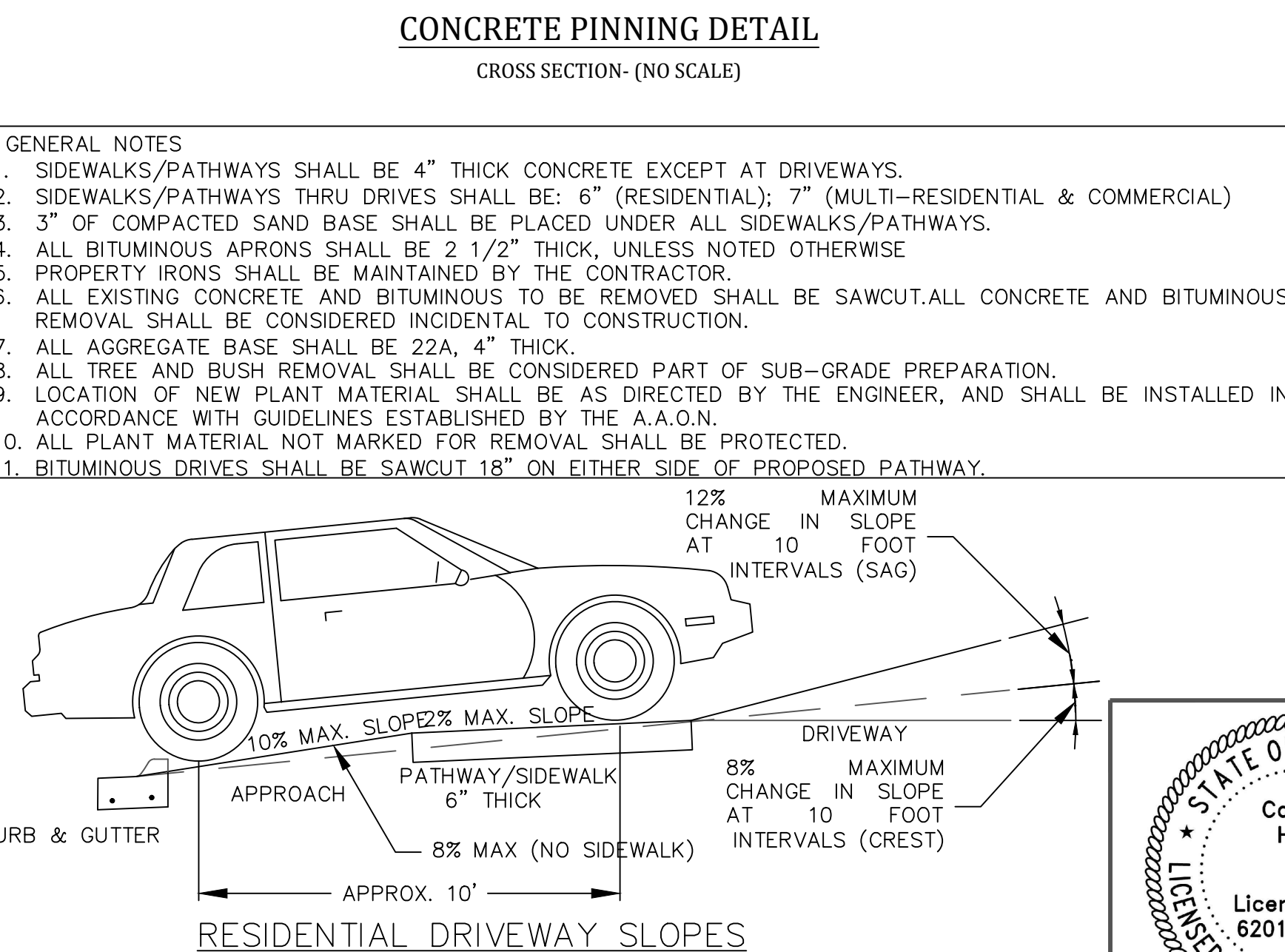
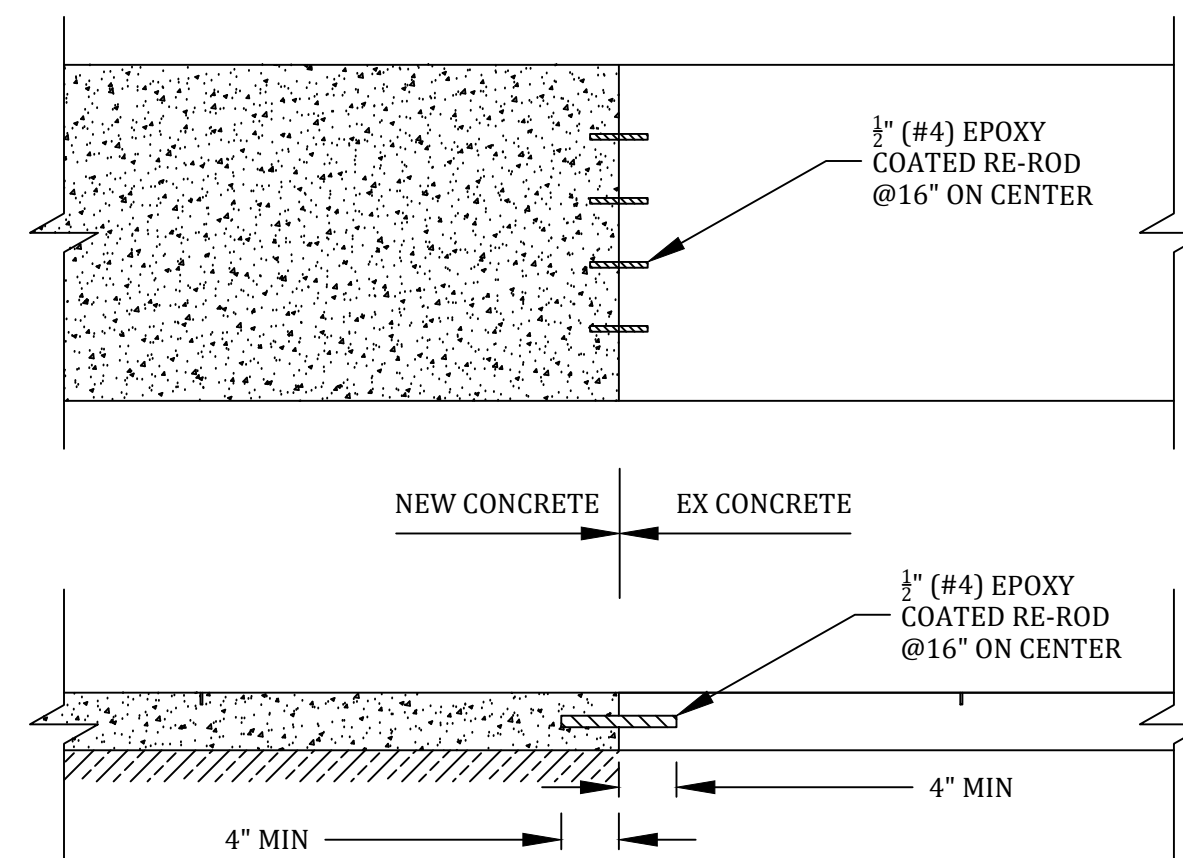
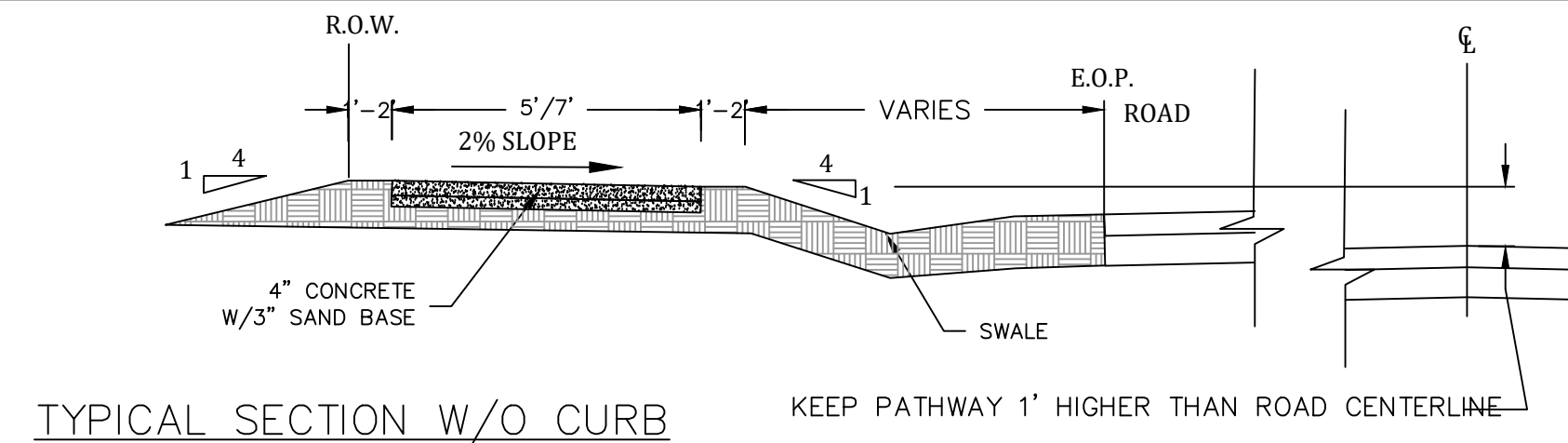
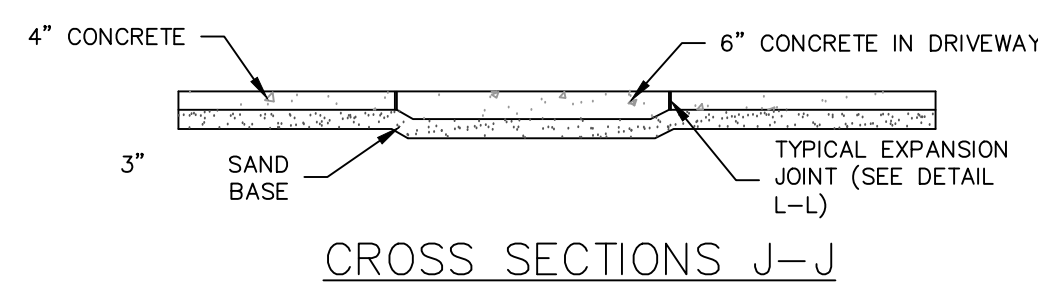
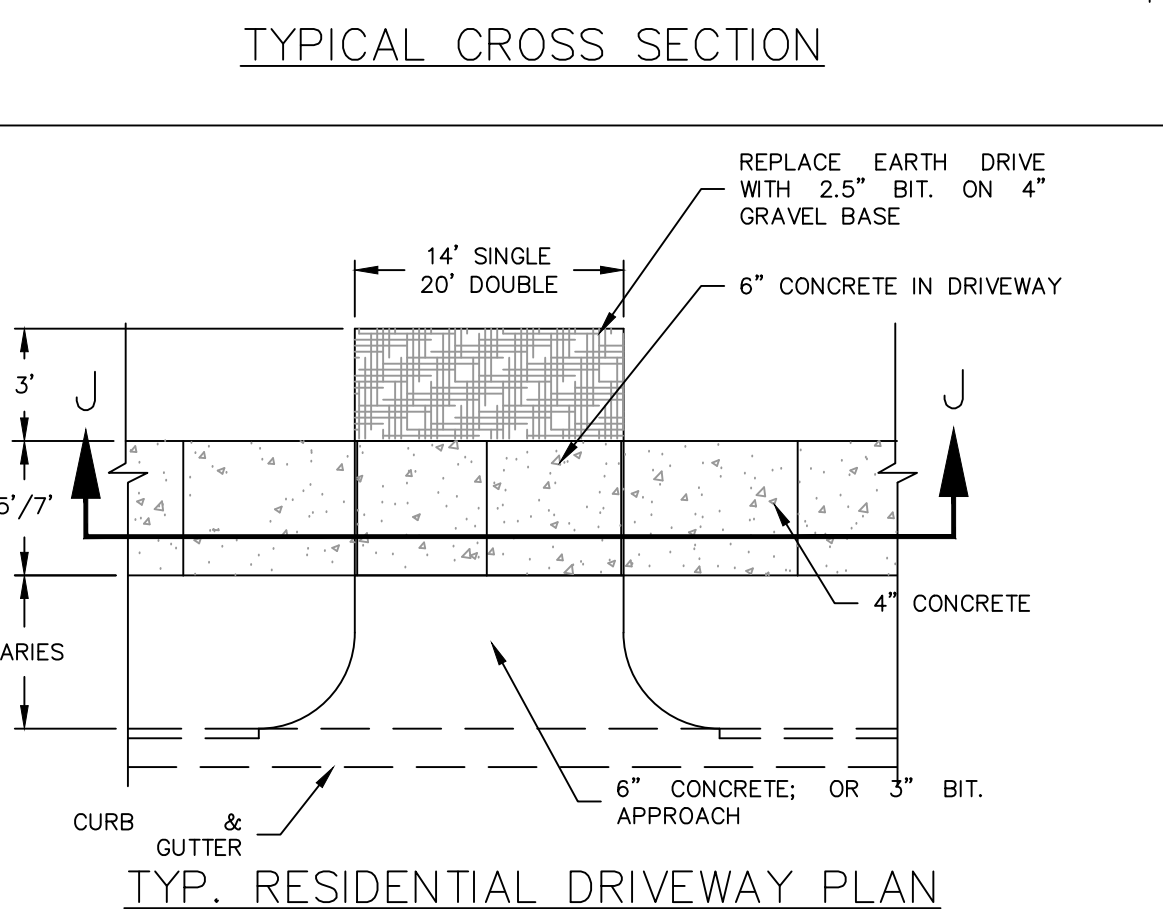
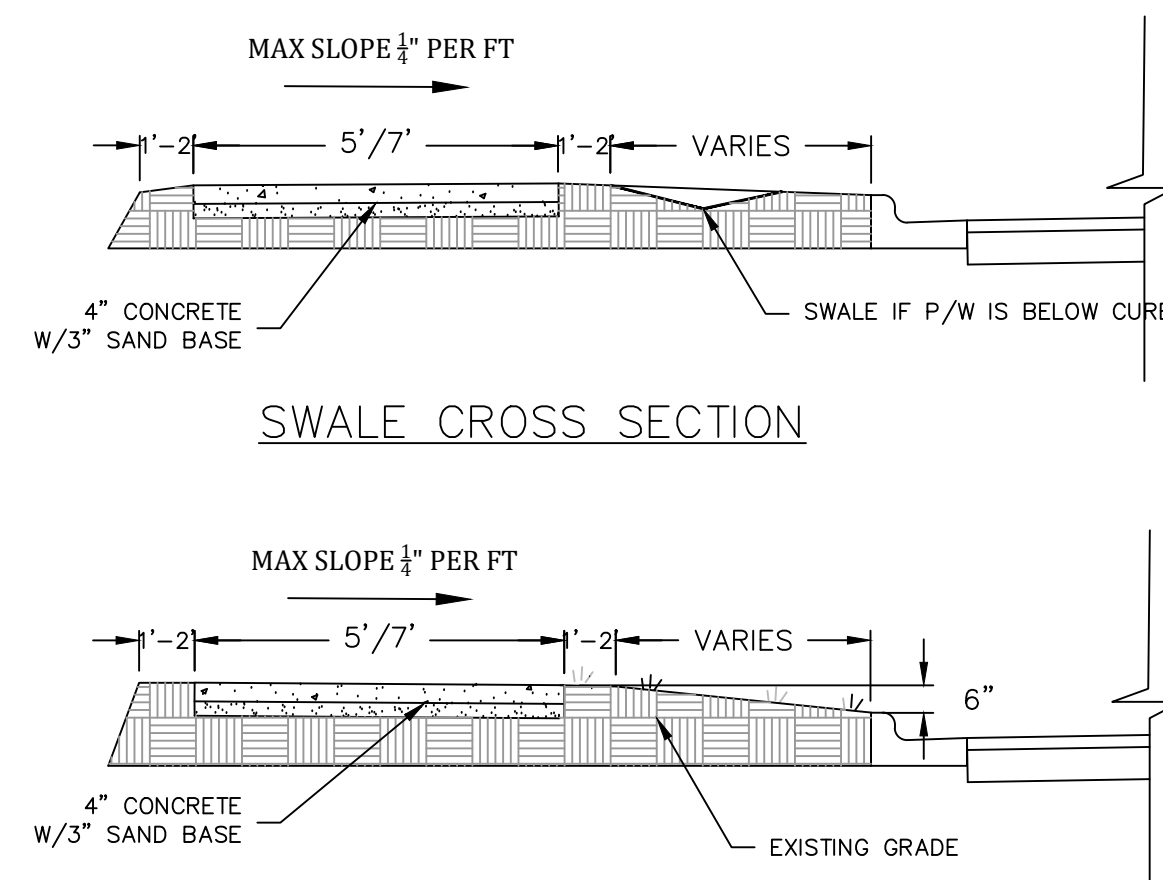
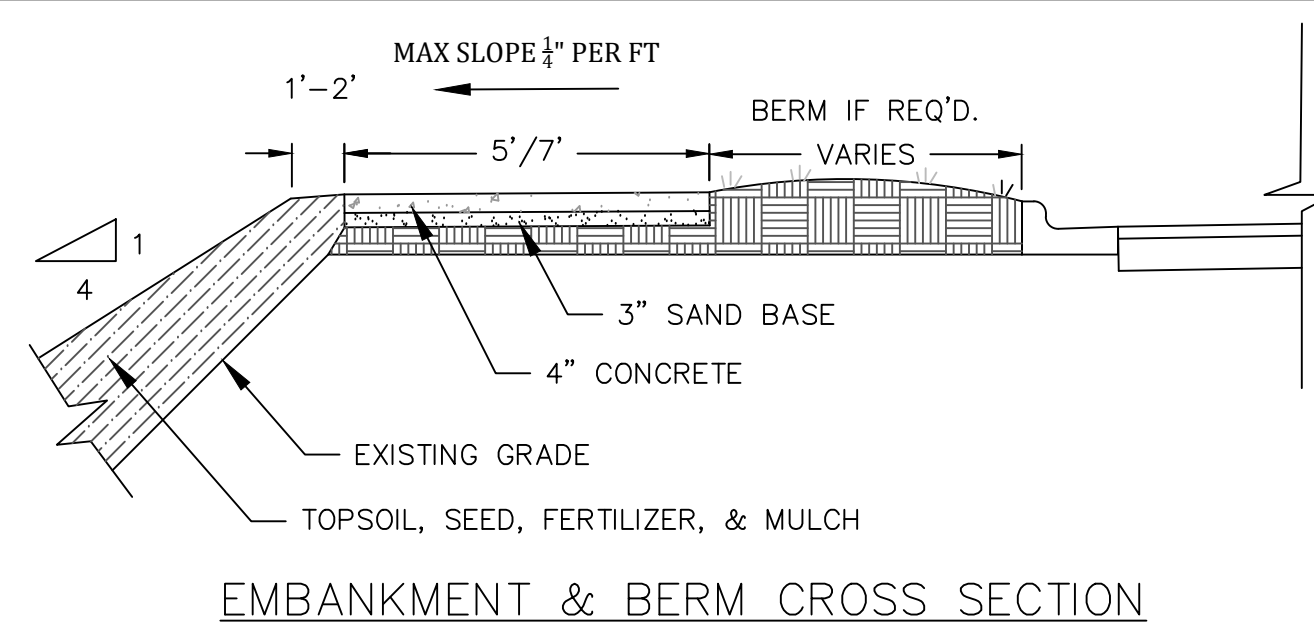
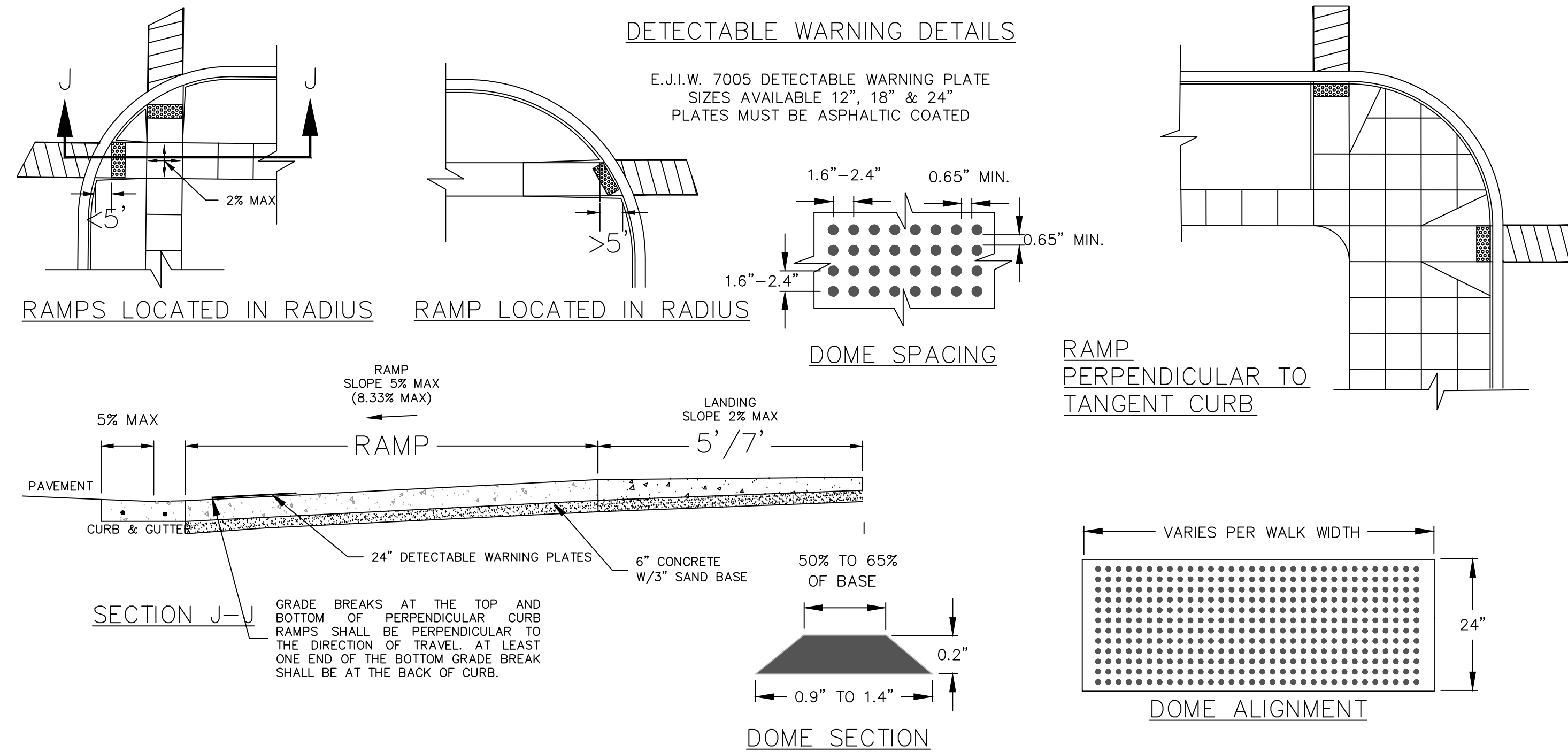
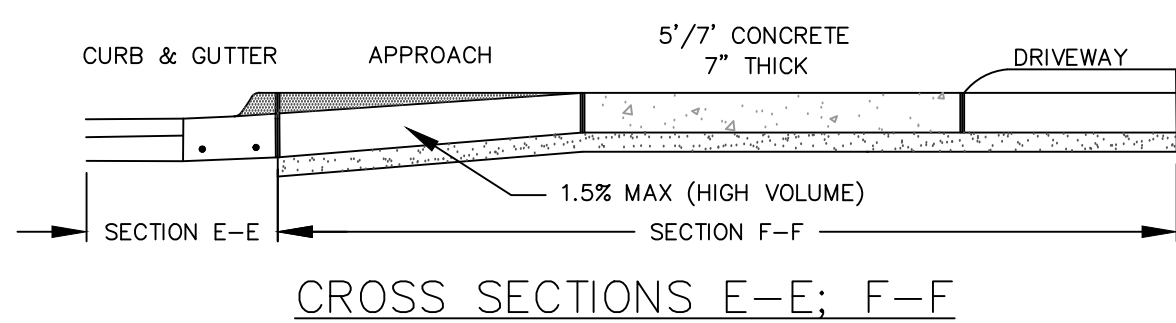
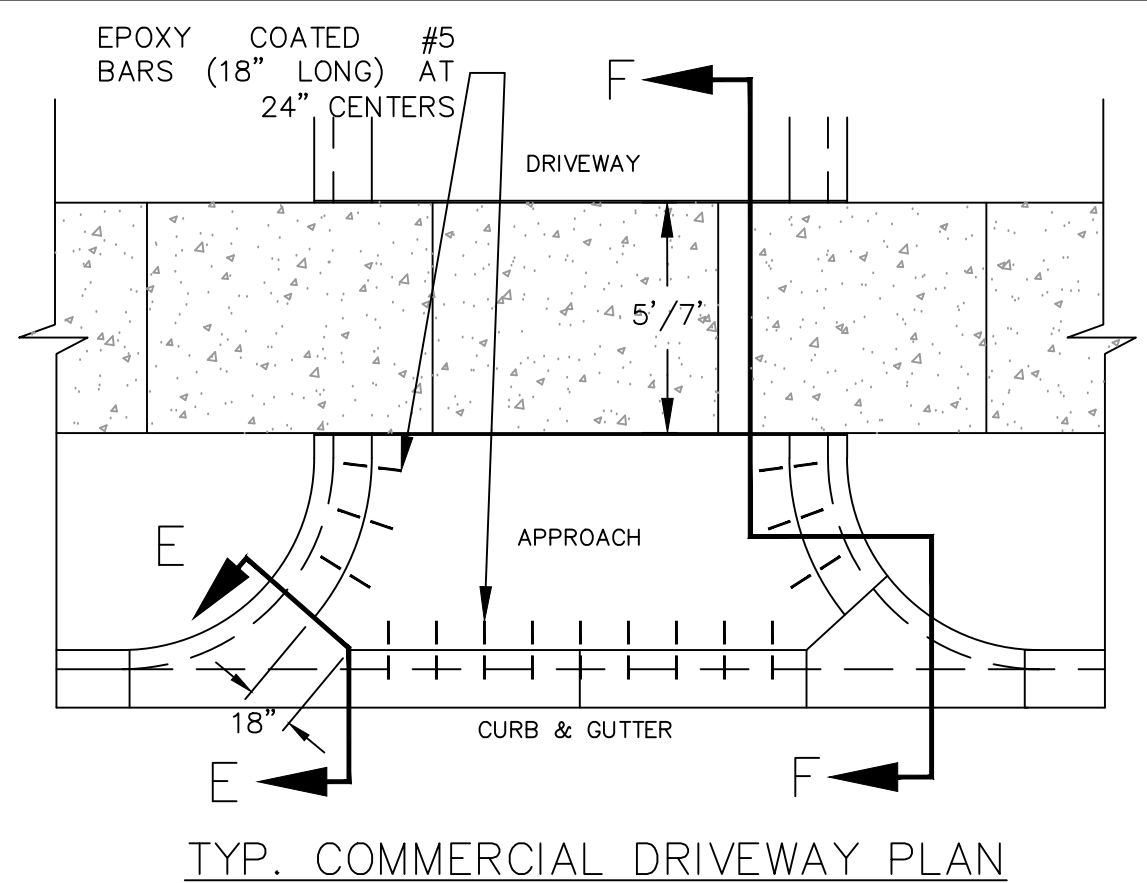
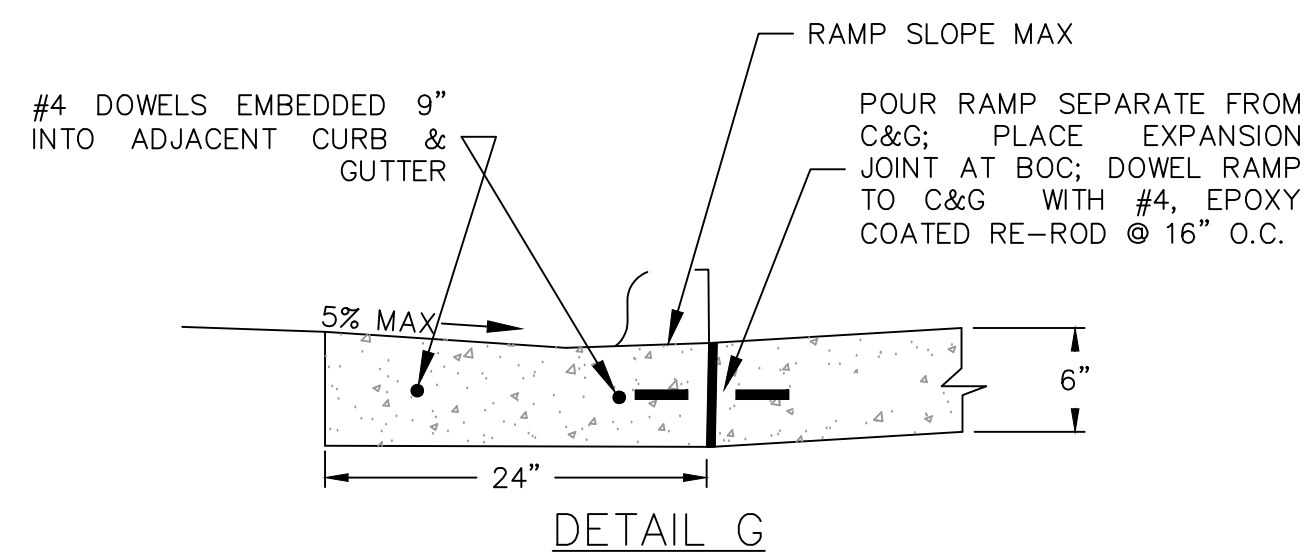
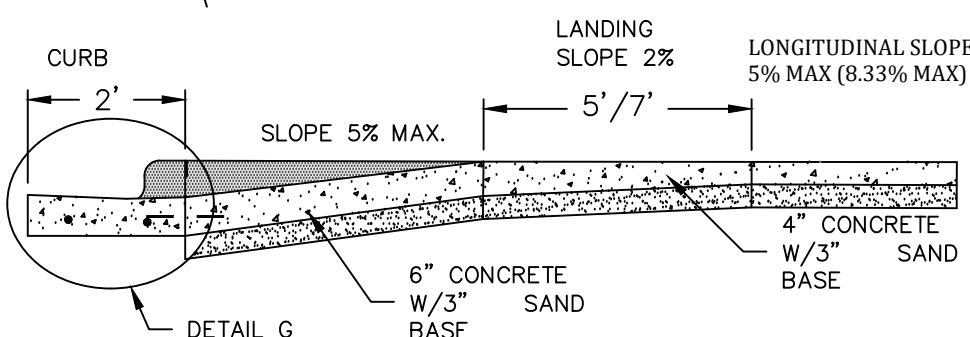
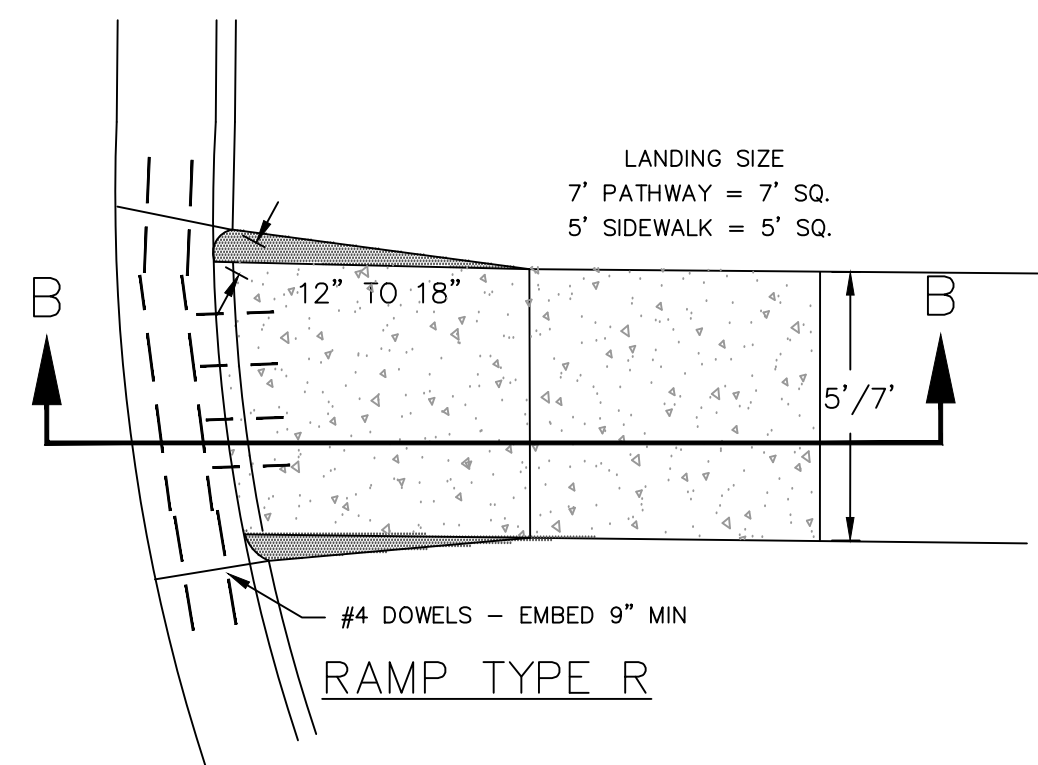
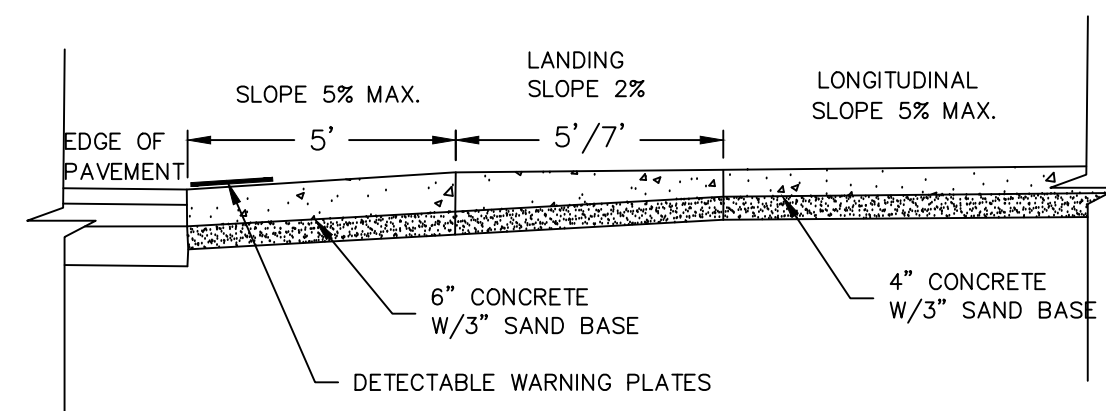
PATHWAY

TOWNER ROAD PATHWAY GAP
E. SAGINAW HIGHWAY TO TOWNER ROAD PARK
NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

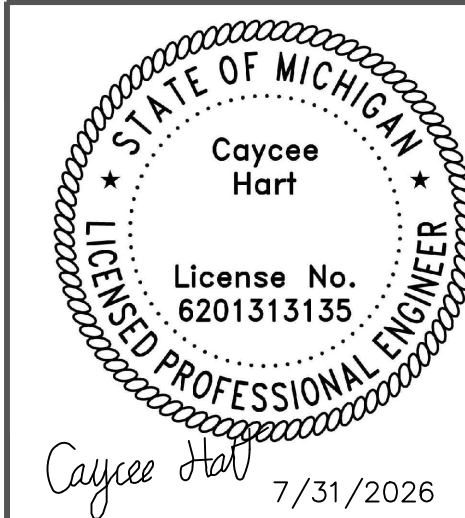
DRAWN BY: CH

CHECKED BY: YI

REVISIONS:		
DATE	BY:	COMMENTS:
7.31.26	CH	BID PLANS
SHEET:		
11 - TYPICAL SECTION		



GENERAL NOTES	
1.	SIDEWALKS/PATHWAYS SHALL BE 4" THICK CONCRETE EXCEPT AT DRIVEWAYS.
2.	SIDEWALKS/PATHWAYS THRU DRIVES SHALL BE: 6" (RESIDENTIAL); 7" (MULTI-RESIDENTIAL & COMMERCIAL).
3.	3" OF COMPACTED SAND BASE SHALL BE PLACED UNDER ALL SIDEWALKS/PATHWAYS.
4.	ALL BITUMINOUS APRONS SHALL BE 1/2" THICK, UNLESS NOTED OTHERWISE.
5.	PROPERTY IRONS SHALL BE MAINTAINED BY THE CONTRACTOR.
6.	ALL EXISTING CONCRETE AND BITUMINOUS TO BE REMOVED SHALL BE SAWCUT. ALL CONCRETE AND BITUMINOUS REMOVAL SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
7.	ALL AGGREGATE BASE SHALL BE 22A, 4" THICK.
8.	ALL TREE AND BUSH REMOVAL SHALL BE CONSIDERED PART OF SUB-GRADE PREPARATION.
9.	LOCATION OF NEW PLANT MATERIAL SHALL BE AS DIRECTED BY THE ENGINEER, AND SHALL BE INSTALLED IN ACCORDANCE WITH GUIDELINES ESTABLISHED BY THE A.A.O.N.
10.	ALL PLANT MATERIAL NOT MARKED FOR REMOVAL SHALL BE PROTECTED.
11.	BITUMINOUS DRIVES SHALL BE SAWCUT 18" ON EITHER SIDE OF PROPOSED PATHWAY.



Meridian Charter Township
Ingham County, Michigan
PATHWAY

TOWNER ROAD PATHWAY GAP
E. SAGINAW HIGHWAY TO TOWNER ROAD PARK
NE 1/4 SECTION 10, T4N, R1W, MERIDIAN TOWNSHIP,
INGHAM COUNTY, MICHIGAN

DRAWN BY: CH

CHECKED BY: YI

REVIEWS:		
DATE	BY:	COMMENTS:
7.31.26	CH	BID PLANS

SHEET: